

ATTACHMENT A

September 9, 2025

We are requesting support from the City of Phoenix Phil Gordon Threatened Building Grant Program for the stabilization, restoration, and long-term preservation of the Dr. J. Eugene and R. Thomasena Grigsby home located at 1117 North 9th Street in the North Garfield Historic District. The property consists of a relatively stable 1919 Craftsman bungalow purchased by the Grigsby family in the mid-1950s, as well as a permitted 1963 artist studio addition which features a stunning stained-glass window designed and built by Dr. Grigsby at the north studio entry door.

The property was sold in April 2025 to a development group that intended to demolish the property for redevelopment after a prolonged period of deferred maintenance. As the only adjacent neighbor, we purchased the property directly from the development group at a significant markup in order to preserve and restore the property.

We had the incredibly good fortune to know Dr. and Mrs. Grigsby as neighbors and friends. The Grigsbys were significant civil rights leaders and community advocates as well as accomplished educators. They were each beloved inspirations to countless individuals and significant supporters and founders of significant community and nonprofit organizations.

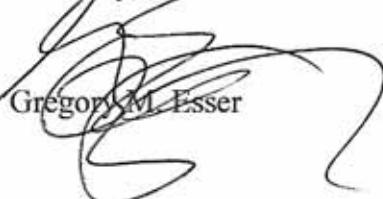
Our short-term goal for the property is to provide artist housing, continuing Dr. Grigsby's pioneering presence as an artist in downtown Phoenix. Our longer-term goal is to further develop the property to support use as an artist residency program and/or research center in partnership with an educational and/or institutional partner who can ensure the long-term preservation and operation of the property for future generations in a way that honors the legacy and significant contributions of Dr. and Mrs. Grigsby to the City of Phoenix and to the nation.

Eligible work items for which we are seeking support include but are not limited to replacement of roofing, restoration of exterior building features including the original 1919 porch fascia (where the porch enclosure was removed by a family member several years earlier), restoration of the 1919 exterior wood windows and doors, repair or replacement of exterior windows and doors in the 1963 addition (where the original doors and windows are no longer present and/or damaged beyond reasonable repair), rehabilitation of a rear outbuilding art studio, and modifications to increase ADA accessibility.

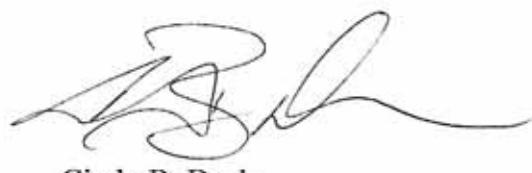
The renovation of the property is anticipated to cost approximately \$600,000.00. The eligible work items for which we are requesting support are anticipated to cost \$200,000.00. We anticipate the project will include a match of approximately \$400,000.00, exclusive of the cost of acquisition of the buildings.

We look forward to working with the City of Phoenix on the preservation of this culturally and historically significant home for future generations.

Sincerely,



Gregor M. Esser



Cindy B. Dach



In completing the application, please be as concise as possible, read all questions before answering to avoid repetition and write legibly in pen or type. You may include continuation sheets if needed. All required supplemental information must be included and be unbound.

I. APPLICANT COVER LETTER

Please include a cover letter from the property owner or authorized person submitting on behalf of the owner summarizing the request for grant funds. Briefly describe the overall project purpose and the eligible work items. Indicate the total project budget, dollar amount for eligible work items, the total amount requested and the match that will be provided.

II. APPLICANT AND PROPERTY INFORMATION

Applicant: Gregory M. Esser and Cindy B. Dach

Legal Name of Property Owner: same

Mailing Address: 1115 N 9th Street, Phoenix, AZ 85006

Phone: (602) 614-8727 Email Address: greg@gregesser.com

Property Address: 1117 N. 9th Street, Phoenix, AZ 85006

Historic District (or name of individually listed/eligible building): Dr. J. Eugene and R. Thomasena Grigsby House

Current Use of Property: residential

Is Property Vacant? Yes No If Yes, Length of Time Vacant? _____

Date Current Owner Purchased Property: April 10, 2025

Historic Preservation Office Use Only:

Historic Status:

<input type="checkbox"/> Individually Listed	<input type="checkbox"/> Contributor to Historic District
<input type="checkbox"/> Eligible / Not Currently Listed	<input type="checkbox"/> Non-contributor with Contributing Potential
<input type="checkbox"/> Listing in Progress	<input type="checkbox"/> Non-contributor without Contributing Potential

III. HISTORIC PROPERTY INFORMATION

1. Historical/Architectural Significance. Briefly describe the historical and/or architectural significance of your property, including the date of construction, architect/builder if known, construction method, original use of property and subsequent uses over the years.

This property is distinctive architecturally, historically, and culturally. The primary home consists of a single-story Craftsman bungalow home constructed in 1919. The one-bedroom, one-bath bungalow was purchased by the Grigsby family in the mid-1950s. The home features divided light hinged windows and double-hung windows, five-panel interior doors, a fireplace with built-in cabinetry, a built-in dining room hutch, and a sleeping porch. Various alterations and additions both inside and outside of the bungalow resulted in enhanced preservation of many of the original 106-year-old building details including original glass in the divided light windows, preservation of original built-in cabinetry, and much of the original clear maple and Douglas fir wood flooring. In 1957, the family constructed a permitted enclosure of the front porch. The "Front Porch Gallery" as Dr. Grigsby referred to it, was one of the first, if not the first, informal art space in part of downtown Phoenix that would come to be known as Roosevelt Row. The home featured a significant collection of works by nationally prominent African American as well as Arizona artists and African art. In 1963, the family constructed a permitted slump block addition that served primarily as an art studio and archive for Dr. Grigsby's prolific work as an artist. The studio addition features a stained glass side light at the north entry door that was built by Dr. Grigsby. The Grigsby family occupied the home for approximately seven decades. Both Dr. and Mrs. Grigsby lived out their lives into their 90s residing in this property. The Grigsbys were significant civic and civil rights leaders and educators. They were founders of the Garfield Organization, Artists of the Black Community (ABC), the Coalition of Black Organizations and Others for Artists (COBA), and other arts and cultural organizations. They were supporters of the Phoenix Art Museum, Black Theater Troupe, and many others.

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For more information or for a copy of this publication in an alternate format, contact Planning & Development at (602) 262-7811 voice / (602) 534-5500 TTY.

2. Property Description. Briefly describe the primary exterior features of your property, including information on style and materials of exterior siding/finishes, roof, doors/windows, porches and any decorative or unique features of the property. For these features, indicate whether they are original or altered/replaced, and if they were altered/replaced when this occurred (if known).

This distinctive property is characterized by two distinct building styles in one connected single-family residential structure comprising approximately 2,400 square feet. The original building constructed on the site is a Craftsman bungalow built in 1919. This building features masonry construction with wood siding and tongue and groove wood eaves. The bungalow features hinged divided light windows and double hung windows in the eastern sleeping porch areas. The building also features a roof dormer. The front porch features fascia and four box columns. The porch was enclosed by the Grigsby family in 1957. The porch enclosure was removed after Dr. Grigsby passed away in 2013. The box columns and fascia were not repaired or replaced when the porch enclosure was subsequently removed. The 1919 concrete porch surface had been covered with plywood and bricks, and the original step and sidewalk to the porch were removed. The north fireplace chimney, visible in the 2008 survey photo, was removed at the roof line and capped with sheet metal and tar. The addition to the home is a slab on grade slump block addition built in 1963 and designed by Arizona architect Joe B. Wong of Wong Associates. This building features a stained-glass sidelight designed and created by Dr. Grigsby at the north entry door.

3. Historic Property Inventory Form. Attach a copy of the Historic Property Inventory Form (if available from the City of Phoenix HP Office) for your property.

4. Photographs. Attach color photographs showing overall site, street views, all exterior facades, close-up views of original/decorative features and areas where work is to be performed. Include interiors if the request includes interior work. Label views (i.e., north façade, east wood casement window).

5. Property Condition. Describe the overall condition of the property, providing descriptive information on areas that are deficient or deteriorated. If an architectural or structural assessment has been performed, please attach. All requests for structural work need to include a structural assessment.

This property has incrementally experienced deferred maintenance for more than a decade bringing it to the brink of demolition while it has been continuously occupied. Exterior wood features have extensive dry rot. The sewer line was both plugged with debris and not connected to the main sewer line causing sewage backup inside the building. The roof membrane, comprised of both asphalt shingles and foam flat roof, has failed leading to extensive mold and water damage throughout the building interior, primarily to the flooring which requires extensive repair, replacement, and refinishing. A legally non-conforming electric service panel and weather head with no clearance above the asphalt shingle roof have been replaced to allow for installation of replacement asphalt shingle roofing. Deflection in the front porch and bungalow ridge line has been corrected.

6. Previous Rehabilitation Work. Briefly describe previous rehabilitation work you have already completed on your property as well as work that you are aware of that was conducted by previous owners. List the major work items and the year work was done.

Immediate work to stabilize the exterior of the property and to secure the building has been undertaken. Work to stabilize the porch, regrade the property, paint over graffiti, and remove debris has been completed within the first thirty days of ownership. Work on exterior building skin including wood and stucco to repaint the exterior has been ongoing and continues. Asbestos was removed from the building in early July 2025. The original built in hutch was removed by The most recent occupant of the building removed the original built in hutch in the 1919 bungalow and removed the front porch enclosure.

IV. PROJECT INFORMATION

1. Project Purpose. **Describe the primary purpose and objectives for the proposed project for which grant funds would be expended, including the proposed use of the building. Will the building be occupied at the end of the project?**

The primary purpose of this project is to restore the building to provide artist housing and studio space in downtown Phoenix to continue and honor the legacy of the creative, educational, and community contributions made by the Grigsby family. The longer term goal for the project is to secure a long-term institutional partner with capacity to operate the property as a residential artist residency program, research center, and/or archive. The building will be occupied at the end of the project.

2. Contribution to Community Goals. **Describe how the project contributes to community values, city economic development goals and/or the city's downtown vision (if applicable). If you have coordinated with neighborhood or community associations (highly encouraged), please describe and attach documentation (letters of support).**

This project serves arts, education, and historic preservation goals of the City of Phoenix through restoration and improvements to the home associated with the Grigsby family for seven decades. The home will continue to host and provide living and creative space for residential occupants. In the past, this home hosted guests including Maya Angelou and Harry Belafonte. The Grigsbys were also friends with literary and artistic leaders including Langston Hughes, Hale Woodruff, Romare Bearden, and John Biggers. The home, and its contents, contain invaluable history that should be preserved for future generations. Dr. Grigsby was an early advocate for the creation of a city arts commission and he testified in support of that effort before the Mayor and Phoenix City Council leading to the creation of the Phoenix Office of Arts and Culture and Commission. Dr. Grigsby was also a founder of the Garfield Organization, the nonprofit that serves the community that this property is located in. Dr. Grigsby nurtured and encouraged thousands of artists over the course of his career as an accomplished educator, as did Mrs. Grigsby through her journalism and for her biology students. A letter of support from the Garfield Organization is attached.

3. Project Plan. **Describe how the proposed project fits into an overall plan to rehabilitate the building.**

The primary short-term goal of this project is to re-elevate the property to a level of distinction worthy of its cultural, historical, and architectural significance and to pursue further designation of the property individually on both the City of Phoenix Historic Register and the National Historic Register after restoration. At the end of the first phase of work, the building will have new residential occupants. Longer term work on the project will refine restoration of architectural elements including the unique architectural design of the original masonry and wood front porch columns based on newly discovered photographic imagery of the property prior to subsequent modification.

4. Project Work Scope, Budget and Time Schedule.

a.) Cost estimates. Cost estimates for all work items must be provided by licensed contractors, a construction estimator or other qualified individuals. Please attach actual estimates to the application. At least one cost estimate is required for each work item. The city HP Office solely determines if the estimates are adequate. If multiple bids are received, the applicant does not need to pick the lowest bid.

b.) Itemized budget. Include an itemized project list and budget for entire proposed project (including items not to be funded with Historic Preservation grant funds) using the form in Appendix A. While no match is required for the grant, the city is interested to know what additional funds will be used for the project.

EXAMPLE OF ITEMIZED BUDGET FOR A PROJECT:

Eligible Project Construction Items:

Repoint brick walls on east and south facades	\$ 8,000.00
Repair/replace 16 wood-frame double-hung windows	\$ 12,000.00
Structural roof truss repairs	\$ 10,000.00
New built-up foam roof	\$ 10,000.00

Eligible Architectural/Structural Expenses:

Structural analysis of roof trusses	\$ 3,000.00
(Architectural studies/drawings must relate directly to grant-eligible work items only – cannot include work related to site plans, mechanical, electrical, plumbing, tenant improvements, etc. Can include pre-agreement expenses within 6 months of application.)	

A. Total Eligible Expenses \$ 43,000.00

Architectural/Structural expenses (limited to no more than 10% of request):

Amount \$ 3,000.00 Percentage of Total Request 7.0%

Ineligible Construction Work to be Funded by Other Sources:

Plumbing upgrades	\$ 10,000.00
Repair and refinish wood floors	\$ 15,000.00
Bring two bathrooms up to ADA compliance	\$ 10,000.00
Electrical rewiring	\$ 15,000.00
Installation of elevator to meet building code	\$ 12,000.00

B. Total Ineligible Work Items: \$ 62,000.00

C. Total Project Cost (A + B) \$ 105,000.00

c.) Descriptions of work items. Include narrative descriptions for all itemized work items proposed for Historic Preservation grant funding. Attach on a separate sheet using Appendix B. If contractor bids/cost estimates included detailed descriptions, this item may not be necessary.

Ex. of narrative description for one work item:

Repair 16 wood-frame double-hung windows. Project will replace two windows beyond repair in-kind to match existing. Fourteen windows need frame repair (new ledger, header and/or sill), sash repairs/replacement and some new glass panes to replace missing and broken glass. Refer to attached window-by-window assessment and itemization from contractor.

d.) Detailed time schedule and work sequence. Please attach a detailed time schedule for all proposed work items related to the full completion of this project – inside and out. This should include items funded and not funded by the grant program. Please list out work items sequentially in the order that they will be performed with approximate start and end dates for each work item. The time schedule should address architectural/engineering work; permit schedule; beginning of construction work; performance of all work items; and project completion.

5. Project Financial Information.

Provide information regarding financial capability of owner to complete the project. Such information should include: Proforma profit/loss statements for the business proposed, bank statements or other evidence that owner can obtain a loan from a bank, financial or lending institution to complete the project. If the project is proposing to use federal tax credits, grants or other financial incentives, please provide evidence and information on the contribution of these sources and the status of these applications.

6. Drawings/Building Assessments. Please attach:

- a.) **Scaled site plan** showing location of property lines, primary buildings, all outbuildings and fences and walls. (This can be hand drawn or professionally drawn) If additions, demolitions or other site changes are proposed, please indicate on site plan. Indicate all areas of proposed work on the site plan. (Note: Historic Preservation grant funds cannot be used for site work, new additions or demolition of historic buildings or building features.)
- b.) **Conceptual Architectural plans or elevations** drawn to scale showing all building facades on which work is to be performed, with notes depicting locations/description of specific work items. Include roof plan when structural roof work is proposed. Color elevations are strongly encouraged. HP staff may agree to waive plans and elevations on a case-by-case basis depending on project circumstances and scope of work.
- c.) **Structural or architectural building assessments** that have already been completed for this building(s) where applicable.

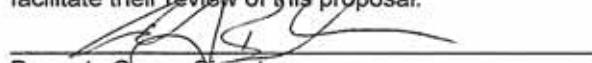
V. INFORMATION ON PRIMARY LIENHOLDERS

The city's purchase of the Conservation Easement requires the consent of all lienholders. A title report will be obtained by the city to verify all information provided. Accuracy of this information is critical. Consent from the lienholder(s) must be received prior to disbursement of any funds.

1. Primary mortgage company:	<u>Richard Melikian (private lender)</u>
Contact person:	<u>Richard Melikian</u>
Correspondence address:	
(Note: This is usually different than the payment address)	
Company telephone number:	
Company fax number:	
Loan number:	
2. Secondary mortgage company:	
Contact person:	
Correspondence address:	
(Note: This is usually different than the payment address)	
Company telephone number:	
Company fax number:	
Loan number:	

VI. SIGNATURE

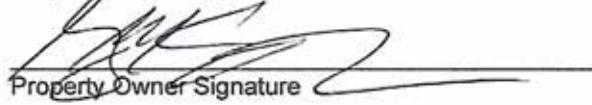
I declare that I have reviewed the Program requirements, including the Program Summary and all sample legal agreements, and am submitting this application in accordance with those requirements. All information submitted is true to the best of my knowledge and belief. I acknowledge that any error may affect its review and approval. I understand that if I wish to change any aspect of the project after it has been approved, I must obtain the written consent of the city Historic Preservation Office. I also understand that I will be required to obtain a Consent Agreement from my lienholder(s) and will sign and abide by the terms of the Deed of Conservation Easement and the Program Agreement. I understand and agree that the city Historic Preservation Office staff can perform necessary site visits on my property at mutually agreed upon times to facilitate their review of this proposal.



Property Owner Signature

09/04/2025

Date



Property Owner Signature

09/04/2025

Date

An electronic submittal of the complete application packet (including all attachments) should be emailed to the assigned staff member or to the following address:

historic@phoenix.gov

File sizes that exceed 25 MB must be sent in separate emails. Files may also be uploaded to Serv-U, the city's official file sharing site. Please contact staff for a link, if needed.

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed forms to City of Phoenix Historic Preservation Office, 200 W. Washington, 17th Floor, Phoenix, AZ 85003 for listing on Phoenix Historic Property Register, or Arizona State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007 for listing on Arizona/National Register of Historic Places.

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: AAHPS-017 Survey Area: African American Historic Property Survey

Historic Name(s): Eugene & Thomasina Grigsby House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1117 N. 9th Street

City or Town: Phoenix vicinity County: Maricopa Tax Parcel No.: 116-31-140

Township: 1N Range: 3E Section: 4 Quarter Section: 12-29 Acreage: _____

Block: _____ Lot(s): _____ Plat (Addition): _____ Year of Plat: _____

UTM reference: Zone: _____ Easting: _____ Northing: _____ USGS 7.5' quad map: Phoenix

Architect: _____ not determined known source: _____

Builder: _____ not determined known source: _____

Construction Date: ca. 1930 estimated known source: Maricopa County Assessor data

STRUCTURAL CONDITION:

Good (Well-maintained; no serious problems apparent)

Fair (Some problems apparent) Describe: _____

Poor (Major problems; imminent threat) Describe: _____

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use:

Historic Use: Domestic

Single dwelling

Building Type: Individual Residence

Present Use:

Sources: _____

PHOTO INFORMATION

Date of photo: 08/14/04

View Direction (looking towards):

East

Negative No.: _____



SIGNIFICANCE

To be eligible for the Phoenix/Arizona/National Register, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event or with a trend or pattern of events important to the history of the nation, the state, or the local community.)
- B. PERSONS (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the Phoenix/Arizona/National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION Original Site Moved date: _____ Original Site: _____
2. DESIGN (Describe alterations from the original design, including dates—known or estimated—when alterations were made)
Bungalow style house with broadside gable
Porch enclosed, entrance moved to north side (exact date unknown, materials indicate ca. 1960s)
3. SETTING (Describe the natural and/or built environment around the property)

Describe how the setting has changed since the property's period of significance:

4. MATERIALS (Describe the materials used in the following elements of the property)
Walls (structure): brick Foundation: _____ Roof: asphalt shingle
Windows: aluminum frame on front façade, wood windows on sides/rear of structure
If the windows have been altered, what were they originally? _____
Wall Sheathing: brick on 1930 portions, stucco / wood siding on modified areas
If the sheathing has been altered, what was it originally? natural brick
5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Non-contributor to _____ Historic District
Date Listed: _____ Determined eligible by keeper of National Register date: _____

RECOMMENDATIONS OF ELIGIBILITY (opinion of HPO staff or survey consultant)

Property is not eligible individually.

Property is not eligible as a contributor to a potential historic district.

More information needed to evaluate

If not considered eligible, state reason: Age: (see continuation sheet)

FORM COMPLETED BY

Name and Affiliation: David Dean / Athenaeum Public History Group Date: 09/30/04
Mailing Address: 628 W. Portobello Ave, Mesa AZ 85210 Phone No.: (480)251-7177

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

AAHPS-017

name of property Eugene & Thomasina Grigsby House

Continuation Sheet No. 1

SIGNIFICANCE

B. PERSONS:

Associated with Historic Context African American History in Phoenix, 1868-1970

Eugene and Thomasina Grigsby were prominent members of the African American community who are significant for their work as educators and civil leaders. Thomasina worked as a journalist, writing articles for African American newspapers around the country. She publicized incidents of discrimination, trying to raise awareness of events in Phoenix. When officials at the Greenwood Cemetery refused to allow a Black Korean War veteran to be buried there, she wrote about it. Due to this negative publicity, the Greenwood Cemetery changed its policy and the man was buried there. Eugene Grigsby taught art at Carver High School. He worked to develop students' abilities and skills, while also helping to improve their conception of identity through drawing, painting, photography and pottery. Later, he worked as an art instructor at Arizona State University. The Grigsbys and their sons were active in the Civil Rights Movement also.

ELIGIBILITY

Age: Alterations to house are associated with the Grigsbys. Because of the extent of the alterations, it is recommended ineligible at this time. Re-evaluate property when the alterations have achieved fifty years.

1117 N 9th Street Existing Conditions as of April 10, 2025



Front porch facade (view looking east). Glass has been removed from the front door and south porch window for installation of an air-conditioning unit. The toilet is on the front porch.



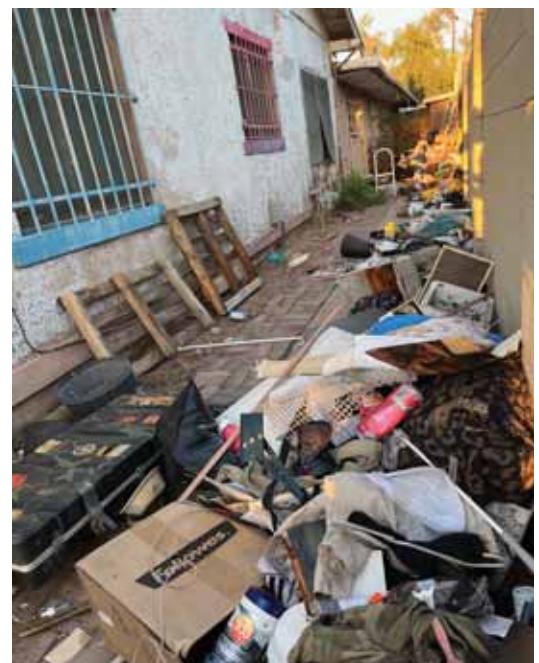
Detail of front porch (view looking south) showing layer of bricks on top of original concrete porch deck. Deficient spliced 2 x 4 porch supports, missing fascia, and damaged porch ceiling are also visible.



Front porch and north side yard (view looking southeast). Dead vegetation will be removed with stumps ground out, and cedar fencing which encloses the north side yard and obstructs the view of the north studio entry door will be removed.



Wood and debris fire hazard in north enclosed side yard.



Side yard and 1963 studio addition (view looking east). Security bars will be removed from windows.

1117 N 9th Street Existing Conditions as of April 10, 2025



North studio exterior side yard (view looking east) where block wall has been removed and carport entrance where rolling gate has been disabled precluding use and access to covered parking.



South studio side yard and south studio door (view looking east). Debris including filled cat litter boxes with swarms of flies, graffiti, and debris which blocked the use of the door.



Exterior graffiti and mounding of soil, gravel, and debris to preclude vehicular access to the public alleyway (negatively impact neighboring properties on the north side of the alleyway) and inoperable rolling gate to the rear yard of the property (view looking southeast from the public alleyway).



Exterior graffiti, debris, and a deep crater with mounding of soil, gravel, and debris in the rear yard (view looking south from north property line).

1117 N 9th Street Historic Photos Found Inside Property



The first photograph found inside the property was taken prior to the 1957 porch enclosure. From left to right: Grigsby family friends Velma Howell and Gerald Howell from Memphis, TN, Rosalyn Thomasena Grigsby, Marshall Grigsby, and Dr. J. Eugene Grigsby. The house number, partial porch column, and lintel above the original front door are visible.



Rosalyn Thomasena Marshall Grigsby seated in the outdoor area in the north side yard outside of the 1963 studio addition. The stained glass sidelight next to the studio door is visible. This area was later enclosed by the Grigsby family.

Photo caption information provided by Marshall Grigsby.



Another photograph found later inside the house shows the more ornate design of the original 1919 bungalow front porch columns as well as the original parameters and overhang eaves of the roof dormer.

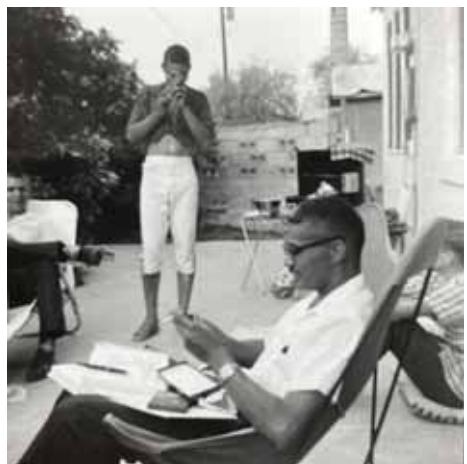


This photograph was taken shortly after the home was acquired from the probate court in the mid-1950s. The family is painting the original built-in hutch in the dining room of the 1919 bungalow. This hutch had been removed sometime in the past decade and will be restored as part of the scope of this renovation project. Left to right: Dr. J. Eugene Grigsby, Marshall Grigsby, Rosalyn Thomasena Marshall Grigsby, and Reverend Cephas. The divided light window is also visible.

1117 N 9th Street Oblique Aerial View ca. 1957



The oblique aerial photograph shows the southwest front porch column, south facing windows, sidewalk from 9th Street to the front porch, and the original location of the metal-clad garage building which was later relocated to the east property line to make room for the 1963 studio addition.



This photograph, taken before the 1963 studio addition, shows Eugene Grigsby III with camera, Dr. J. Eugene Grigsby, Jr. in the foreground opening gifts, and two friends. The low curved wall in the background was built to enclose this north side yard gathering area, then a concrete surface. The metal-clad garage building is visible in the rear yard as well as a portion of the bedroom window opening and three double hung windows in the sleeping porch area and the original electric service panel which was replaced as part of this project. This photograph was previously provided by the Grigsby family for publication in the Arcadia photo history book titled Phoenix's Roosevelt Row.

1117 N 9th Street Existing Conditions as of April 10, 2025



North studio side yard (view looking west) with furniture, cast iron tub left outside, broken sleeping porch window, furnishings, and debris. Some of Dr. Grigsby's artwork was scattered among the debris outside and consequently damaged.



Adverse enclosure and complete obstruction of the north studio entry door and sidelight will be removed.



This metal-clad garage building was relocated to the east property line to make room for the 1963 studio addition. The building served as an art studio for Dr. Grigsby. This building will be rehabilitated as part of this project.



Transaction Receipt from ALLIANCE LAND SURVEYING for \$2000.00 (USD)

1 message

Mon, Apr 21, 2025 at 3:41 PM

Order Information

Description: [1115 & 1117 N. 9th St. Phoenix, AZ](#)

Invoice Number

Customer ID

Billing Information

Shipping Information

Item	Name	Description	Qty	Taxable	Unit Price	Item Total
Survey	Boundary		1	N	\$2000.00 (USD)	\$2000.00 (USD)

Shipping: \$0.00 (USD)

Tax: \$0.00 (USD)

Total: \$2000.00 (USD)

Payment Information

Date/Time:

Transaction ID:

Payment Method:

Transaction Type:

Auth Code:

Merchant Contact Information



Job #256810956

[Sales] Foam & Coating Proposal and Acceptance

Owner Name

Greg Esser

Project Address

1117 North 9th Street, Phoenix, AZ 85006 USA

To furnish material, labor and equipment for the completion of the roofing in accordance with the following:**Project Area**

16square foam tear off come back with 16 square, install new edge metal white, new vent flashings apply 1 inch foam with two gallons of coating White.

Project

- Tear off existing roofing to wood deck and haul away. Any wood replacement, if needed, will be determined at time of tear off.
- Clean and prepare existing roof to accept overlay application
- Install 1" (+/- 1/4") Sprayed Polyurethane Foam (between 2.5 and 2.8 density)
- Furnish and install all metal flashings as needed where applicable
- Raise all vent jacks, A/C or cooling units, and apply foam and coating underneath
- Install elastomeric roof coatings
- ~27-30 dry mils (3 gallons per 100 sq.ft.)

Drip Edge Color

White

Coating Color

White

Parapet wall options:**Clean up and Disclosures**

- Clean up all roofing related debris on the roof and ground
- All work to conform to manufacturer's specifications and all state and local codes
- Lyons Roofing is not responsible for re-alignment of satellite dishes, antennas, or gutters

Lyons Roofing Workmanship Warranty

Lyons Roofing Transferrable Limited Workmanship Warranty upon completion and full payment.
Years:

10

Manufacturer Material Warranty

Details provided to property owner or manager upon job completion and full payment.
Years:

10

Warranty Requirements

20 year foam system requires Lyons Roofing to administer one of the following elastomeric re-coat schedules. Re-coat pricing is exclusive from this agreement.

- 3 gallon re-coat between years 8 and 10

Additions or Changes

-

Owner or Owner's Authorized Agent

Signature

Authorization Date

2025-04-24



5712 N. 7th Street, Phoenix, AZ 85014

Heldt Lumber Company
5712 North 7th Street
Phoenix AZ 85014
602-277-3378
Fax: 602-266-6241

CUSTOMER COPY



INVOICE

2506-706053 PAGE 1 OF 1

SOLD TO	SHIP TO
Cash Sales	Greg Esser Cash Sales 1117 N 9th St greg@gregesser.com 85006 602-614-8727

Put on the north side.

CALL ALL CUSTOMERS BEFORE ALL
DELIVERIES. P/U DALLAS

ACCOUNT	JOB
CASH	0
SOLD ON	6/19/2025 9:45:27 AM
DELIVER ON	6/19/2025
BRANCH	1000
CUSTOMER PO#	
STATION	JR1
CASHIER	JR
SALESPERSON	
ORDER ENTRY	SK

Quantity	UM	Item	Description	D	T	Price	Per	Amount
432	LF	SOLUMBERLF	Order: 2505-C03673 3/4" X 5-1/4 (5" FACE) POPLAR T&G V-GROOVE WITH CENTER-V Run to Customer Sample Approximate 2-3 week lead time. @SPELL		Y	3.7500	LF	1,620.00
1	EA	85006-DELIVERY	Delivery Charge to Phoenix All deliveries are curbside only. If the customer requests a delivery driver to enter on a sidewalk, driveway, alley, or pavers, the owner assumes all responsibility for any tire, oil, or any other damage incurred.		N	50.0000	EA	50.00

Payment Method(s)

AZ 8.60%	SubTotal	1,670.00
	Sales Tax	139.32
	Deposit	-1,809.32
Please Pay This Amount		0.00

All Sales Final on Special Order Items. Items left in our yard for a period of 14 days will be returned. All Returns/Exchanges of items must be done within 5 days of receipt and may be subject to a Restock Fee. If applicable, Convenience Fee is NON-Refundable.

Signature



2435 E University Dr.
Phoenix, AZ 85034
Phone: 602-254-0122 Fax 602-254-0144

Invoice

Date	Due Date
7/15/2025	8/14/2025

Bill To
Gregory Esser 1117 N 9th St Phoenix Az 85006

Invoice #
25-135

Terms
Net 30

P.O. No.	Project
	25-135 1117 N 9th St Abatement

Description	Rate	Qty	Amount
Provided AHERA Supervisor and Tech to remove and dispose of floor tile mastic and trasite flue pipe in areas identified at job walk. Provided third party smapling and report (\$600). All work completed at 1117 N 9th Street, Phoenix.	5,823.00		5,823.00

<p><i>"Environmental Solutions for the Next Generation"</i></p> <p>All invoices are payable in full by the above due date. All unpaid invoices or open balances are subject to collection fees applicable under the current state law</p>	Subtotal	\$5,823.00
	Balance Due	\$5,823.00
	Payments/Credits	\$0.00
	Total	\$5,823.00

Contract - Detailed



Sales Rep Name: Lobue, Frank
 Sales Rep Phone: 480-407-8653
 Sales Rep Fax:
 Sales Rep E-Mail: lobuefn@pella.com

Fax:

Phone:

Customer Information		Project/Delivery Address	Order Information
Greg Esser 1117 N 9th St Phoenix, AZ 85006-2734 Primary Phone: (602) 6148727 Mobile Phone: Fax Number: E-Mail: gregorymarkesser@gmail.com Great Plains #: 1008606772 Customer Number: 1012375822 Customer Account: 1008606772	Greg Esser - 1117 N 9th Street , Phoenix, AZ, US 1117 N 9th St Lot # Phoenix, AZ 85006-2734 County: Maricopa	Order Name: Greg Esser - 1117 N 9th Street , Phoenix, AZ, Order Number: 835FLA9B2 Quote Number: 19491162 Order Type: Installed Sales Payment Terms: Deposit/C.O.D. Tax Code: NON-TAX Quoted Date: 5/8/2025	

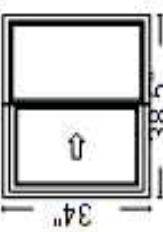
Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
10	s sleeping porch	<p>Pella 250 Series, 3-Wide Double Hung, White</p> <p>PK # 2202</p> <p>1: SizeNon-Standard Size Double Hung, Equal General Information: Standard, Vinyl, Block / Box Frame, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware Screen: Hidden Screen Bottom Sash Only Performance Information: U-Factor 0.27, SHGC 0.21, VLT 0.49, CPD PEL-A-290-00056-00001, Performance Class R, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL16813, STC 26, OITC 22, Clear Opening Width 22.454, Clear Opening Height 22.339, Clear Opening Area 3.483333, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: No Grille.</p> <p>2: SizeNon-Standard Size Double Hung, Equal General Information: Standard, Vinyl, Block / Box Frame, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware Screen: Hidden Screen Bottom Sash Only Performance Information: U-Factor 0.27, SHGC 0.21, VLT 0.49, CPD PEL-A-290-00056-00001, Performance Class R, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL16813, STC 26, OITC 22, Clear Opening Width 22.454, Clear Opening Height 22.339, Clear Opening Area 3.483333, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: No Grille.</p> <p>3: SizeNon-Standard Size Double Hung, Equal General Information: Standard, Vinyl, Block / Box Frame, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware Screen: Hidden Screen Bottom Sash Only Performance Information: U-Factor 0.27, SHGC 0.21, VLT 0.49, CPD PEL-A-290-00056-00001, Performance Class R, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL16813, STC 26, OITC 22, Clear Opening Width 22.454, Clear Opening Height 22.339, Clear Opening Area 3.483333, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: No Grille, Vertical Mull 1: FactoryMull, 1/2" Integral Mullion Vertical Mull 2: FactoryMull, 1/2" Integral Mullion</p>	\$5,281.52	1	\$5,281.52

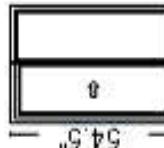


Viewed From Exterior

INSTARPHNR030012 - Full Frame Replacement Block Frame - Window

Qty 24

Line #	Location:	Attributes
15	laundry	<p>Pella 250 Series, Sliding Window, Vent Right / Fixed, White</p> <p>PK # 2202</p>  <p>1: SizeNon-Standard Size Vent Right / Fixed Double Slider General Information: Standard, Vinyl, Block / Box Frame, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware Screen: Hidden Screen Single Vent Performance Information: U-Factor 0.27, SHGC 0.22, VLT 0.51, CPD PEL-A-292-00006-00006, Performance Class R, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL16809, STC 25, OITC 22, Clear Opening Width 14.292, Clear Opening Height 29.75, Clear Opening Area 2.952688, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: No Grille, Equal Venting Width: Equal</p>

Line #	Location:	Attributes
17	n bed	<p>Pella 250 Series, Sliding Window, Vent Right / Fixed, White</p> <p>PK # 2202</p>  <p>1: Vent Right / Fixed Double Slider General Information: Standard, Vinyl, Block / Box Frame, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware Screen: Hidden Screen Single Vent Performance Information: U-Factor 0.27, SHGC 0.22, VLT 0.51, CPD PEL-A-292-00006-00006, Performance Class R, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, FPA FL16809, STC 25, OITC 22, Clear Opening Width 12.542, Clear Opening Height 50.25, Clear Opening Area 4.376636, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: No Grille, Equal Venting Width: Equal</p>

INSTARPHNR030012 - Full Frame Replacement Block Frame - Window Qty 13

Initial
6/6

Window List
is correct

Line #	Location:	Attributes
20	laundry, inc install	NONPELPHNM900012 - Provia Products - Warranty by Provia <hr/>

Line #	Location:	Attributes
25	rear po, inc install	NONPELPHNM900012 - Provia Products - Warranty by Provia <hr/>

Line #	Location:	Attributes
30	studio inc install	NONPELPHNM900012 - Provia Products - Warranty by Provia <hr/>

Line #	Location:	Attributes
35	n bed, inc install	NONPELPHNM900012 - Provia Products - Warranty by Provia Item Price <u>\$2,341.00</u> Qty <u>1</u> Ext'd Price <u>\$2,341.00</u>

Line #	Location:	Attributes
40	None Assigned	PROMOTPHNIR010004 - Branch Promotion Item Price <u>(\$2,372.61)</u> Qty <u>1</u> Ext'd Price <u>(\$2,372.61)</u>

Line #	Location:	Attributes
45	entry/lnk 13355011	PROMOTPHNIR010004 - Branch Promotion Item Price <u>(\$970.00)</u> Qty <u>1</u> Ext'd Price <u>(\$970.00)</u>

Thank You For Purchasing Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insyncitive Products are covered by the Pella Insyncitive Products Software License Agreement and Pella Insyncitive Products Privacy Policy in effect at the time of sale, which can be found at [Insyncitive.pella.com](https://www.pella.com). By installing or using Your Insyncitive Products you are acknowledging the Insyncitive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIACION COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC). Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

Including during the construction period, casement windows should never be left open and unlocked for prolong periods or during high wind conditions to avoid sash detachment/damage.

Actual sizes tested for documented STC and OITC ratings may vary from the ASTM E 1425 sizes to better represent Pella product offering.

STC and OITC ratings shown may be conservatively based on products tested with thinner panes of glass.

STC and OITC ratings may be from test results from an equivalent product.

SALES AND INSTALLATION AGREEMENT

This Sales and Installation Agreement ("Agreement") is entered into between PWD of Greater Arizona, LLC. ("Seller") and the individual(s) and/or entity identified herein and executing this Agreement ("Customer"). This Agreement is meant to apply to Projects (as hereafter defined) where Seller provides either i) products and installation services, or ii) products only, without any installation services. References in this Agreement to installation services, installation warranties, installation timing and duties, or other matters which expressly, impliedly, or by context are related to installation, are to be read and interpreted as applying only when installation services are provided by Seller. This Contract must be signed within thirty (30) days of the quoted date for pricing to remain firm. This Contract becomes binding only upon execution by Seller's authorized representative.

ARTICLE 1 - SCOPE OF THE WORK: Seller agrees to provide and (if the Contract includes installation) install the products, accessories and services described in this Agreement and any change orders pursuant to Article 2 herein ("Project"). All work performed by Seller will occur during normal working hours, unless other arrangements are agreed upon by the parties. Customer agrees to provide reasonable access to the property, and perform reasonably necessary preparatory work requested by Seller to enable Seller to perform under the Agreement.

ARTICLE 2 - PRICE AND PAYMENT TERMS: Customer agrees to pay Seller the amount due, as set forth in this Agreement ("Contract Price") for the products and services described in this Agreement. The Contract Price includes all sales, consumer use, and similar taxes with respect to the project. A deposit of 50% of the total Contract Price is due upon the execution of this Agreement, unless such deposit and/or the Contract Price is financed and payment is deferred. Customer understands the products that are the subject of this Agreement are to be custom manufactured to the Customer's specifications and cannot be easily resold. Consequently, Customer's DEPOSIT IS NONREFUNDABLE unless this Agreement is canceled within three (3) business days (as hereafter described). All items cancelled or deleted by Customer more than three (3) business days after execution of this Agreement (whether financed or not) shall be subject to a cancellation fee of 50% of the purchase price for each item cancelled or deleted, or Seller's actual costs, applicable restocking fees and Seller's actions in reliance on the terms of said Agreement, whichever is greater.

Customer shall pay the remainder of the Contract Price immediately upon substantial completion of the project, except as set out in Article 5. In the event Customer disputes the quality of the work or otherwise withholds or threatens to withhold the remaining balance of the Contract Price after substantial completion of the project, Customer understands and agrees that Customer will not withhold more than 10% of the remaining balance (this provision does not mean Seller consents to Customer's withholding of such percentage as full and final payment of the Contract Price or that it otherwise effects an accord and satisfaction).

Amounts not paid when due shall accrue a finance charge of 1½ percent per month. If the Customer fails to pay any amount due under this Agreement, the Customer agrees to pay all reasonable attorneys' fees and collection costs that Seller incurs in enforcing its rights to payment under this Agreement. Customer expressly authorizes Seller to make inquiry with credit bureaus or other credit reporting agencies for purposes of issuing credit to Customer.

Any notice or request by Customer which has the effect of changing the terms or scope of this Agreement, after its execution, will only be effective upon an appropriate adjustment in the price and/or delivery date, and upon acceptance of the change by Seller in writing. All change orders shall be on a form prepared by Seller, describing the change and any Contract Price adjustment and/or delivery date adjustment, and signed by the parties hereto. All products added by change order shall require a 50% nonrefundable deposit to be paid with the execution of the change order. Any product which is not fully paid for by Customer is not covered by any warranty offered by Manufacturer or Seller.

ARTICLE 3 - SUBCONTRACTORS: Seller may contract with subcontractors to provide materials, labor or services. The Customer acknowledges and authorizes Seller to subcontract all or any portion of the Project. All costs of subcontractors hired by Seller shall be the responsibility of Seller.

ARTICLE 4 - TIME FOR COMPLETION: TITLE AND ACCESS TO THE PROPERTY: Seller shall make reasonable efforts to complete the project in a timely manner, but makes no guarantee installation will be completed by the proposed date. Seller shall provide Customer approximately seventy-two (72) hours' notice of the commencement of work on the Project. Customer represents and warrants that Customer has valid legal title to the property, or otherwise has full authority to enter into this Contract. Customer agrees to provide access to the property as is necessary to perform and complete the Project.

ARTICLE 5 - UNFORESEEN CONDITIONS: Seller may encounter problematic site conditions not reasonably anticipated which make installation difficult, inefficient, or otherwise compromise the performance of the purchased products, including such conditions as water infiltration, mold, damaged or rotted framing or structural members, termites, wiring or plumbing that must be moved, construction defects, lead paint, or asbestos. Seller may call such conditions to Customer's attention, but Seller shall not be responsible for discovering such conditions, determining the extent of such conditions, repairing, or notifying Customer of such conditions. If such conditions are brought to Customer's attention, the Contract Price and completion date shall be adjusted as provided in Article 2 to accommodate any additional work, or cost increases caused by such conditions. If in Seller's sole discretion the type or scope of such extra work is more appropriately handled by others, Seller may decline to proceed until Customer makes adequate arrangements to correct the conditions so the project may be completed in a reasonably safe and good and workmanlike manner. If excessive delays in completion are occasioned by the extra work, then Seller, in its sole discretion may demand payment of the full Contract Price, but in no event shall such payment be required prior to thirty (30) days after the condition requiring extra work has been brought to Customer's attention.

ARTICLE 6 - LIMITATION OF SUITS AND REMEDIES: Any controversy or claim arising out of, or relating to, the sale and/or installation of purchased products or services must be commenced within one (1) year after the cause of action has accrued, but not beyond any applicable statute of limitations or statute of repose. Customer's remedy for breach of this Agreement for any reason shall be limited to repair or replacement of defective or nonconforming goods or services. Customer hereby expressly waives any claims against Seller for incidental, consequential, liquidated, or delay damages and IN NO EVENT SHALL THE RESPONSIBILITY OF SELLER EXCEED THE CONTRACT PRICE.

ARTICLE 7 - WAIVER OF SUBROGATION: Customer waives all rights to recover against Seller for any losses covered by Customer's homeowner's insurance, property insurance, or other insurance and waives all rights of subrogation for losses to the extent covered by insurance.

ARTICLE 8 - WARRANTIES: Seller warrants the installation services (if the Contract includes installation) only as set forth in the Seller's Installation Limited Warranty and Service Agreement ("Service Agreement"), which is available upon request and is made a part of this Agreement as if expressly set forth herein. Seller makes no representation or guarantee that the purchased and installed products will line up with any original or existing paint lines, wallpaper edges, or other trim features. Newly installed products may result in less visible glass area than that of the replaced product. All product warranties for products manufactured by Pella Corporation ("Pella") or others are direct from Pella or others, respectively. Pella warrants its products only as set forth in Pella's product limited warranties, which are made a part of this Agreement as if expressly set forth herein. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system.

Seller agrees to service the Pella products purchased by Customer for an 8-year period starting from the date of delivery (if product only) or if the Contract includes installation, from the expiration of the Installation Limited Warranty pursuant to the conditions and limitations set forth in the Service Agreement. Other manufacturer warranties can be obtained directly from such manufacturer. Certain Pella products contain a factory finish. If the products purchased by Customer contain a factory finish, this finishing will be warranted as part of Pella's Product Warranties. If Customer elects finishing by the Seller, Seller warrants the finishing only as set forth in the separate 2-Year Finishing Warranty. Where applicable, all terms and limitations of the 2-Year Finishing Warranty are made a part of this Agreement as if expressly set forth herein. If finishing is not selected from the Seller or from the factory, Customer is responsible for finishing. **THERE ARE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. IN NO EVENT SHALL SELLER OR PELLA OR ITS SUBSIDIARIES BE LIABLE FOR ANY INDIRECT, SPECIAL, CONSEQUENTIAL, OR INCIDENTAL DAMAGES ARISING OUT OF OR RELATED TO THE PRODUCT OR WORK.**

For remodeling or replacement orders placed by Customer, Pella offers painting and staining applications prior to installation of products. The stain color sample is only a general representation of the final product. Variations in different batches of stain along with natural differences in absorption rates, grain color, and characteristics of veneers and solid woods can do affect the final wood color. Such variations will be considered normal and not cause for replacement. Customer acknowledges that Pella will not accept returns based up stains not matching samples, and will not issue monetary credit for any variation in final stain color from the sample.

Customer Initials

 Initials

ARTICLE 9 - SPECIFIC PROVISIONS:

UV/Sun exposure will cause extreme changes. Stained Fiberglass Entry Door Products exposed to direct sunlight will lighten over time, and require regular maintenance of the finish. Review the condition of the topcoat every 18-24 months. The topcoat should be maintained using a brush on application exterior grade polyurethane topcoat with UV inhibitors. You can take a step further and even use a marine grade topcoat.

Customer Initials

 Initials

Customer's new windows are custom made for the opening(s) in Customer's dwelling. Pella manufactures its products to try and make Customer's windows more energy efficient. Every manufacturer's frame is unique in profile and fit. It is possible that Customer's existing interior mounted blinds or shades will no longer fit inside Pella's frames. It is also possible that Customer's existing shutters may not fit on Customer's new energy efficient windows. Customer acknowledges that Pella will not be responsible for these items and will not issue monetary credit or pay for any replacement blind or shades necessitated by the replacement of Customer's windows.

Customer Initials

 Initials

If Customer has selected pre-finished trim as part of this project, Customer acknowledges that application of the trim will result in nail holes that will remain visible following completion.

Customer Initials

 Initials

ARTICLE 10 - MECHANIC'S LIENS: Persons or companies furnishing labor or materials for the improvement of real property may enforce a lien upon the improved property if they are not paid for their contributions, even if the parties have no direct contractual relationship with the owner.

ARIZONA RESIDENTS: The mechanics' notice and lien registry provides a listing of all persons or companies furnishing labor or materials who have posted a lien or who may post a lien upon the improved property. If the person or company has posted its notice or lien to the mechanics' notice and lien registry, you may be required to pay the person or company even if you have paid the general contractor the full amount due. Therefore, check the mechanics' notice and lien registry internet website for information about the property including persons or companies furnishing labor or materials before paying your general contractor. In addition, when making payment to your general contractor, it is important to obtain lien waivers from your general contractor and from persons or companies registered as furnishing labor or materials to your property. The information in the mechanics' notice and lien registry is posted on the internet website of the mechanics' notice and lien registry.

The website for the Arizona Mechanic's Notice and Lien Registry is: ArizonaCourtRecords.us

ARTICLE 11 - MISCELLANEOUS:

This Agreement contains the entire understanding of the parties relating to the subject matter hereof and supersedes all previous understandings relating thereto, whether oral or written, and shall be binding upon and shall inure to the benefit of the heirs, administrators, executors, successors and assigns of the parties hereto. This agreement can only be modified in a writing signed by the parties hereto. If any one or more of the provisions of the Agreement or Contract shall be held to be invalid, illegal or unenforceable, the validity, legality, and enforceability of the remaining provisions of this Agreement and Contract shall not be affected. This Agreement and all matters relating thereto shall be governed by and construed in accordance with the laws of the state where the Project is located, with venue in the state or federal court sitting in the county or district where the Project is located. Customer expressly waives its right to a jury trial in such proceedings. All notices required under this Agreement shall be deemed to have been duly given if delivered personally to the proper party, or sent by first-class mail, postage prepaid, to the party's address as reflected in this Agreement.

Customer further acknowledges the following:

(a) If the home was built prior to 1978, the Customer has been provided with a "Protect your Family from Lead in Your Home" brochure: (Initial) _____, _____

NOTICE OF CANCELLATION

YOU MAY CANCEL THIS TRANSACTION, WITHOUT ANY PENALTY OR OBLIGATION, WITHIN 3 BUSINESS DAYS FROM THE ABOVE DATE.

IF YOU CANCEL, ANY PROPERTY TRADED IN, ANY PAYMENTS MADE BY YOU UNDER THE CONTRACT OR SALE, AND ANY NEGOTIABLE INSTRUMENT EXECUTED BY YOU UNDER THE CONTRACT OR TRANSACTION WILL BE RETURNED WITHIN 10 BUSINESS DAYS FOLLOWING RECEIPT BY THE SELLER OF YOUR CANCELLATION NOTICE, AND ANY SECURITY INTEREST ARISING OUT OF THE TRANSACTION WILL BE CANCELLED.

IF YOU CANCEL, YOU MUST MAKE AVAILABLE TO THE SELLER AT YOUR RESIDENCE IN SUBSTANTIALLY AS GOOD A CONDITION AS WHEN RECEIVED, ANY GOODS DELIVERED TO YOU UNDER THIS CONTRACT OR SALE; OR YOU MAY IF YOU WISH, COMPLY WITH THE INSTRUCTIONS OF THE SELLER REGARDING THE RETURN SHIPMENT OF THE GOODS AT THE SELLER'S EXPENSE AND RISK.

IF YOU DO NOT AGREE TO RETURN THE GOODS TO THE SELLER OR IF THE SELLER DOES NOT PICK THEM UP WITHIN 20 DAYS OF THE DATE OF YOUR NOTICE OF CANCELLATION, YOU MAY RETAIN OR DISPOSE OF THE GOODS WITHOUT ANY FURTHER OBLIGATION. IF YOU FAIL TO MAKE THE GOODS AVAILABLE TO THE SELLER, OR IF YOU AGREE TO RETURN THE GOODS TO THE SELLER AND FAIL TO DO SO, THEN YOU REMAIN LIABLE FOR PERFORMANCE OF ALL

OBLIGATIONS UNDER THE CONTRACT.

TO CANCEL THIS TRANSACTION, MAIL OR DELIVER A SIGNED AND DATED COPY OF THIS CANCELLATION NOTICE OR ANY OTHER WRITTEN NOTICE TO PWD-GREATER ARIZONA IOWA, LLC., AT 801 S 75TH AVE SUITE 100 PHOENIX AZ 85043, NOT LATER THAN MIDNIGHT OF [REDACTED] (THIRD BUSINESS DAY AFTER DATE OF TRANSACTION).

I HEREBY CANCEL THIS TRANSACTION.

Date: _____

CONTRACT SUMMARY:

Remove existing windows/door units and install Pella Units.

Fully insulate and seal around window/door units. (When applicable) _____ initial if not applicable
Clean and haul away all job-related debris within 24 hours of completion of the job and deliver the jobsite in neat and clean condition.
Complete all work in a professional workmanlike manner.

We are not responsible for concealed structural deficiencies.

Retrofit products may have less glass area than the original unit.

Painting/staining of all windows, doors, interior & exterior trim is the responsibility of the homeowner, unless they are purchasing pre-finish option.

Glass cleaning, removal of security systems, existing window treatments, relocation of HVAC vents, electrical & plumbing fixtures or protection of landscaping are the responsibility of the homeowner unless otherwise indicated and a charge is set therefore in this Agreement.

If drywall/plaster repair is necessary as part of your window replacement, PWD will make the repair, but wall painting is the homeowner's responsibility.

Customer shall also be responsible for obtaining any condominium and/or community association approvals which may be required prior to PWD placing the order with the manufacturer.

PWD is not responsible for existing blinds/ Interior shutters fitting/ working with new windows.
PWD is not responsible for meeting paint lines.

All Pella windows and doors must be specially ordered and cannot be returned to the manufacturer by Pella Arizona, nor used for other contracts, because they have

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

been specially ordered for your job.

CUSTOMER SIGNATURE

Project Checklist has been reviewed

Greg Esser

Signed by:



736C02CC7DAB44E...

5/8/2025

Customer Signature

Date

Credit Card Approval Signature

Order Totals	
Taxable Subtotal	\$15,845.83
Sales Tax @ 0%	\$0.00
Non-taxable Subtotal	\$0.00
Total	\$15,845.83
Deposit Received	\$7,922.92
Amount Due	\$7,922.91

Lead Safe Installation Customer Performance Expectations

In order to ensure a proper Lead Safe Installation, it is essential that we have you complete the below tasks prior to your installation:

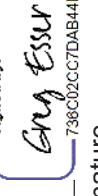
- ALL furniture needs to be moved at least 8 feet away from any window or door being replaced
- ALL personal items, wall hangings, and collectibles must be removed prior to your installation date
- All blinds and any interior window treatments need to be removed prior to your installation date
- Any non-movable furniture (for example: pianos, entertainment centers, built in cabinets, etc) must be cleared of items and be surface dusted prior to installation
- You will be responsible for replacing all furniture and personal items after your installation
- Other items: _____

What to Expect the Containment/Work Area to Look Like

- In order to ensure your safety, we will be taking measures to minimize dust / debris does not spread beyond our work area. This may include the use of plastic sheeting on the floors and/or walls, caution signs, sealing of heating and cooling air vents, and asking that you turn off your HVAC system during our work.
- During your Lead Safe Installation, you may also see your installation professional wearing Personal Protection Equipment.
- For your own safety, we are not permitted to allow you inside the work area during the removal of your current product or the installation of your new windows / doors.

By signing the form below, I am affirming that I understand all the expectations noted above and that I have agreed to have all items completed prior to my installation commencing. I understand that failure to have these items completed will result in the re-scheduling of my installation and that my installation date will be scheduled for the next available date.

Signed by:


Greg Esser
736C02CC7DAB44E...

Customer Signature

Date

Pre-Renovation Form

Occupant Confirmation

Pamphlet Receipt

have received a copy of the lead hazard information pamphlet informing me of the potential risk of lead hazard exposure from renovation activity to be performed in my dwelling unit. I received this pamphlet before the work began.

Printed Name of Owner-Occupant

Signature of Owner-Occupant

Renovator's Self Certification Option (for tenant-occupied dwellings only)
Instructions to Renovator: If the lead hazard information pamphlet was delivered but a tenant signature was not obtainable, you may check the appropriate box below.

Declined - I certify that I have made a good faith effort to deliver the lead hazard information pamphlet to the rental dwelling unit listed below at the date and time indicated and that the occupant declined to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit with the occupant

Unavailable for signature — I certify that I have made a good faith effort to deliver the lead hazard information pamphlet to the rental dwelling unit listed below and that the occupant was unavailable to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit by sliding it under the door or by _____.

(Ellipsis in how pamphlet was left)

Printed Name of Person Certifying Delivery _____ Attempted Delivery Date _____

Signature of Person Certifying Delivery

Init Address

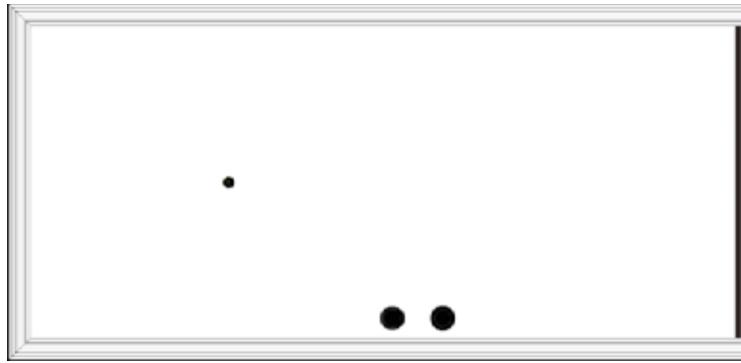
Note Regarding Mailing Option -- As an alternative to delivery in person, you may mail the lead hazard information pamphlet to the owner and/or tenant. Pamphlet must be mailed at least 7 days before renovation. Mailing must be documented by a certificate of mailing from the post office.

YU UH PHU FESSIUNAL CLASS PHU DUCT



800.222.4966
650 State Highway 3
SGarciaRe, us 44286

Legacy d00taGe Smooth Steel Entry Door



QUuTE INFu HWATiuN

Jo7: Ewwex
Tag: Hear Porch
urBer #63355066
Qty: 6

DETAILS

Legacy Single Entry Door in FrameSaver Frame

32" x 80" Nominal Size

Unit Size: 39 1/16" x 86 66 1/16"

Frame Depth: 4 1/16"

d" StanBarB kricRmolB
Hight s anB Inw ing ClnwiBe LooRing u Gr
006 Style d00taGe Smooth Steel Door
Sno- Wwt K hite InwBe anB u GtwBe
s arB- are

All s arB- are in klacRFiniwh
Meorjan LoRwt
bey urBer AlRe

ThGm7tGrn DeaB7olt
bey urBer AlRe
918" Peepnre (At 58" from floor)

Frame

TextGreB Sno- Wwt K hite AlGmInGm Frame ClaBBing
Sno- Wwt K hite InwBe Frame
d TG7ewo/Sno- Wwt K hite CaGR

kronze ZAC AGto@BJGtng ThrewnolB (5 5/18" Depth)
klacRkall kearing s ingew
SecGrity Plate

S ANDINM

ENEHMY

ENEHMY PEHfu HWANCE HATINMS

U Factor (U.S./R)

Solar heat Gain Coefficient

0.69

0.06

Sell Price: \$6,9d6.4d

ADDITIONAL PEHfu HWANCE HATINMS

U/W716 Transmittance

0.00

Air infiltration (cm/min)

<= 0.04

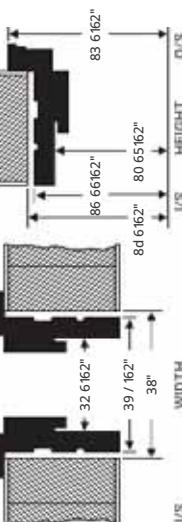


CPD: PHD0183d500006

SIZINM

OUTSIDE

INSIDE

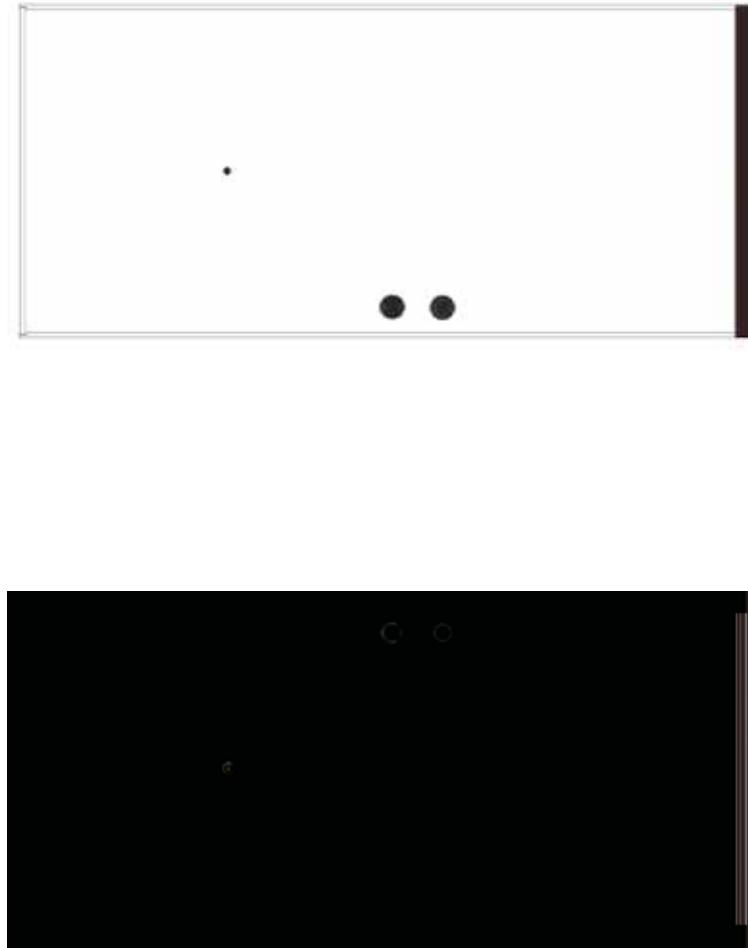


. Oz Y (YOFESSIONAL-KLASS (YODZ KT



822.119.hP:
4:12 State You 39
Sugarcreek\$OH hh18.

Legacy 42-Gauge Smooth Steel Entry Door



Qz OTE 10 FOYMATIO0

Jo7UEssex
TagUStudio Door
Order #: 33f f 2: :
QtyU

DETAILS

Legacy Single Entry Door in FrameSaver Frame

32" x 82" 0 nominal SIne

2 nit SIneUB: 9: 1" x 8: :: / 1"

Frame De6tpUh 9: 1"

4" Standard Brickmold

LeR Hand Inswing - Inside Looking Out
22: Style 42-Gauge Smooth Steel Door
Snow Mist Wpote Inside / Koal Black Outside

Hardware

All Hardware in Black Finisp

Georgian Lockset

bey Order Alike

Tpum7turn Dead7olt

bey Order Alike

Pf8" (ee6Site 5At f 8" Rom Roor)

Frame

Textured Koal Black Aluminum Frame Kladding

Snow Mist Wpote Inside Frame

3 Tu7es orKoal Black Kaulk

BronNe CAK Auto-AdZusting Tprespold f /8" De6tp

Black Ball Bearing Hinges

Security (late

Sell (riceU 42Pf ,2h



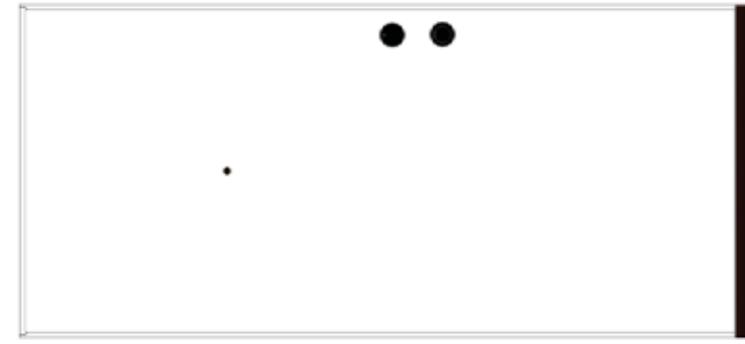
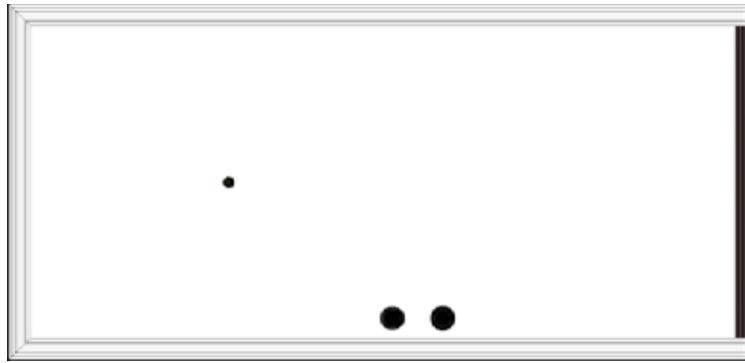
KC DUL YD-0-88-334Pf-2222:

YU UH PHU FESSIUNAL CLASS PHU DUCT



800.222.4966
650 State Highway 3
SGarciaRe, us 44286

Legacy d00taGe Smooth Steel Entry Door



QUOTE INFO HWATiUN

Job: Ewwex
Tag: NkeB
urBer #63355066
Qty: 6

DETAILS

Legacy Single Entry Door in FrameSaver Frame

32" x 80" Nominal Size

Unit Size: 39 1/16" x 86 65/16"

Frame Depth: 4 1/16"

d" StanBarB kricRmolB
Height s anB Inw ing ClnwBe LooRing u Gr
006 Style d00kaEge Smooth Steel Door
Sno- Wwt K hite InwBe anB u GtwBe
s arB- are

All s arB- are in klacRFiniw
Meorjan LocRwt
bey urBer AlRe
ThGm7tGrn DeaB7olt
bey urBer AlRe
918" PeepSite (At 58" from floor)

Frame

TextGreB Sno- Wwt K hite AlGmInGm Frame ClaBBing
Sno- Wwt K hite InwBe Frame
d TG7ewo/Sno- Wwt K hite CaGR
kronze ZAC AGto@BJGwting ThrewnolB (5 5/18" Depth)
klacRkall kearing s ingew
SecGrity Plate

ENERGY

OUTSIDE	INSIDE	0.69	0.06
U Factor (U.S./R)	Solar Heat Gain Coefficient		

ADDITIONAL ENERGY SAVING

Wwt/16 Transmittance

0.00

Air infiltration (cm/ft²)

<= 0.04



CPD: PHD01883d950006

door list is
correct

Initial
66



Southwest Surface Blasting, Inc.

Specialists in the Removal of Industrial Coatings, Floorings,

Diamond Grinding and Polishing of Concrete

AZ ROC CR-5.106773-D

AZ ROC CR-5.162139-D

Proposal and Contract

Southwest Surface Blasting, Inc., herein referred to as SWSB, agrees to perform the work described below:

Please note: This proposal is subject to our standard terms and conditions described below.

Date:	6/20/25	Attention:	Greg Esser
Project Name:	Greg Esser Residence	Company Name:	Residences
Project Address:	1117 N 9th Street Phoenix, AZ 85006	Company Address:	1117 N 9th Street Phoenix, AZ 85006
SWSB Rep:	Russ Sime	Phone:	(602) 614-8727
Rep Email:	rsime@swsbinc.com	Fax:	
Rep Cell:	(602) 290-5666	Email:	greg@gregesser.com
SWSB:	(480) 829-1125		
Mailing Address:	PO Box 41899 Mesa, AZ 85274		

Scope of Work: Front Porch, Archive Rooms, Studio, Rear Carport & Casitas

Subtotal

\$13,975.00

Diamond Grind Polish using the **Diamatic UltraFlor System** on approximately 1,850 sqft to provide a level 2 cut (salt and pepper finish) with a medium gloss. Grout coat entire floor, patch and fill holes and cracks with TX3 epoxy. Price **includes** two phases, generator and disposal.

Project Specific Notes, Exclusions:

1. Project cannot proceed unless asbestos testing is received prior to the start of the job, when applicable.
2. Note: Surface is to be evaluated after floor removal prior to polishing. Price **may** increase for unforeseen patching, leveling of uneven concrete surface and/or additional flooring products removal.
3. Note: Level of cut is affected by the flatness of the slab. High spots will show a larger aggregate than low spots. Because of this, the consistency of aggregate is an unknown factor and may vary.
4. Previous flooring products **may** cause shadowing effects in the finished polish, also known as ghosting.
5. GC is responsible for protection of floor. Note: At no time should adhesive **tape** be put directly to finished schedule surface
6. Patching of holes and cracks **may** not match existing concrete flooring.
7. Semi-ridged joint filler may crack if concrete control joints shrink. Note: SWSB Inc does not warrantee cracking of polyurea material due to shrinking of concrete.

Standard Terms and Conditions:

Unless noted otherwise, the following terms and conditions shall apply to this proposal:

1. Price reflects good access to job site. Additional charges will apply for any unusual access conditions.
2. Prices reflect work to be performed during normal business hours. Any project that is to start after 3:00 pm to 3:00 am or weekends may incur additional charges.
3. Additional charges may be added for any of the following: crew standby time, overtime, differences in square footage from proposal, mobilizations or trip charges.
4. Disposal container to be provided by owner or general contractor, SWSB to place waste in container.
5. Electrical power to be provided by owner or general contractor. 208 Volt, 3 phs, 50 amp breaker. 480 Volt, 3 phs, 60 amp breaker.
6. Prior to work commencing, the work area is to be cleared of all other trades, any equipment, or all merchandise.
7. If specific profile is require, we recommend that a qualified individual from your company should be available at the start of the of the scheduled projects to okay the profile. SWSB shall use caution not to damage the concrete during the surface profiling and/or product removal: however, SWSB shall not be held liable for over profiling of the concrete substraight.
8. Proposal may change if not accepted within 90 days of the proposal date.
9. SWSB Inc will pay all city and state sales and use tax at point of sale.
10. Payment is due net 15 upon receipt of invoice.
11. Due to the current federal laws and regulations, the above project cannot proceed without a proper materials asbestos/hazardous survey being provided to Southwest Surface Blasting. Southwest Surface Blasting, Inc. will be happy to assist in any way possible to help expedite necessary testing or notification requirements.
12. Polished concrete does not mask or remove discoloration within the concrete and may in fact enhance staining already present.
13. SWSB does not warrantee the performance of the polished surface from staining due to reactive or penetrating liquids. Diligence must be taken in the cleaning and the maintenance of a polished surface. Please refer to our Standard Care and Maintenance Sheet as well as the Product Data Sheets on the materials used. At no time should adhesive tape be put directly to finished concrete surface.

Southwest Surface Blasting, Inc. agrees to perform the above work for a cost of:

\$13,975.00

Fax back signed agreement to 480-829-1616 or email: reception@swsbinc.com
WORK CANNOT BE SCHEDULED UNTIL A SIGNED PROPOSAL HAS BEEN RECEIVED

Contractor or Owner Accepted By:

Signature	Printed Name	Date
-----------	--------------	------

SWSB Accepted By:



Lyons Roofing
878 W Illini St
Phoenix, AZ 85041

BILL TO

Greg Esser
1115 North 9th Street
Phoenix, AZ 85006 USA

ESTIMATE
257669069

ESTIMATE DATE
May 23, 2025

JOB ADDRESS

Greg Esser
1117 North 9th Street
Phoenix, AZ 85006 USA

Job: 256810956

Technician: Scott Slaughter

ESTIMATE DETAILS

Ultimate (Ultimate): GAF TIMBERLINE SHINGLE SYSTEM

Install customer selected underlayment system

Install new metal drip edge metal around perimeter edges

Install GAF® limited lifetime dimensional shingles (or equivalent)

Raise all A/C or cooling units and install shingles underneath

Install new attic roof vents, replacing the old ones if existing or applicable

Install new metal flashings over roof pipes and exhaust vents where applicable

Paint all pipes and vents to blend with shingle color

Benefits:

Brand new roofing system installed by a certified Shingle Master installer

SERVICE	DESCRIPTION	QTY
Ultimate Tear Off	Shingle Removal and Preparation: -Remove and properly dispose of the existing Shingles, underlayment/felt paper, fasteners and metal flashings. -All debris will be removed from the site daily, ensuring a clean and safe work environment. -Tear Off per Square all roofing types up to 6/12 pitch	1.00
Ultimate Shingle Roof	Shingle Roof Installation: -Install 1-layer of lightweight synthetic polymer-based underlayment	1.00

System Install	<ul style="list-style-type: none"> -Shingle Type: GAF Timberline Lifetime Dimensional Shingle -Shingle Style/Color: - Install GAF WeatherWatch® Leak Barrier shingle at all valleys & penetrations -Installed by Lyons Roofing, GAF Certified installers according to the manufacturer's guidelines. 	
Note: Nails may be exposed at the eave areas.		
Ultimate Shingle Metal	<p>Metal Flashings:</p> <ul style="list-style-type: none"> -Install new wall flashings for added protection. -Install edge metal to complete the roof's perimeter. -Replace old Ridge Vents, if existing, with new Ridge Vents. 	1.00
Ultimate Pipe Jacks for Shingle Install	<p>Flashing Installation:</p> <ul style="list-style-type: none"> -Install new pipe & T-Top flashings to prevent water infiltration at critical junctions. 	1.00
Ultimate Wood Decking Consideration	<p>Wood Decking Inspection and Replacement:</p> <ul style="list-style-type: none"> -Inspect the wood decking for any signs of delamination. -If delaminated wood decking is found, it will be replaced at an additional cost. A written change order will be submitted and must be approved prior to any wood deck replacement. -Wood pricing sheet has been provided for your reference. 	1.00
Ultimate Warranty	15yr Workmanship Limited Lifetime Warranty	1.00
Ultimate Material Warranty	<p>Manufacturing Defect Coverage</p> <ul style="list-style-type: none"> - GAF Lifetime* Shingles = Lifetime* Warranty - GAF Accessories* = Lifetime* Warranty - Up-front (100%) Coverage Period = 50 yrs - Covers Roofing System? = Yes (entire system) - Cost of Installation Labor Included = Lifetime* Warranty 	1.00
Piece of Mind	<ul style="list-style-type: none"> - Tear-Off Costs Included? = Yes (for mnfr defects only) - Contractor Factory Certified?** = Yes - Warranty Transferrable for Free? = Yes - Good Housekeeping Protection on Roofing System = Yes 	
<p>* Warranty coverage varies by manufacturer. See applicable warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty, GAF Roofing System Limited Warranty, System Plus Limited Warranty, Silver Pledge™ Limited Warranty, or Golden Pledge® Limited Warranty, as applicable, and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable. Lifetime coverage on shingles requires use of GAF Lifetime shingles only. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions. Lifetime coverage on shingles and accessories requires use of any GAF Lifetime Shingle and any 3 qualifying GAF accessories. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.</p>		
<p>** Contractor certification is only for installations covered by GAF enhanced warranties.</p>		

SUB-TOTAL	\$8,441.31
TAX	\$0.00
TOTAL	\$8,441.31
EST. FINANCING	\$101.30

Thank you for choosing Lyons Roofing

CUSTOMER AUTHORIZATION

1.LICENSED: Lyons Roofing is a licensed contractor with the State of Arizona and is required to follow all building codes set forth by state local building authorities who protect both the Owner and the contractor. Therefore, it is our responsibility to inform Owner of necessary procedures to ensure compliance with the applicable building codes. Lyons Roofing will perform its services in accordance with local, generally accepted roofing practices. No other express or implied warranty or representation, written or oral, is made, included, or intended in this contract except as expressly stated herein.

2.LIMITED WARRANTY: Upon payment in full within time specified on contract terms, Owner will receive a written workmanship warranty and materials warranty for a period of time as noted on contract, it will repair any leak caused by material or workmanship failure. This limited warranty is limited to repair or replacement of the roofing material, and excludes payment of any kind. Excluded from this limited warranty are: (1) pre-existing conditions; (2) conditions for which Lyons Roofing is not 100% liable; or, (3) any damage, whether incidental or consequential, resulting from work on the roof by Owner, others, or fire, or by acts of God (e.g., wind, rainstorm, dust storm, and hail) before, during, or after Lyons Roofing's work performance. If Owner does not properly maintain the roof, or if other work is performed on the roof without notice to Lyons Roofing, then Lyons Roofing may void this warranty. Owner must provide notice to Lyons Roofing of any warranty issues within three (3) calendar days of occurrence.

3.DAMAGES WAIVERS: Roofing work will cause vibrations and movement to the building structure. Lyons Roofing recommends securing your valuables(pictures, antiques, etc.) during your installation. Lyons Roofing is not responsible for damage, whether incidental or consequential, to personal belongings or real property as the result of normal construction work. Lyons Roofing is not responsible for failure of any mechanical equipment or re-alignment and/or replacement of satellite dishes. Lyons Roofing is not responsible for removal, condition or re-installation of rain gutters. We advise you that HVAC and other mechanical units, especially older units, may be susceptible to vibrations and movement. We advise homeowner to work with their HVAC contractor to assure their HVAC unit connections are not vulnerable to these movements/vibrations.

4.LIMITED LIABILITY: In some cases, the manner in which the roof was originally installed may cause stucco, wood, or metal damage when the roof is removed. Lyons Roofing is not responsible for damage as a result of the original install of the roof. Lyons Roofing is only responsible for claims damages for which it is entirely (100%) liable. Lyons Roofing is not liable for any damage, whether incidental or consequential, loss, or delay caused by: (1) pre-existing conditions; (2) conditions for which Lyons Roofing is not 100% liable; or (3) work on the roof by Owner, others, or fire, or by acts of God (e.g., wind, rainstorm, dust storm, and hail) before, during, or after Lyons Roofing's work performance. Lyons Roofing's liability shall be limited to the amount actually paid by the owner under this agreement.

5.LATENT CONDITIONS: Removal of the roof covering may present issues not visible during the original proposal. The costs of any latent deficiencies discovered after removal of the roof system are not included in the proposed price. If any structural problems need to be repaired, Customer will be required to sign a written change order prior to additional work being completed. Note: This work may need to be performed by another contractor, depending on the severity of the structural problem(s). Customer may also need to retain a licensed structural engineer to provide a report on those problems.

6.DRAINAGE: Structural failures/deficiencies in underlying roof members may cause insufficient drainage on flat roofs. Lyons Roofing is not responsible for drainage issues that exist due to the original structural design. Unless specifically stated on the contract, Lyons Roofing work is limited to repair of the existing roof. The Parties agree that Lyons Roofing shall not be responsible for ponding or standing water, unless Lyons Roofing expressly states in the scope of work to correct drainage.

7.PROMISES: No verbal agreement with Lyons Roofing or its representatives before or after execution of this Agreement shall affect or modify any of the terms or conditions contained in this Agreement. No changes, amendments or modifications of such terms or conditions shall be valid or of any effect, unless reduced to writing and signed by Customer and Lyons Roofing. If any conflict between the Terms and Conditions of this Agreement and Arizona law exist, this

Agreement shall be amended only to the extent necessary to comply with Arizona law, with no change in any other Terms and Conditions.

8.PAYMENT: Roofing work defined in this invoice will be scheduled after a 30% (minimum) down-payment is received and cleared. Payment in full shall be due on the date the work is complete. All other payment terms of this contract are applicable. Owner consents to filing of a mechanics lien, or such other instrument as Lyons Roofing and/or its suppliers may deem appropriate to secure payment. If collection proceedings are commenced to include liens in order to secure payment, Customer agrees to pay Lyons Roofing reasonable fees and costs associated with said collection and no warranty will be provided. If a dispute arises out of or related to this contract, and if the dispute cannot be settled through negotiation, the Parties agree first to try in good faith to settle the dispute by non-binding mediation before resorting to arbitration. If the Parties do not reach resolution within a period of sixty (60) calendar days from initial notice of any dispute, then, upon written notice by EITHER Party to the other, all disputes, claims, questions, or differences shall be finally resolved by binding arbitration in accordance with the provisions of the Arizona Arbitration Act. All mediation and arbitration proceedings shall take place in Maricopa County, Arizona unless the parties agree in writing. Arizona law applies to all proceedings under or interpretations of this Agreement, and the successful party in any legal action shall be entitled to recover its reasonable attorney's fees and out of pocket expenditures such as taxable costs, expert fees, and any other expenses reasonably incurred.

CANCELLATION: You may cancel this contract within 72 business hours of signing without penalty or obligation by submitting your cancellation in writing to Lyons Roofing. Should you require cancellation after 72 business hours; Lyons Roofing will deduct from your deposit a \$250 administrative fee, plus any unloading or restocking fees associated with this cancellation. Lyons Roofing will refund all balances due within 30 calendar days from receipt of written cancellation. Written notice can be sent to: corp@lyonsroofing.com.

9.Owner has the right to file a written complaint with the Arizona Registrar of Contractors [(602) 542-1525 www.azroc.gov] for alleged violations of Arizona Revised Statute § 32-1154 (A) that occurred within two years before the date of filing the complaint, as set forth in Arizona Revised Statute § 32-1155 (A).

Sign here *Gregory M. Esser*

Date 5/23/2025

Dave's Doors LLC.

Door and Window Restoration

Dave Carlson
1006 w Roosevelt St.
Phoenix Arizona 85007
602-469-8779
dave.carlson602@gmail.com

Quote Number 7052025

Greg Esser

Location: 1117 n 9th Ave.

From: Dave Carlson

Window and door restoration. Screen fabrication.

Ref:

7/5/2025

Project Description:

Perform restoration to achieve original look. Perform preservation activities to prevent future weather/water damage. Restore all window sashes per description below. Restore jambs per description below. Replace any warped, rotted or missing stiles, rails and muntins.

Window Sash Restoration Activities:

Remove window sashes and board up opening. Transport sashes to shop. Remove glazing. Remove glass and retain for reinstallation. Strip all paint from all sides of sashes. Disassemble sash frame. Sand to original wood surface. Strip paint from old hardware. Replace hardware if necessary. Reassemble sash frame, glue and clamp square. Add dowels to weak joints as needed. Replace missing or damaged muntins as needed. Glue cracks and splits in wood. Wood repairs and voids filled with ABATRON wood restoration 2 part epoxy. Final sand all surfaces after epoxy sets. Preform fit check of sashes to jamb to assure proper fit. Re-size as needed. Preform second fit check to assure minimum to jamb to minimize air leakage. Clean paint from removed glass panes. Reinstall original glass where possible, replace as needed. All sashes returned primed. Reinstall sashes and hardware.

Jamb Restoration Activities:

Scrape or strip paint from all exterior wood surfaces. Fill voids and holes with 2 part epoxy. Sand wood sill and brick molding surfaces. Apply wood hardener to sill to preserve for the future. Prime all wood surfaces and caulk as needed.

Preservation Activities:

Apply Liquid Wood, wood hardener to Areas susceptible to water absorption, preventing wood rot and peeling paint.
Apply to bottom rail of each sash, wood sill and lower ends of jamb near sill.

Pricing:

Quantity

Each

Sub Total

5	Double casement windows	\$1,750.00	\$8,750.00
10	3 lite fixed windows	\$450.00	\$4,500.00
2	Single casement windows	\$650.00	\$1,300.00
5	Double hung windows	\$1,600.00	\$8,000.00
5	Sills for double hung windows	\$150.00	\$750.00
6	Stools for damaged or missing	\$125.00	\$750.00

5	Large screens for double casement windows	\$400.00	\$2,000.00
2	Small screens for single casement windows	\$325.00	\$650.00
5	Screens for double hung windows	\$350.00	\$1,750.00
8	5 panel doors	\$900.00	\$7,200.00
Total			\$35,650.00

Payment upon delivery of each individual window.

Thank you for your consideration, Dave.

APPENDIXA: ITEMIZED BUDGET

Project Name: Dr. J Eugene and R. Thomasena Grigsby House

Property Address: 1117 North 9th Street, Phoenix, AZ 85006

Eligible Project Construction Items:		Notes:
Phase I	Remove bee colony from exterior storage shed	\$ 450.00
	Exterior graffiti abatement	\$ 700.00
	Remove 2 nonfunctional exterior roof-mounted air-conditioning units	\$ 450.00
	Exterior door and window glass repair	\$ 800.00
	Removal of exterior debris	\$ 3,000.00
	Remove blown-in insulation from 1919 attic	\$ 1,250.00
	Asbestos abatement	\$ 5,823.00
	Repair/rebuild 1919 building chimneys	\$ 5,150.00
	Roof truss repairs to correct minor ridge deflection	\$ 2,000.00
	Repair roof dormer	\$ 3,500.00
	Replace non-matching exterior eave boards with wood milled to match	\$ 5,000.00
	Replace in-kind existing asphalt shingle roofing	\$ 8,441.31
	Repair existing flat roof	\$ 25,000.00
	Replace in-kind existing foam roofing	\$ 11,067.44
	Rehabilitation of front porch	\$ 10,000.00
	Replace three front porch steps and chiseled edge repair	\$ 3,000.00
	Exterior building repairs to prepare for repainting	\$ 3,000.00
	Reverse adverse obstructions to north entry of 1963 addition	\$ 2,000.00
Phase II	Restore 1919 windows and exterior doors	\$ 32,150.00
	Repair/replace 1963 addition windows and exterior doors	\$ 20,845.83
	Remove non-historic exterior storage shed on south property line	\$ 2,000.00
	Historic outbuilding rehabilitation	\$ 15,179.92
	ADA access ramp and railing to 1919 bungalow	\$ 6,000.00
	Repair and refinish existing exterior front porch and carport concrete	\$ 4,192.50
	Repair of existing exterior bungalow ridge tails and rafter ends	\$ 3,000.00
	Contingency and Change Orders	\$ 20,000.00
Eligible Architectural/Structural Expenses:		
	Building and Building System Assessment	\$ -
	Structural Analysis of Building	\$ 2,500.00
	Property boundary survey	\$ 1,000.00
	Design of 1963 addition parapet wall and roof pitch	\$ 2,500.00
	Total Eligible Expenses	\$ 200,000.00
Architectural/Structural Expenses		
Amount \$6,000.00 Percentage of Total Request 3%		
Ineligible Construction Work to be Funded by Other Sources:		
	Planning and community outreach	\$ - by owner
	Repair and connect existing sewer line to city sewer line	\$ 8,442.37
	Regrading of property and public alleyway to restore access	\$ 6,000.00
	Replace historic sidewalk from public sidewalk to porch	\$ 1,000.00
	Removal of interior biohazards (hand sorting contents)	\$ 6,000.00 by owner
	Install new permitted 200 amp service panel and weatherhead	\$ 4,200.00
	Hand sort and palletize historic Phoenix Brickyard bricks	\$ - by owner
	Matterport building scan and 3D mapping of structures	\$ - by others
	Correct adverse interior building modifications	\$ 10,000.00
	Repair/replace existing City sidewalk	\$ 7,500.00
	ADA paving for alleyway	\$ 38,922.00
	Kitchen appliance and cabinet replacement	\$ 25,000.00
	Repair/replace bathroom tile	\$ 10,000.00
	Repair existing rolling gates and design and fabricate new exterior gates	\$ 5,000.00
	Fabricate and repair/replace privacy gates	\$ 12,000.00
	Repair/replace portions of existing exterior block wall	\$ 2,400.00
	Repair/refinish 1919 water-damaged wood flooring	\$ 15,000.00
	Repair/replace front yard and right-of-way irrigation system	\$ 15,000.00
	No Trespass Signage	\$ 78.03
	Temporary interior window coverings	\$ 73.66
	Repair existing air-conditioning unit in kind	\$ 280.00
	Replace leaking water heater	\$ 8,000.00
	Refinish interior concrete flooring	\$ 9,782.50 70% of scope
	Remove dead vegetation, grind stumps, and manicure mature trees	\$ 9,500.00
	Plant shade trees	\$ 6,000.00
	Repair interior ceiling and wall damage	\$ 10,000.00
	Rehabilitation of 6 5 panel interior doors	\$ 5,400.00
	Repair/restore 1919 built-in hutch	\$ - by owner
	Property master planning	\$ 25,000.00
	Archival work and contents conservation	\$ 100,000.00
	Owner project management and labor	\$ 60,000.00 by owner
	Total Ineligible Work Items	\$ 400,578.56
	Total Project Cost	\$ 600,578.56

APPENDIX B: Narrative Description of Work Items

Property Name: Dr. J. Eugene and R. Thomasena Grigsby House

Property Address: 1117 N 9th Street, Phoenix, AZ 85006

Phase I Improvements

Property Stabilization. At the time of acquisition in April 2025, this property had been sold for demolition after a prolonged period of deferred maintenance. Graffiti throughout the exterior of the property was painted over immediately upon acquisition. A colony of approximately 100,000 bees was also relocated by a beekeeper from the property to the West Valley upon acquisition to allow exterior work to proceed. Broken exterior window panes were immediately replaced with new glazing. Personal effects belonging to the Grigsby family remained tightly packed throughout the property, intermingled with trash, mold, insect infestations, and animal waste. The significant presence of mold was exacerbated by roofing throughout the property which had failed years earlier without repair. Ceilings and floors were badly water damaged in addition to the presence of mold. As a result, much of the content inside the property was damaged beyond recovery including artwork and numerous personal family items. However, significant items including photo albums, books, news clippings, and other media telling the story of the family's long relationship with the property were strewn throughout the property and could potentially be preserved and archived. The opportunity posed by the density of intermingled material inside and outside of the property created significant added challenge for preserving the building. It was necessary to remove biohazards from throughout the property while at the same time carefully hand-sorting, boxing, and storing off-site those items that could potentially be salvaged and conserved for archival purposes. Over a period of approximately 90 days, the contents of the building were carefully extracted and hand-sorted from biohazards and removed where possible to prepare the building for abatement of asbestos flooring, roofing replacement in-kind, and interior mold remediation and damaged ceiling and flooring repair. Reimbursement is requested for the City of Phoenix for these atypical property stabilization costs including City of Phoenix dumpster fees required to remove debris and trash from the property.

Regrading and Concrete Debris Removal. Historic bricks, river rocks, broken concrete and other debris were strewn throughout the property, both inside and out. The level of the front yard was approximately six inches higher than the adjacent right of way due to layering of decomposed granite, soil, and plastic. The alley to the north of the property had been barricaded with several feet of gravel, soil, rocks, and debris. The rear yard had a ten-foot deep hand-dug crater. The displaced material was placed through the rear yard

covering and in cases collapsing the original brick garden planting beds built by Dr. and Mrs. Grigsby. The alley required regrading to restore vehicular access to not only this property but alley adjacent properties to the north. Both the front and rear yards were regraded. Bricks were hand-sorted with historic bricks being palletized for later use.

Building and Building System Analysis. Plumbing, electrical, and mechanical systems were evaluated. Blown in insulation was removed from the attic to allow for observation and analysis of structural roof and ceiling elements including joists and rafters as well as electrical and plumbing elements in the attic of the bungalow. Obsolete portions of plumbing, including abandoned galvanized piping and copper to galvanized piping were removed. Portions of the building were opened for structural analysis of foundations, walls, ceilings, and roofing structures.

Asbestos Abatement. The original 1963 addition was entirely tiled with asbestos tiling. This asbestos was made partially friable by long-term water damage from the flat roof above the studio. The asbestos abatement is required for building occupancy.

Structural Analysis. A structural analysis of the full property will be completed to determine any deficiencies and any needed repairs or corrections. No structural work is currently anticipated.

Chimney Replacement and Repair. The north fireplace chimney, visible in the October 2008 Historic Property Inventory Form photograph had been removed at the roofline and patched with sheet metal and tar. The chimney was rebuilt to match the original and the south chimney was repaired in advance of new roofing installation.

Replace adverse eave modifications. The eaves have been partially repaired with non-match boards. New eave boards have been custom milled to match the existing eaves boards where adverse repairs have been made in tandem with replacement of the bungalow roofing.

Roofing Replacement In-Kind. The existing asphalt shingle roofing on the bungalow and the existing foam roofing on the studio will be replaced in-kind due to roofing failures throughout the property resulting in additional interior damages. Additional improvements and work are required prior to installation of new roofing in-kind.

1919 Front Porch Rehabilitation. The 1957 permitted front porch enclosure had been removed by a previous occupant without any additional structural support being restored. The porch roofline had minor deflection as a result. Earth to wood contact at spliced 2 x 4 support points was corrected with four new 4 x 4 posts on concrete footings with standoff post bases. Reversible box columns were built around the posts, reflecting the original column visible in an historic photograph of the family on the front porch which was taken

shortly after the Grigsby family acquired the property in approximately 1955. The fascia around the three sides of the front porch was also being repaired and replaced. The original hand-troweled plaster and lathe porch lid will be repaired and repainted. The original concrete porch deck had been covered with tar paper, plywood, and a layer of bricks as part of the 1957 porch enclosure which have been removed. The original concrete porch surface had been painted green prior to the 1957 enclosure. The concrete surface of the porch will be repaired and carefully polished by Southwest Surface Blasters, Inc. The protruding edge of the original concrete porch lid was also chiseled away as part of the porch enclosure and will be repaired.

Reinstallation of Front Porch Steps. The original front porch steps which were removed to allow for the 1957 porch enclosure will be repoured to match the original dimensions. The chiseled edge overhang of the concrete porch surface will also be repaired.

Repair and polish exterior building concrete surfaces. The exterior concrete of the front porch and exterior carport will be repaired, polished and sealed. This scope does not include outdoor space not directly under building cover.

Reversal of adverse obstructions to the north entry of the 1963 studio addition. The north side yard of the bungalow has been enclosed by a dilapidated cedar fence that will be removed. The north entry door to the 1963 studio addition, which features the stunning stained-glass sidelight designed and built by Dr. Grigsby, has also been obscured by a partial block wall that pre-dated construction of the addition and post-addition screened in porch. The portion of the wall used for screening in the porch was not structurally designed for the purpose and has failed. This adverse obstruction will be removed so that Dr. Grigsby's sidelight will be visible from the street for the first time in decades.

Phase II Improvements

Restoration of 1919 building exterior doors and windows. Original exterior doors and windows on the 1919 bungalow will be restored with the exceptions of the south sleeping porch area windows which are no longer in place. This opening will have three new double hung Pella windows installed that will reflect the three original double hung windows in the north sleeping porch area. Security bars and opaque aluminum window screening will be removed. Window screens will be installed for operable windows. See detailed Exterior Windows and Doors Schedule and scope of work proposal attached.

Replacement of 1963 addition doors and windows. The exterior doors and windows of the 1963 studio addition will be replaced with new Pella windows and doors to match the existing in kind. Security doors and security bars over these windows will be removed. See detailed Exterior Windows and Doors Schedule attached.

Remove exterior storage shed on property line. A non-occupiable storage structure built in the 1990s along the south property line will be removed.

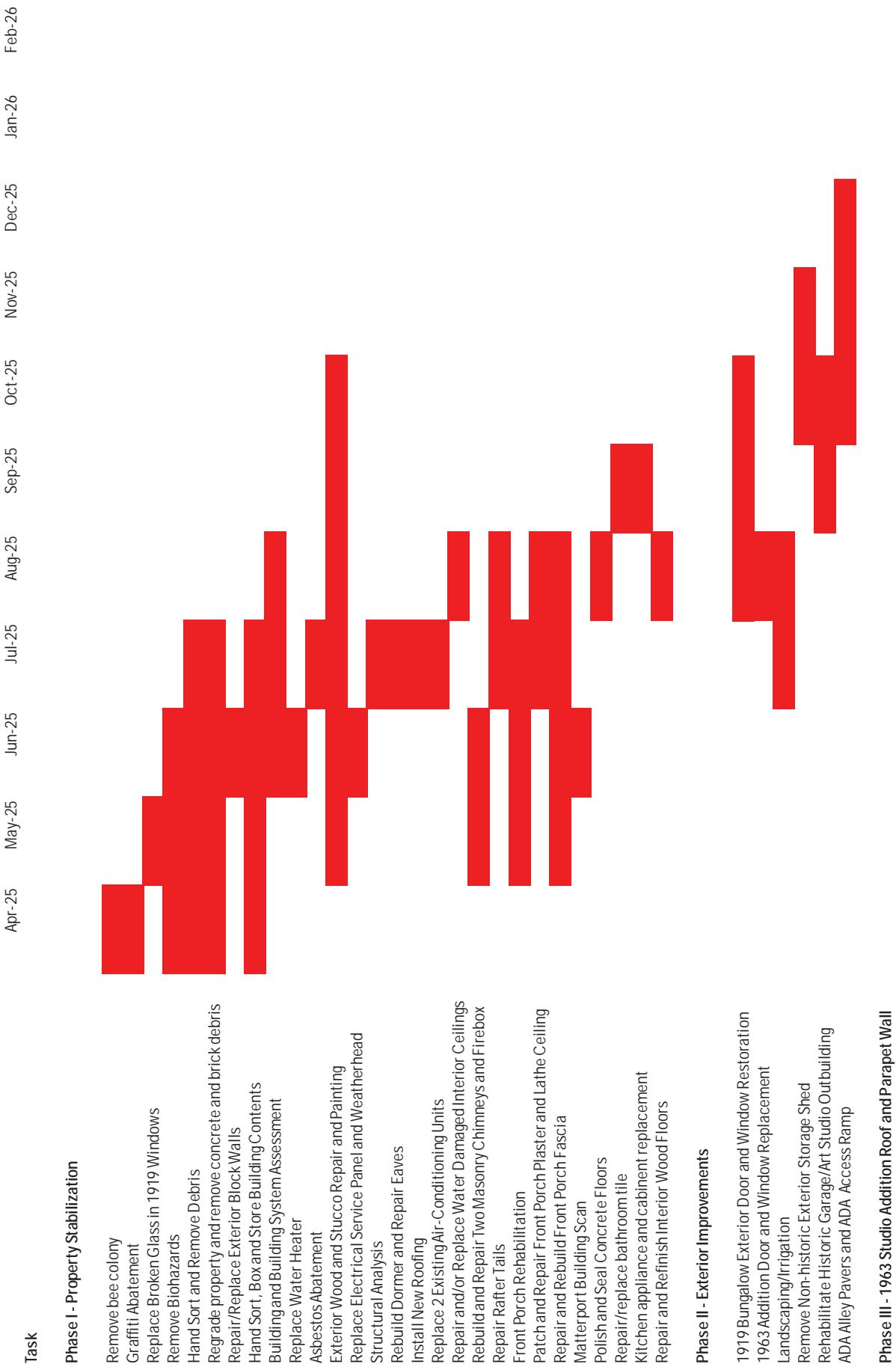
Rehabilitate exterior outbuilding. The Grigsby family moved the original metal-clad garage building visible in the 1957 oblique aerial photograph of the property to the east property line to make room for the 1963 studio addition. Utilities and a concrete floor were added when the building was relocated. Marshall Grigsby etched his first name and the year 1963 into the concrete surface poured inside the building after its relocation. At the time of property acquisition, the mature mesquite tree to the north of the relocated garage building had grown into the north-facing doors of the structure such that it was no longer possible to open one of the two doors. Dr. Grigsby used this building as an art studio and workshop for the home. This building of approximately 200 square feet will be rehabilitated in place.

Addition of ADA Building Access. The public alleyway to the north of the property is the only vehicular access to the property. The alley is currently unpaved and not an accessible walkable surface. We intend to install pavers in the alleyway, an area that is twenty feet by one hundred and seventy-seven feet, to create an ADA accessible surface and to provide vehicular access to the property as well as to the four properties to the north of the alley. In addition, an ADA access ramp to the front porch of the 1919 bungalow will be designed to follow the path and design of the exterior north front yard wall designed and built by the Grigsby family.

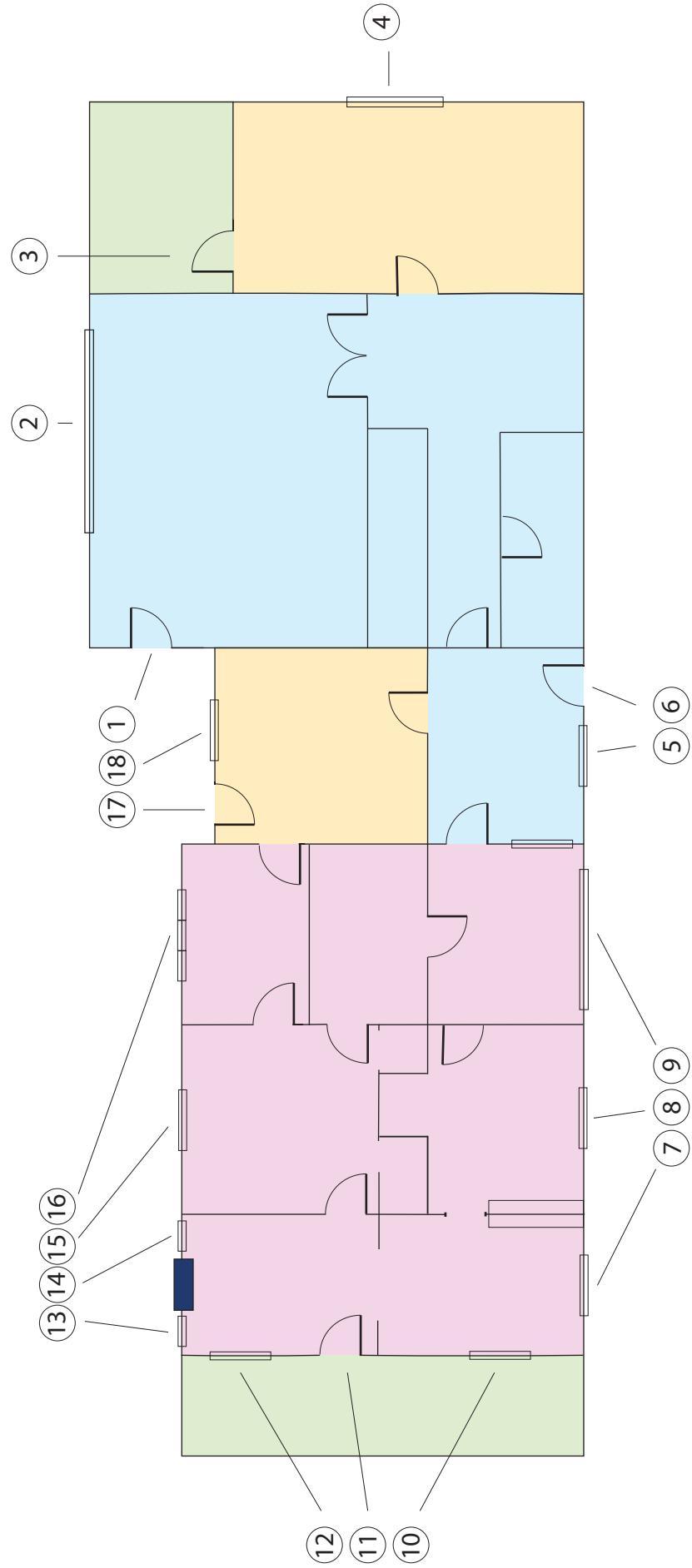
Phase III Improvements

Rebuild 1963 Studio Addition Roof. The current 1963 studio roof is perfectly flat and consequently hold a significant amount of water during rain events. A new roof will be designed and constructed to provide positive slope to the east edge of the roof providing an intermittent source of water to new trees in the rear yard. A parapet wall will also be designed to screen the roof-mounted exterior mechanical equipment and ductwork. An awning will be designed to replace the current eave of the studio addition in tandem with construction of the parapet wall. This element of work will be designed by an architect and permitted for construction as the final phase of restoration of the existing Grigsby home.

Rebuild Front Porch Columns. The final design and construction of the front porch columns will replicate the design visible in the most recently discovered photograph of the pre-enclosure front porch circa 1956. Architectural plans and engineering will be developed from the photograph evidence and evaluated prior to permitting and construction.



Dr. J. Eugene and R. Thomasena Grigsby House
Key to Exterior Windows and Doors



KEY

- Covered Front Porch/Rear Carport
- 1919 Bungalow
- 1963 Joe B. Wong Addition
- 1991 Additions

1117 N 9th STREET
PHOENIX, AZ 85006

Exterior Window and Door Schedule

Window and Door Schedule	Exterior View	Interior View	Dimensions HxW	Notes
1963 Addition			Door: 80" x 29," Lever Window: 10" x 36," Lower Sidelight: 78" x 12," Upper Sidelight: 9" x 26"	Designed and built by Dr. Grigsby, this stained glass sidelight is perhaps the most stunning and distinctive feature of the building. Will remove security screen door and bars. New Pella door to match original with same dimensions and white exterior finish and black interior finish.
			24" x 120"	Window to be replaced with new Pella window. Bars to be removed. Sliding gate to be replaced with less obtrusive sliding door design.
			2	

<p>Standard pre-hung exterior metal door. To be replaced with a new smooth-face Pella door.</p>	<p>80" x 36"</p>	<p>To be replaced with a new Pella sliding window. Security bars to be removed. New interior window trim to be installed to match studio and security bars to be removed.</p>
		
<p>3</p>	<p>4</p>	<p>5</p>

<p>Badly damaged original door. To be replaced with new Pella smooth-face door. Security screen door to be removed.</p> <p>80" x 32"</p> 	<p>Original hinged divided light window, sash, casing, and frame to be fully restored. Hinged inswing. Security bars and aluminum screen to be removed. New historic exterior window screen to be installed.</p> <p>54" x 49.5"</p> 	<p>Original hinged divided light window, sash, casing, and frame to be fully restored. Glazing currently held in place with duct tape. Hinged inswing. Security bars and aluminum screen to be removed. New historic exterior window screen to be installed.</p> <p>36" x 50"</p>  
		
<p>6</p> <p>1919 Bungalow</p>	<p>7</p>	<p>8</p>

<p>Original south sleeping porch windows appear to have been removed by previous owner. Current condition is two plate glass sheets loosely tacked in place with wood trim. To be replaced with 3 new Pella double-hung windows to reflect original windows still intact in north sleeping porch area.</p> <p>55.5" x 84"</p>	<p>Original hinged divided light window, sash, casing, and frame to be fully restored. Hinged inswing. This window previously had an air-conditioning unit in the left side window. The AC unit was removed and glazing has been restored.</p> <p>54" x 49.5"</p>	<p>This appears to be the original exterior front door. The glazing has been replaced. This exterior door and casing will be fully restored.</p> <p>80" x 30"</p>
		
<p>9</p> 	<p>10</p> 	<p>11</p> 

<p>12</p> <p>Original hinged divided light window, sash, casing, and frame to be fully restored. Hinged inswing. Security bars and aluminum screen to be removed. New historic exterior window screen to be installed.</p> <p>54" x 49.5</p> 	<p>This window opening had been bricked in on the outside and covered with a mantel shelf on the inside. The interior shelving was carefully constructed and reversible to preserve the window which still has the original glazing from 1919. The exterior wood requires restoration. LH hinged.</p> <p>29.5" x 24"</p> 	<p>This window opening is covered by plywood on the outside and was covered with a mantel shelf on the inside. Wires from a security system had been drilled through the window and window frame. The window requires restoration and new glazing in two of four panes. RH hinged.</p> <p>29.5" x 24"</p> 
	<p>13</p> 	
<p>12</p> <p>Original hinged divided light window, sash, casing, and frame to be fully restored. Hinged inswing. Security bars and aluminum screen to be removed. New historic exterior window screen to be installed.</p> <p>54" x 49.5</p> 	<p>13</p> 	<p>14</p> 

<p>Original hinged divided light window, sash, casing, and frame to be fully restored. Hinged inswing. Security bars and aluminum screen to be removed. New historic exterior window screen to be installed.</p> <p>54" x 50"</p>	<p>These appear to be the original three sleeping porch double-hung windows. The windows were painted on the outside and embedded in the wall on the inside. One pane had been broken and new glazing has been installed. These 3 windows will be fully restored and new screens installed.</p>	<p>Standard pre-hung exterior metal door. To be replaced with a new smooth-face Pella door.</p> <p>80" x 36"</p>
		
<p>15</p> 	<p>16</p> 	

Vinyl window with damaged exterior frame. To be replaced with new Pella window of same dimensions and operation.

54" x 35"



July 16, 2025



a neighborhood alliance

1204 E. Roosevelt St.
Phoenix, AZ 85006
garfieldneighborhood.org

Planning & Development Services
Historic Preservation Office
200 W Washington Street
Phoenix, AZ 85003

Re: Restoration of the Dr. J. Eugene and R. Thomsena Grigsby House

To Historic Preservation Office:

On behalf of Garfield Organization, I respectfully request your support in approving this request by Greg Esser and Cindy Dach for City of Phoenix funding through the Phil Gordon Threatened Building Grant Program.

The preservation plans for this property were presented to our Board of Directors of Garfield Organization July 15, 2025. We were upset to learn that this historically and culturally significant property was threatened with demolition prior to its acquisition by Mr. Esser and Ms. Dach.

This property, located at 1117 North 9th Street and within the boundaries of the North Garfield Historic District, is significant for its historic connection to the Grigsby family. Dr. Grigsby was a founder of Garfield Organization. The Grigsby family moved into the home in the mid-1950s. At that time, the family acquired a then-vacant building, a 1919 Craftsman bungalow, through the probate court.

Both Dr. and Mrs. Grigsby were significant civil rights leaders, educators, community leaders, and advocates for others throughout their lives.

We support the plans to continue to provide arts space in this property through its renovation and historic preservation.

Garfield Organization supports the plans to honor the legacy of contributions the Grigsby family made to our neighborhood, the City of Phoenix, and beyond. We encourage you to approve this request for support.

Sincerely,

Dana Johnson

president

Garfield Organization, a neighborhood alliance

Working for a
safe, clean and friendly
neighborhood since 1989

Grigsby and Associates, LLC
3703 Gawayne Terrace
Silver Spring, Maryland 20906
(301) 598-2090 Voice – (301) 598-3089 Fax – (301) 509-1325 Cell
marshallgrigsby@gmail.com

July 21, 2025

Planning & Development Services
Historic Preservation Office
200 W. Washington Street
Phoenix, AZ 85006

Re: Restoration of the Dr. J. Eugene and R. Thomasena Grigsby House

To Historic Preservation Office:

I was delighted to hear that Greg Esser and Cindy Dach were developing plans to restore our family home located at 1117 North 9th Street. I wholeheartedly support that effort and strongly encourage your support of that project.

My family first moved to Phoenix from Charlotte, North Carolina in 1946. I was two months old at the time and the total population of the entire Valley was less than 100,000 people! My Dad was recruited to come to Phoenix to establish an art department at the segregated Carver High School. Over the years, not only did he develop and grow that art department, but he also established a reputation of being one of the most effective art teachers throughout the State of Arizona, the nation, and around the world. He received invitations and fellowships to spread his knowledge of art education far and wide, including teaching in the U. S. Pavilion at the World's Fair in Brussels Belgium in 1957. As a matter of fact, in 2012, then Mayor Greg Stanton (now Congressman Stanton) presented my father with the first annual Phoenix Festival of the Arts Award and subsequently renamed the visual arts award the Dr. Eugene Grigsby Visual Artist Award which is presented annually at the festival.

My mother was also an accomplished teacher in her own right. She began teaching at Carl Hayden High School shortly after it opened in 1957 and remained there for 12 years. When she first got there, as the only woman, and only Black woman teaching Biology at Carl Hayden, she was the only teacher without a permanent classroom. She had to carry all her lab equipment, teaching material, experiments and other items from room to room daily, while all the other teachers had permanent classroom space. In addition, she was given the most unruly and undisciplined students in science. However, her skill and ability enabled her to succeed and excel. One of those unruly and undisciplined students was a football player named Art Hamilton who went on to become a skilled state legislator and Minority Leader in the Arizona House of Representatives. Art credits my mother with making it possible for him to turn himself around and achieve all that he has done.

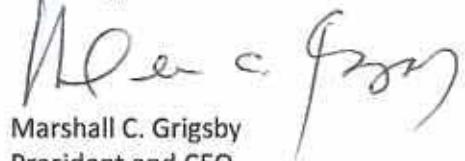
The house at 1117 North 9th Street was a veritable beehive of activity for decades. Both parents were actively engaged in numerous civic and social organizations, civil rights groups, and art and science

activities. They were also active members of the United Nations Association and whenever delegations of foreign leaders visited Phoenix, they often ended up at the Grigsby household on 9th Street. They were early on supporters and members of the Phoenix Art Museum, the Heard Museum, the Phoenix Library, and a host of other organizations throughout the Valley. Frank Lloyd Wright, the internationally renowned architect would visit when he was wintering at Taliesin West, and my father would take his students there to observe him and his colleagues at work. There was never a dull moment in that house.

The education I received at home while growing up, along with my formal education at Booker T. Washington Elementary School, Emerson Elementary School and Phoenix Union High School, enabled me to go on to Morehouse College in Atlanta for my undergraduate studies then on to the University of Chicago where I completed Masters and Doctoral programs, and then on to a career in higher education including becoming a college president. That would not have been possible without the 1117 North 9th Street foundation.

The plans for the preservation and designation of our family home include honoring the important roles played in many arenas by both of my parents. I hope that you will support the efforts of Greg Esser and Cindy Dach to preserve the Grigsby family legacy.

Sincerely,

A handwritten signature in black ink, appearing to read "Marshall C. Grigsby".

Marshall C. Grigsby
President and CEO