



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned

From: Joshua Bednarek

Planning & Development Department Director

Date: April 23, 2025

Subject: P.H.O. APPLICATION NO. PHO-4-25--Z-29-94-6(8) – Notice of Pending Actions by the Planning Hearing Officer

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **May 21, 2025**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by ***April 30, 2025.**

DISTRIBUTION

Mayor's Office (Tony Motola), 11th Floor
City Council (Stephanie Bracken), 11th Floor
Aviation (Jordan D. Feld)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Joel Asirsan), 2nd Floor
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Todd Shackelford), 16th Floor
Public Transit (Skitch Kitchen)
Street Transportation Department (Maja Brkovic, Josh Rogers, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Kurt Miyamoto), 5th Floor
Street Transportation - Floodplain Management (Tina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Joshua Bednarek, Tricia Gomes), 3rd Floor
Planning and Development/Information Services (Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Byron Easton, Teresa Garcia), 2nd Floor
Village Planner (Anthony Grande, Camelback East Village)
Village Planning Committee Chair (William Fischbach, Camelback East Village)



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-4-25--Z-29-94-6(8)

Council District: 8

Request For: Stipulation Modification

Reason for Request: Request to modify Stipulation 1 regarding general conformance to the site plan date stamped January 11, 1994 and elevations and exhibits dated January 12, 1994.

Contact Information

Name	Relationship Type	Address	Phone	Fax	Email
Gen2 Arizona Properties, LLC	Owner	PO Box 4179, Kingman, AZ 86402	480-322-3822		johnrose@ddofoods.com
Michael Scarbrough, LTH Development Group, LLC	Applicant	10645 North Tatum Boulevard, #200-455 Phoenix Arizona 85028 United States			mike@lthdevelopment.com
Michael Scarbrough, LTH Development Group, LLC	Representative	10645 North Tatum Boulevard, #200-455 Phoenix Arizona 85028 United States			mike@lthdevelopment.com

Property Location: Approximately 970 feet south of the southeast corner of 44th Street and Thomas Road

Acreage: 1.82

Geographic Information

Zoning Map	APN	Quarter Section
G11	126-08-133	Q14-38
Village: Camelback East		

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning@phoenix.gov or visit our website at <https://www.phoenix.gov/pdd/licensing-time-frames>

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

I declare that all information submitted is true and correct to the best of my knowledge and belief. I acknowledge that any error in my application may be cause for changing its normal scheduling.

Signature: _____ DATE: _____

Fee Information

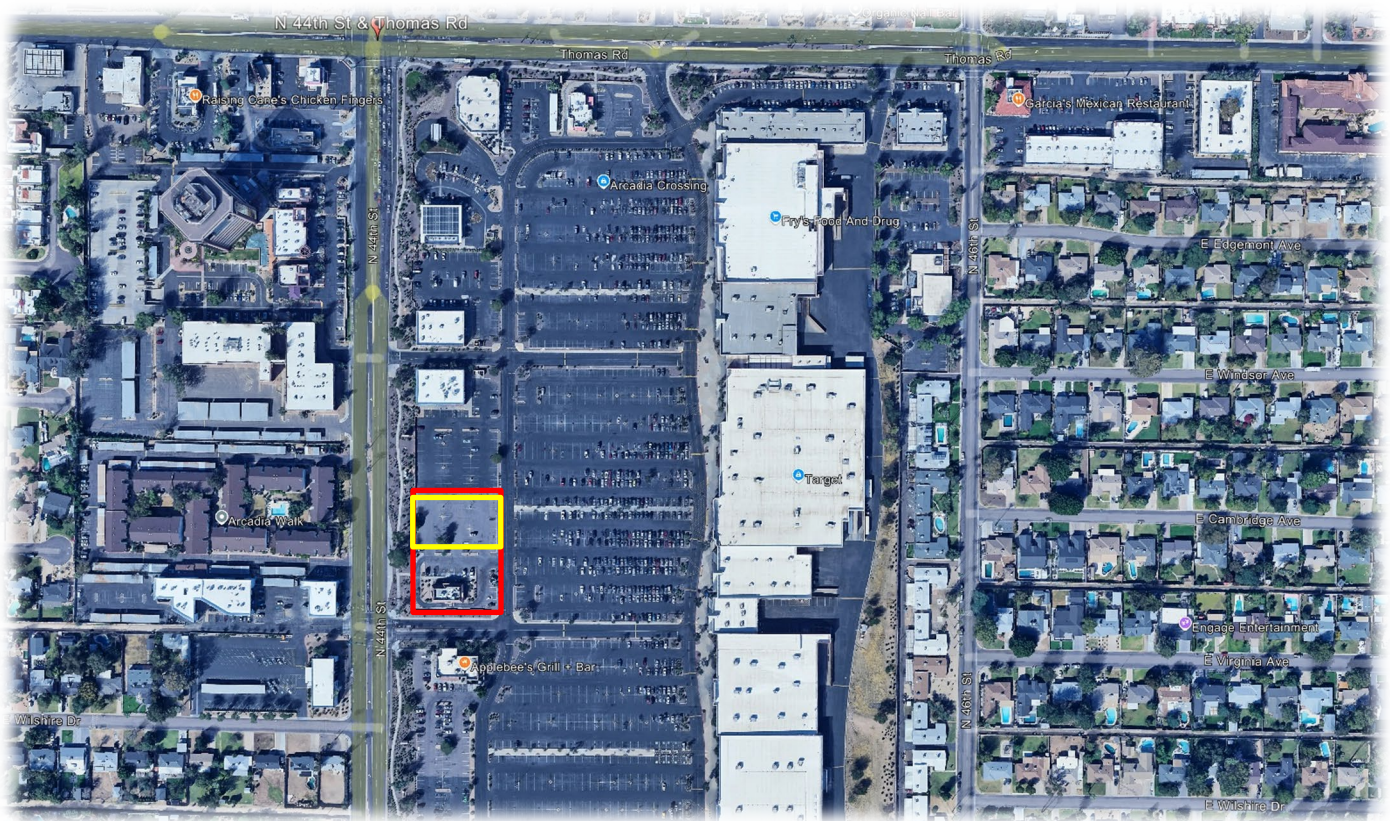
Fee	Fee Waived	Fee Date	Purpose
\$1,080.00	\$0.00	04/15/25	PHO (1-2 stipulations)



LTH Development Group, LLC

REQUEST FOR STIPULATION MODIFICATION PHO-3-20—Z-29-94-6

The property that is the subject of this Application is part of an approximately 1.82 acre parcel located approximately 1,000 feet south of the southeast corner of 44th Street and Thomas Road in Phoenix, Az, as depicted below and outlined in Yellow.



The subject parcel is a portion of Pad 7 of the Preliminary Site Plan of Arcadia Crossing (outlined in Yellow above), is located within a larger commercial center and is currently a parking lot with all of the off-site improvements (bus bay, curb, gutter, sidewalk, landscaping, etc.) in place. The proposed project, a 7 Brew Drive-Thru Coffee (7 Brew), will have access to the ROW from existing drives immediately south of the parcel and via internal access drives within the larger commercial center. The proposed design provides for good on-site circulation, queuing, on-site landscaping, lighting and both the existing use to the south (Taco Bell) and the proposed use (7 Brew) will provide the required parking per code.

In order to proceed with this development, a modification to the previously approved Zoning stipulations is required to accommodate the 7 Brew on the northern portion of the 1.82 acre parcel. The modification of the Zoning stipulations will allow the existing parking lot to be developed as a drive-thru use, which is highly compatible with the surrounding land uses, and places this underutilized portion of the larger parcel into a productive use. Therefore, the Applicant proposes to modify the Zoning stipulations as set forth below:

STIPULATIONS:

1. That the development be in general conformance to the site plan (dated January 11, 1994) [or with the modifications to Anchor D as shown in the site plan dated September 7, 2001], with the northern portion of PAD 7 being developed in accordance to the Site Plan, date stamped 2025, together with the elevations and exhibits (dated 1/12/94) as may be modified by the following stipulations.

Modification Rationale: The above modification to the previously approved Zoning stipulation will allow for the development on this underutilized parcel with a new drive-thru use. The proposed 7 Brew Drive-Thru Coffee will convert a parking lot into a new and vibrant business for the community.

2. That development of the site be in accordance with the Development Agreement (Ordinance S-21748 amending Ordinance S-21068, dated 11-93) between Opus Southwest Corporation and the City of Phoenix
3. That particular attention shall be given during the Design Review process to provide building elevations that are consistent in design and materials around the entire center and that the linear nature of the design be minimized through the use of architectural embellishments, building offsets, shade structures and pedestrian plazas.
4. That the site plan be modified as approved by the Development Services Department to reflect the following changes:
 - a. Building offsets for the major users shall be consistent with the Site Plan dated January 11, 1994;
 - b. Pad Sites three (3) and four (4) may be modified to create a unified pad development such as through the use of depressed parking and pedestrian plazas. A major gateway statement shall be provided at the Thomas Road and 44th Street intersection with views to the interior of the development;
 - c. That access to the exception parcel at the southwest corner of the site be considered at the time of site plan approval

5. That the right-of-way dedications and off-site improvements shall be consistent with the Development Agreement (as identified in Stipulation No. 2).
6. That a single driveway access be permitted on 46th Street south of Shops “B” as approved by the Development Services Department, and no vehicular access between the library site and the retail center. Left turn access from the site onto Oak Street shall be prohibited.

Except as listed above, all other stipulations provided for in zoning case # PHO-3-20—Z-29-94-6 shall remain unchanged and in full force and effect.

The Applicant submits that the new proposed drive-thru development will provide a highly compatible use to the existing larger commercial center. The stipulation modification requested herein all for the new 7 Brew Drive-Thru Coffee development to proceed in accordance with the proposed plan of development, the current C-2 zoning and the current development criteria of the City.

Attachments:

Exhibit A – Zoning Case PHO-3-20—Z-29-94-6

Exhibit B – Preliminary Site Plan for Arcadia Crossing (date stamped May 10, 1994)

Exhibit C – Proposed Site Plan for the northern portion of PAD 7

Exhibit D – Legal Description for the Proposed 7 Brew project



City of Phoenix

PLANNING DEPARTMENT

June 4, 2004

Costco Wholesale Corporation
999 Lake Drive
Issaquah, WA 98027

Dear Applicant:

RE: Z-29-94-6 –Southeast corner of 44th Street and Thomas Road.

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.1 of the Zoning Ordinance, has on June 2, 2004, concurred with the recommendation of the Planning Hearing Officer and has ratified on the Consent Agenda Z-29-94-6 for modification of stipulation regarding general conformance to site plan dated May 10, 1994, to allow a gasoline facility.

STIPULATIONS

1. That the development be in general conformance to the site plan (dated January 11, 1994) [or with the modifications to Anchor D as shown in the site plan dated September 7, 2001], together with the elevations and exhibits (dated 1/12/94) as may be modified by the following stipulations.
2. That development of the site be in accordance with the Development Agreement (Ordinance S-21748 amending Ordinance S-21068, dated 11-93) between Opus Southwest Corporation and the City of Phoenix.
3. That particular attention shall be given during the Design Review process to provide building elevations that are consistent in design and materials around the entire center and that the linear nature of the design be minimized through the use of architectural embellishments, building offsets, shade structures and pedestrian plazas.
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 - b. Pad Sites three (3) and four (4) may be modified to create a unified pad development such as through the use of depressed parking and pedestrian plazas. A major gateway statement shall be provided at the Thomas Road and 44th Street intersection with views to the interior of the development;

- c. That access to the exception parcel at the southwest corner of the site be considered at the time of site plan approval.
5. That the right-of-way dedications and off-site improvements shall be consistent with the Development Agreement (as identified in Stipulation No. 2).
6. That a single driveway access be permitted on 46th Street south of Shops "B" as approved by the Development Services Department, and no vehicular access between the library site and the retail center. Left turn access from the site onto Oak Street shall be prohibited.

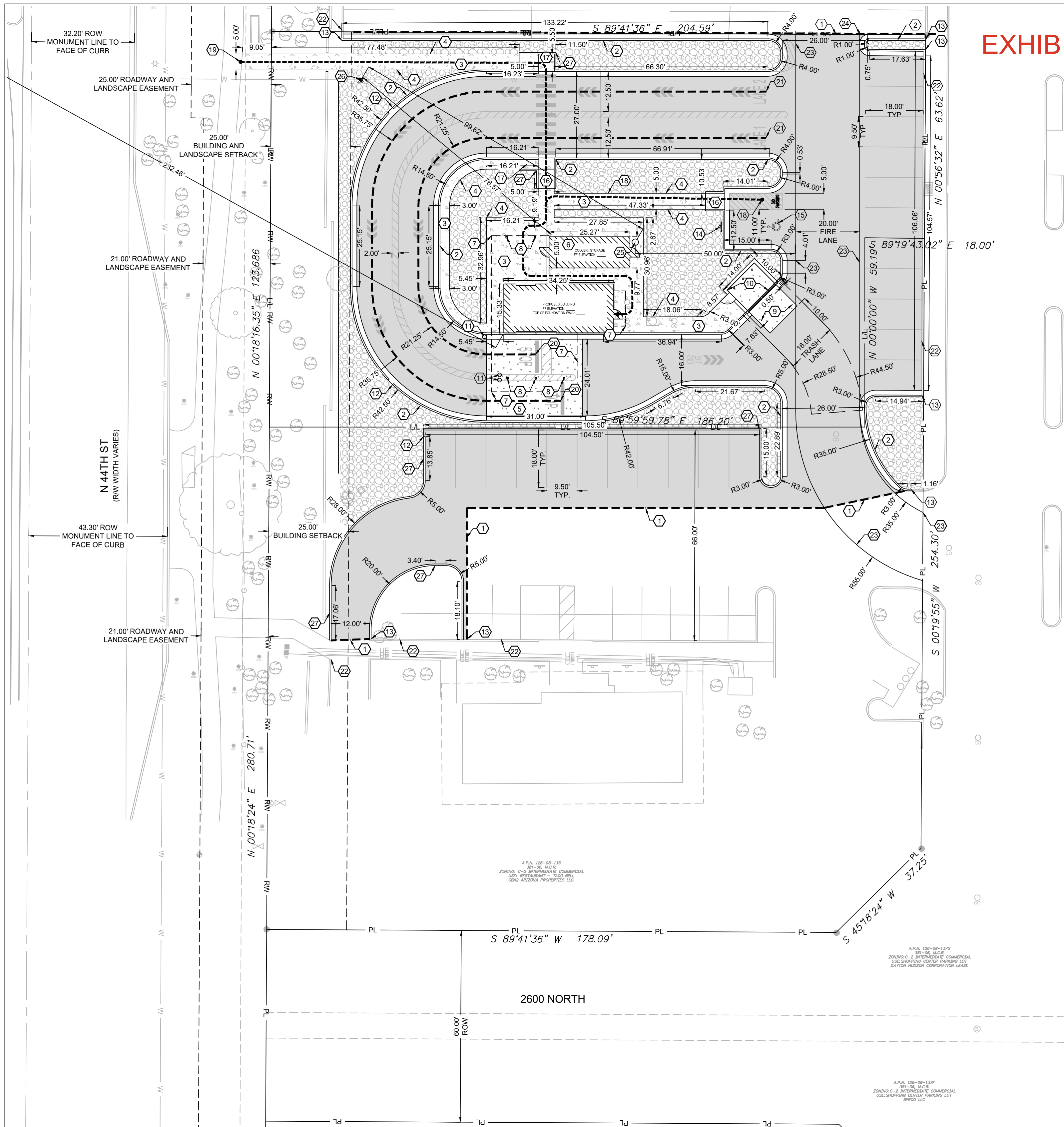
Development and use of the site is still subject to all applicable codes and ordinances.

Sincerely,



Michelle Dodds, AICP
Principal Planner

- C: Kelly Walker (Sent electronically)
Bernadine Alling (Sent electronically)
Jay Neville (Sent electronically)
Marquitrice Short
Dave Barrier, DSD/Building Safety (Sent elec)
E.J. Hyncik, Public Transit(Sent elec)
Case File
Book
Bruce Creager/Barghausen Consulting, 18215 72nd Ave. So., Kent, WA, 98032



HATCH LEGEND:

- ASPHALT PAVEMENT
PER DETAIL 2.06, SHEET C7.1.
- CONCRETE SIDEWALK
PER SIDEWALK DETAIL 2.02, SHEET C7.1.
- CONCRETE PAVEMENT
PER CONCRETE PAVEMENT
DETAIL 2.03 AND 2.05, SHEET C7.1.
- LANDSCAPE AREA.
REFER TO LANDSCAPE PLAN.

KEY NOTES:

- MATCH EXISTING PAVEMENT.
- 6" CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
- SIDEWALK PER DETAIL 2.02, SHEET C7.1.
- EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOPWALK
EDGE DETAIL 2.04, SHEET C7.1.
- CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
- REMOTE COOLER LOCATION, COOLER TO BE INSTALLED ON 4" THICK
CONCRETE PAD WITH THICKENED EDGE PER DETAIL 2.04, SHEET C7.1.
- BUILDING CANOPY OUTLINE.
- CANOPY COLUMNS LOCATIONS, TYPICAL.
- 6" CONCRETE PAD FOR TRASH ENCLOSURE PER CITY DETAILS, SHEET C7.3.
- TRASH ENCLOSURE AND GATE AND BOLLARDS, PER CITY DETAILS, SHEET C7.3.
- 3" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- CONCRETE CURB CUT PER DETAIL 2.17, SHEET C7.2.
- CONNECT TO EXISTING CURB.
- ADA VAN ACCESSIBLE SIGN PER DETAIL 2.08, SHEET C7.1.
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01, SHEET C7.1.
- TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- MODIFIED TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- ACCESSIBLE PATH FROM PARKING TO BUILDING.
- ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING.
- POINT OF SERVICE, 216 FT. = TOTAL QUEUING LENGTH LANE 1.
270 FT = TOTAL QUEUING LENGTH LANE 2.
- POINT OF ENTRY.
- EXISTING CURB AND GUTTER, DO NOT DISTURB.
- FIRE APPARATUS ACCESS LANE.
- EXISTING PUBLIC FIRE HYDRANT.
- FIRE DEPARTMENT CONNECTION.
- PROPOSED FIRE HYDRANT.
- 6" CONCRETE CURB PER DETAIL 2.01, SHEET C7.1.

EXHIBIT C

Z CASE NO.: Z-29-94 PHO 01-03

- STIPULATIONS:
- THAT THE DEVELOPMENT BE IN GENERAL CONFORMANCE TO THE SITE PLAN (DATED JANUARY 11 1994) (OR WITH THE MODIFICATIONS TO ANCHOR D AS SHOWN IN THE SITE PLAN DATED SEPTEMBER 7, 2001) TOGETHER WITH THE ELEVATIONS AND EXHIBITS (DATED 1/12/94) AS MAY BE MODIFIED BY THE FOLLOWING STIPULATIONS.
 - THAT DEVELOPMENT OF THE SITE BE IN ACCORDANCE WITH THE DEVELOPMENT AGREEMENT (ORDINANCE S-21748 AMENDING ORDINANCE S-21068 DATED 11-93) BETWEEN OPUS SOUTHWEST CORPORATION AND THE CITY OF PHOENIX
 - THAT PARTICULAR ATTENTION SHALL BE GIVEN DURING THE DESIGN REVIEW PROCESS TO PROVIDE BUILDING ELEVATIONS THAT ARE CONSISTENT IN DESIGN AND MATERIALS AROUND THE ENTIRE CENTER AND THAT THE LINEAR NATURE OF THE DESIGN BE MINIMIZED THROUGH THE USE OF ARCHITECTURAL EMBELLISHMENTS, BUILDING OFFSETS SHADE STRUCTURES AND PEDESTRIAN PLAZAS
 - THAT THE SITE PLAN BE MODIFIED AS APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT TO REFLECT THE FOLLOWING CHANGES.
 - BUILDING OFFSETS FOR THE MAJOR USERS SHALL BE CONSISTENT WITH THE SITE PLAN DATED JANUARY 11, 1994.
 - PAD SITES THREE (3) AND FOUR (4) MAY BE MODIFIED TO CREATE A UNIFIED PAD DEVELOPMENT SUCH AS THROUGH THE USE OF DEPRESSED PARKING AND PEDESTRIAN PLAZAS. A MAJOR GATEWAY STATEMENT SHALL BE PROVIDED AT THE THOMAS ROAD AND 44TH STREET INTERSECTION WITH VIEWS TO THE INTERIOR OF THE DEVELOPMENT.
 - THAT ACCESS TO THE EXCEPTION PARCEL AT THE SOUTHWEST CORNER OF THE SITE BE CONSIDERED AT THE TIME OF SITE PLAN APPROVAL
 - THAT THE RIGHT-OF-WAY DEDICATIONS AND OFF-SITE IMPROVEMENTS SHALL BE CONSISTENT WITH THE DEVELOPMENT AGREEMENT (AS IDENTIFIED IN STIPULATION NO 2)

CITY OF PHOENIX GENERAL SITE PLAN NOTES:

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.

PARCEL DESCRIPTION:

A PORTION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PROJECT DESCRIPTION:

THE PROJECT WILL INCLUDE A DRIVE-THROUGH ONLY COFFEE RESTAURANT ON AN EXISTING DEVELOPED PARCEL. THE EXISTING DEVELOPED PARCEL IS CURRENTLY A PARKING LOT. FOR THIS PROPOSED USE, THE SPACE WILL BE REPLACED WITH NEW PAVING AND THE DRIVE-THROUGH ONLY COFFEE RESTAURANT.

PARCEL NUMBER: APN: 126-08-133
LOT SALES: NO

PROPOSED USE:

RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: C-2 INTERMEDIATE COMMERCIAL

PARKING REQUIREMENTS:

EXISTING PARKING: 90 PARKING SPACES

PROPOSED PARKING: 1 SPACE PER 30 S.F. (EXCLUDING KITCHEN, RESTROOM, STORAGE AND INCLUDING OUTDOOR SALES) = APPROXIMATELY 350 S.F. = 7 STALLS PROVIDED = 7, 6 STANDARD AND 1 ADA

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA = 25,665 S. F.
PRE-PROJECT PERVIOUS AREA = 3,473 S. F.
POST-PROJECT IMPERVIOUS AREA = 19,327 S. F.
POST-PROJECT PERVIOUS AREA = 9,811 S. F.

SETBACKS:

REQUIRED BUILDING SETBACK = 25 FT
REQUIRED LANDSCAPE SETBACK = 50 FT
PROVIDED BUILDING SETBACK = 70 FT
PROVIDED LANDSCAPE SETBACK = 50 FT

DEVELOPER:

ENCORE LLC
DWAYNE RASH
(282)205-4662
drash@encore.bz
6900 DALLAS PKWY, THIRD FLOOR
PLANO, TX 75024

PREPARED BY:

TOTH AND ASSOCIATES
MATT MILLER
(417) 888-0645
mmiller@tothassociates.com
1550 E REPUBLIC ROAD
SPRINGFIELD, MO 65804



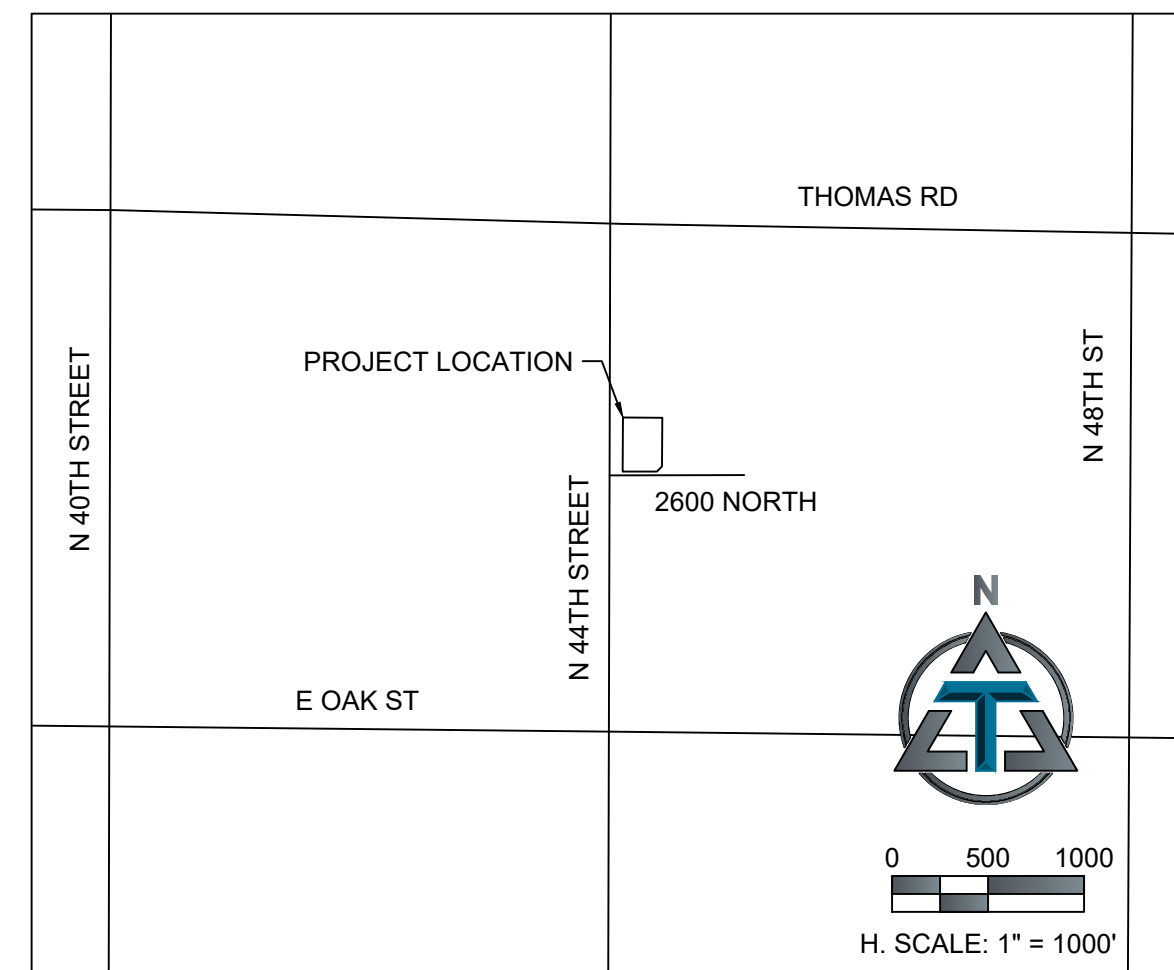
H. SCALE: 1" = 20'



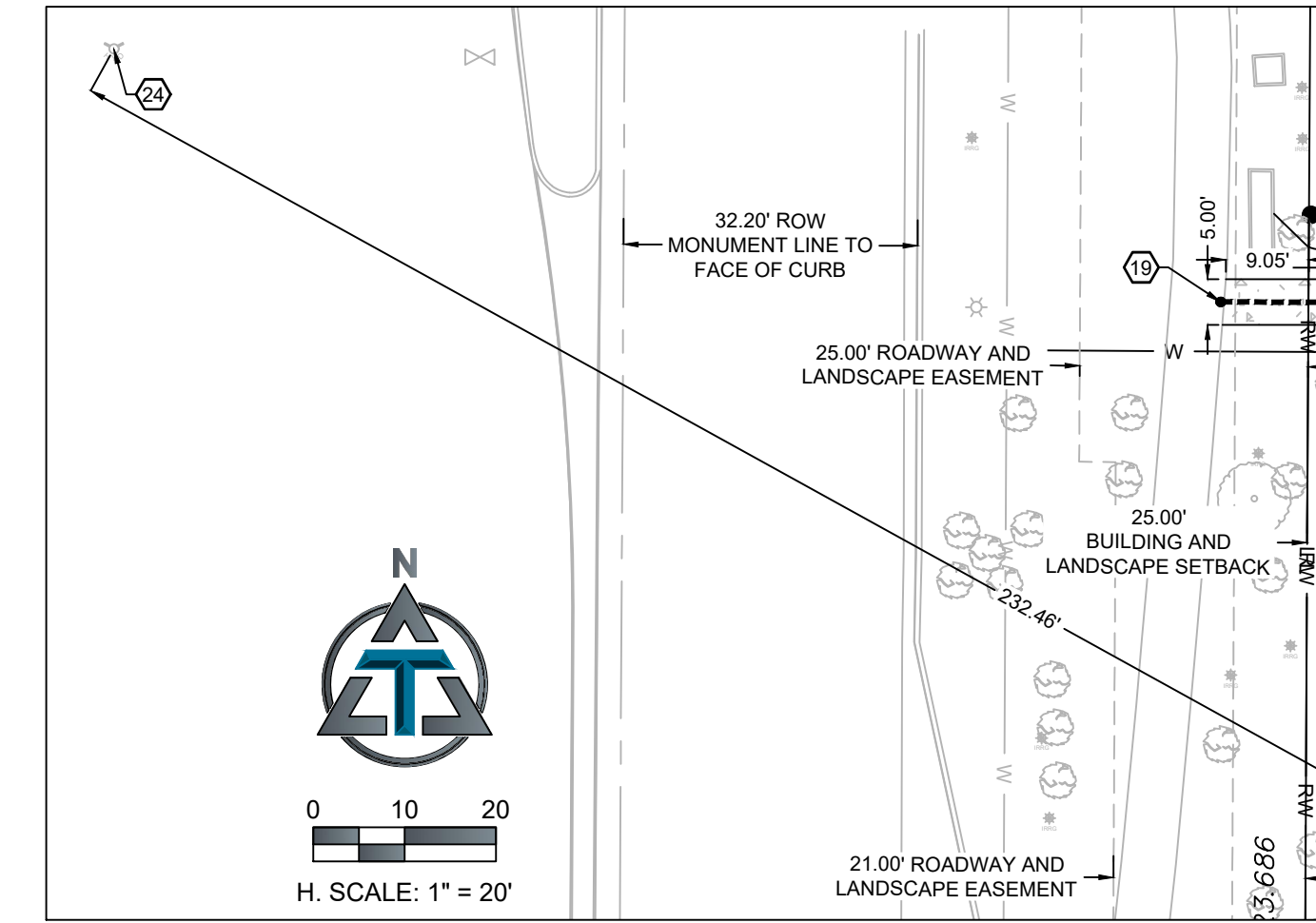
Call 811 or
1-800-782-5348
www.arizona811.com



1550 E. REPUBLIC ROAD
SPRINGFIELD, MO 65804
Ph: 417-888-0645 Fax: 417-888-0657
www.tothassociates.com
AZ# 23419827
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VICINITY MAP



FIRE HYDRANT

BUILDING AND LOT DATA:

PROJECT LOT AREA (GROSS) 24,098 S.F. = 0.55 ACRES
NET LOT AREA 24,098 S.F. = 0.55 ACRES
AREA DISTURBED 26,646 S.F. = 0.61 ACRES
PROPOSED BUILDING (1 STORY) - RETAIL = 517 S.F.
REMOTE COOLER = 248 S.F.
CANOPY = 750 S.F.
BUILDING, COOLER, AND CANOPY = 1515 S.F.
CONSTRUCTION TYPE: V-B
MAX HEIGHT ALLOWED (2 STORIES) = 30 FT
BUILDING HEIGHT = 20 FT
NET PARKING LOT LANDSCAPE COVERAGE = 20%
MINIMUM PARKING LOT LANDSCAPE = 10%
NET LOT COVERAGE = 5%
MAXIMUM ALLOWED LOT COVERAGE = 50%

QUANTITIES

CURB & GUTTER: 1,198 L.F.
ASPHALT PAVEMENT: 15,761 S.F.
8" CONCRETE SIDEWALK: 948 S.F.
4" CONCRETE SIDEWALK: 2,285 S.F.
LANDSCAPING AREA: 6,445 S.F.



MATTHEW STEVEN MILLER - ENGINEER
AZ# 76907

ENGINEER OF RECORD:

NAME: MATTHEW MILLER

LICENSE NO. AZ# 76907

PROJECT NUMBER:

CE 99 017

REVISION:

7 BREW COFFEE
PHOENIX, AZ

2601 N 44TH ST
PHOENIX, AZ 85008

C 2.1
SITE PLAN

DATE: 07/12/2024

KIVA: 04-1709A5 SDEV: 0401251 PAPP: 2404183

EXHIBIT D

2601 N 44TH STREET LEGAL DESCRIPTION LOT 7B

That portion of Lot 7 as said lot is shown on the plat entitled "ARCADIA CROSSING" recorded in Book 381 of Maps, Page 06, Official Records of the Maricopa County Recorder, is situated in the Northeast Quarter of Section 31, Township 2 North, Range 4 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows;

Commencing at a brass cap in handhole marking the North Quarter corner of said Section 31, from which a brass cap in handhole, marking the center of said Section 31 bears South 00°56'21" West, a distance of 2,650.64 feet;

Thence along the North-South Mid-Section line of said Section 31, South 00°56'21" West, a distance of 1015.17 feet;

Thence North 89°03'39" East, a distance of 79.00 feet to the East right-of-way line of 44th Street and the Northwest corner of Lot 7 of the Final Plat of "ARCADIA CROSSING" Book 381 Page 06, official records Maricopa County Recorder, and the TRUE POINT OF BEGINNING;

Thence continuing North 89°03'39" East, a distance of 204.62 feet to the Northeast corner of said Lot 7.

Thence South 00°54'50" East, a distance of 63.62 feet;

Thence South 88°48'55" West, a distance of 18.00 feet;

Thence South 01°51'22" East, a distance of 59.19 feet;

Thence South 88°08'38" West, to the East right-of-way line of 44th Street, a distance of 187.56 feet;

Thence along said right-of-way, North 00°56'21" West, a distance of 125.88 feet to the TRUE POINT OF BEGINNING;

Containing 24,385 square feet, or 0.559 acres of land, more or less.



Helix Engineering, LLC

Engineering / Surveying / Consulting
3240 E Union Hills, Suite 113, Phoenix, AZ 85050
(ph) 602-788-2616, www.hxeng.com

DRAWN BY: TDS

DATE: MARCH 19, 2025

JOB. NO.: 882

CHECKED BY: MJT

SHEET NAME

EXHIBIT "B"
7 BREW LOT 7B
LEGAL DESCRIPTION

SHEET NO.

1 OF 1



City of Phoenix

PLANNING DEPARTMENT

June 4, 2004

Costco Wholesale Corporation
999 Lake Drive
Issaquah, WA 98027

Dear Applicant:

RE: Z-29-94-6 –Southeast corner of 44th Street and Thomas Road.

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.1 of the Zoning Ordinance, has on June 2, 2004, concurred with the recommendation of the Planning Hearing Officer and has ratified on the Consent Agenda Z-29-94-6 for modification of stipulation regarding general conformance to site plan dated May 10, 1994, to allow a gasoline facility.

STIPULATIONS

- Mod ①
1. That the development be in general conformance to the site plan (dated January 11, 1994) [or with the modifications to Anchor D as shown in the site plan dated September 7, 2001], together with the elevations and exhibits (dated 1/12/94) as may be modified by the following stipulations.
 2. That development of the site be in accordance with the Development Agreement (Ordinance S-21748 amending Ordinance S-21068, dated 11-93) between Opus Southwest Corporation and the City of Phoenix.
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- c. That access to the exception parcel at the southwest corner of the site be considered at the time of site plan approval.
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6. That a single driveway access be permitted on 46th Street south of Shops "B" as approved by the Development Services Department, and no vehicular access between the library site and the retail center. Left turn access from the site onto Oak Street shall be prohibited.

Development and use of the site is still subject to all applicable codes and ordinances.

Sincerely,



Michelle Dodds, AICP
Principal Planner

- C: Kelly Walker (Sent electronically)
Bernadine Alling (Sent electronically)
Jay Neville (Sent electronically)
Marquitrice Short
Dave Barrier, DSD/Building Safety (Sent elec)
E.J. Hyncik, Public Transit(Sent elec)
Case File
Book
Bruce Creager/Barghausen Consulting, 18215 72nd Ave. So., Kent, WA, 98032

CITY OF PHOENIX PLANNING DEPARTMENT CAMELBACK EAST VILLAGE CITY COUNCIL DISTRICT 6		
APPLICANT'S NAME OPUS SOUTHWEST CORPORATION		REQUESTED CHANGE FROM R-4A(763AC) C-2M R (6322 AC) TO C 2
APPLICATION NO 29-94 6	HEARING DATES ZHO PC CC 29 94	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX 7085 ACRES	AERIAL PHOTO & QUARTER SEC NO 14 38	ZONING MAP G 11(F 9)
MULTIPLES PERMITTED	UNITS STANDARD OPTION	* UNITS PRD OPTION
_____ _____ _____	_____ _____ _____	_____ _____ _____

- MAXIMUM UNITS ALLOWED WITH PRD BONUS



mapservices@phoenix.gov

PHO-4-25--Z-29-94-6(8)

Property Location: Approximately 970 feet south of the southeast corner of 44th Street and Thomas Road

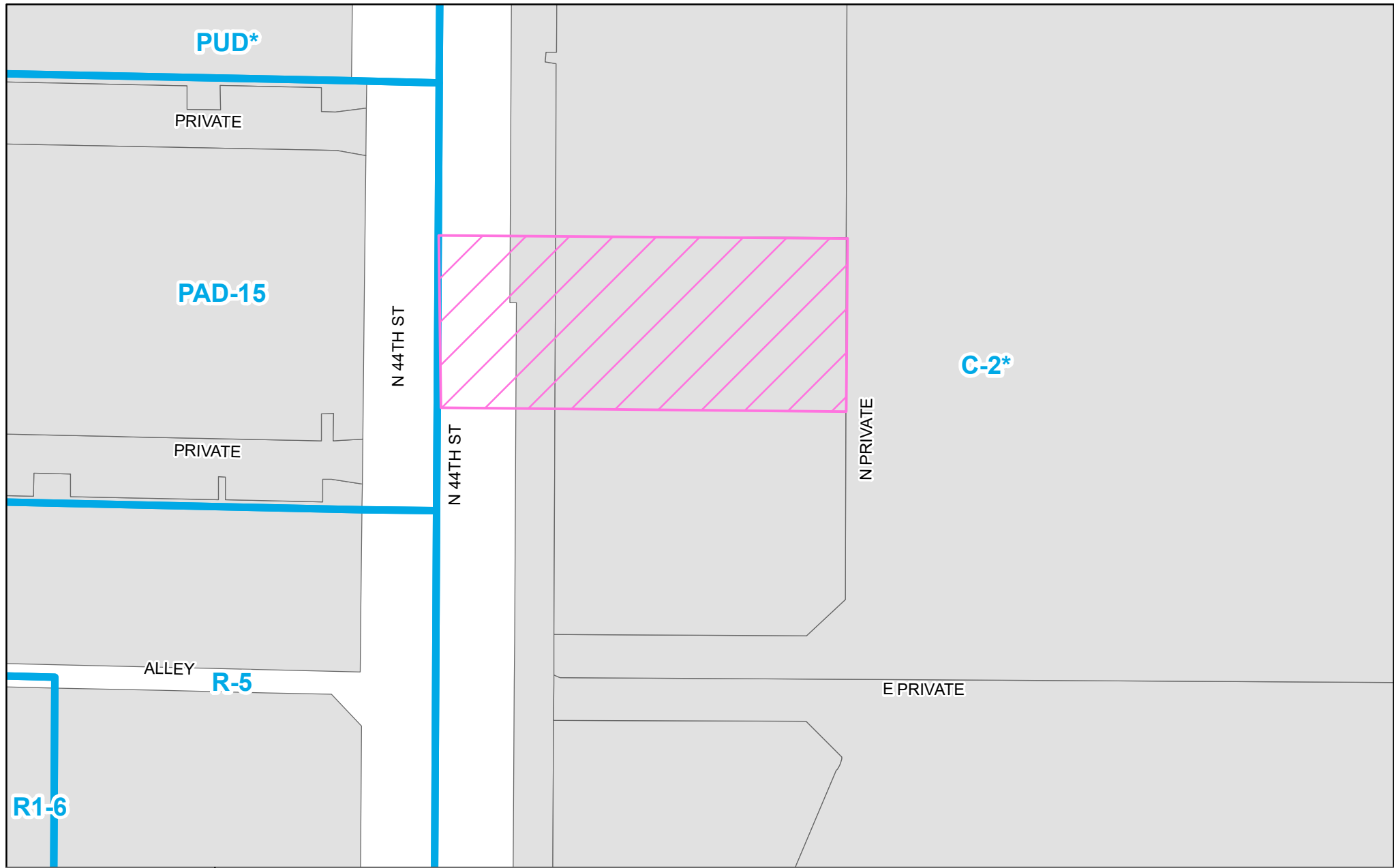


City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Planning & Development Department

0 55 110 220 Feet





PHO-4-25--Z-29-94-6(8)

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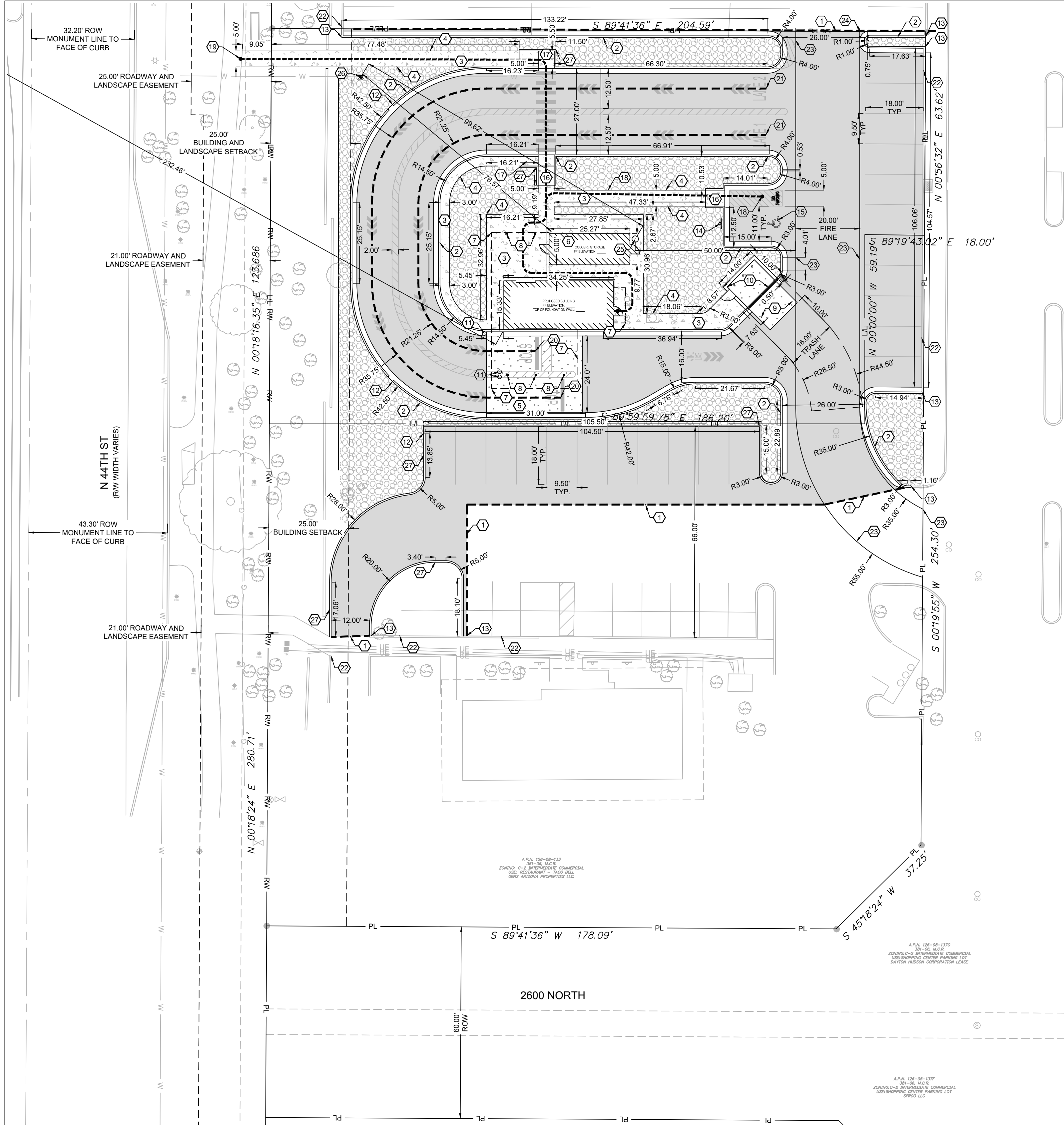


City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Planning & Development Department

0 40 80 160 Feet





HATCH LEGEND:

- ASPHALT PAVEMENT
PER DETAIL 2.06, SHEET C7.1.
- CONCRETE SIDEWALK
PER SIDEWALK DETAIL 2.02, SHEET C7.1.
- CONCRETE PAVEMENT
PER CONCRETE PAVEMENT
DETAIL 2.03 AND 2.05, SHEET C7.1.
- LANDSCAPE AREA.
REFER TO LANDSCAPE PLAN.

KEY NOTES:

- MATCH EXISTING PAVEMENT.
- 6" CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
- SIDEWALK PER DETAIL 2.02, SHEET C7.1.
- EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOPWALK
EDGE DETAIL 2.04, SHEET C7.1.
- CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
- REMOTE COOLER LOCATION, COOLER TO BE INSTALLED ON 4" THICK
CONCRETE PAD WITH THICKENED EDGE PER DETAIL 2.04, SHEET C7.1.
- BUILDING CANOPY OUTLINE.
- CANOPY COLUMNS LOCATIONS, TYPICAL.
- 6" CONCRETE PAD FOR TRASH ENCLOSURE PER CITY DETAILS, SHEET C7.3.
- TRASH ENCLOSURE AND GATE AND BOLLARDS, PER CITY DETAILS, SHEET C7.3.
- 3" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- CONCRETE CURB CUT PER DETAIL 2.17, SHEET C7.2.
- CONNECT TO EXISTING CURB.
- ADA VAN ACCESSIBLE SIGN PER DETAIL 2.08, SHEET C7.1.
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01, SHEET C7.1.
- TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- MODIFIED TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- ACCESSIBLE PATH FROM PARKING TO BUILDING.
- ACCESSIBLE PATH FROM PUBLIC WAY TO BUILDING.
- POINT OF SERVICE, 216 FT. = TOTAL QUEUING LENGTH LANE 1.
270 FT = TOTAL QUEUING LENGTH LANE 2.
- POINT OF ENTRY.
- EXISTING CURB AND GUTTER, DO NOT DISTURB.
- FIRE APPARATUS ACCESS LANE.
- EXISTING PUBLIC FIRE HYDRANT.
- FIRE DEPARTMENT CONNECTION.
- PROPOSED FIRE HYDRANT.
- 6" CONCRETE CURB PER DETAIL 2.01, SHEET C7.1.

Z CASE NO.: Z-29-94 PHO 01-03

- STIPULATIONS:
- THAT THE DEVELOPMENT BE IN GENERAL CONFORMANCE TO THE SITE PLAN (DATED JANUARY 11 1994) (OR WITH THE MODIFICATIONS TO ANCHOR D AS SHOWN IN THE SITE PLAN DATED SEPTEMBER 7, 2001) TOGETHER WITH THE ELEVATIONS AND EXHIBITS (DATED 1/12/94) AS MAY BE MODIFIED BY THE FOLLOWING STIPULATIONS.
 - THAT DEVELOPMENT OF THE SITE BE IN ACCORDANCE WITH THE DEVELOPMENT AGREEMENT (ORDINANCE S-21748 AMENDING ORDINANCE S-21068 DATED 11-93) BETWEEN OPUS SOUTHWEST CORPORATION AND THE CITY OF PHOENIX
 - THAT PARTICULAR ATTENTION SHALL BE GIVEN DURING THE DESIGN REVIEW PROCESS TO PROVIDE BUILDING ELEVATIONS THAT ARE CONSISTENT IN DESIGN AND MATERIALS AROUND THE ENTIRE CENTER AND THAT THE LINEAR NATURE OF THE DESIGN BE MINIMIZED THROUGH THE USE OF ARCHITECTURAL EMBELLISHMENTS, BUILDING OFFSETS SHADE STRUCTURES AND PEDESTRIAN PLAZAS
 - THAT THE SITE PLAN BE MODIFIED AS APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT TO REFLECT THE FOLLOWING CHANGES.
 - BUILDING OFFSETS FOR THE MAJOR USERS SHALL BE CONSISTENT WITH THE SITE PLAN DATED JANUARY 11, 1994.
 - PAD SITES THREE (3) AND FOUR (4) MAY BE MODIFIED TO CREATE A UNIFIED PAD DEVELOPMENT SUCH AS THROUGH THE USE OF DEPRESSED PARKING AND PEDESTRIAN PLAZAS. A MAJOR GATEWAY STATEMENT SHALL BE PROVIDED AT THE THOMAS ROAD AND 44TH STREET INTERSECTION WITH VIEWS TO THE INTERIOR OF THE DEVELOPMENT.
 - THAT ACCESS TO THE EXCEPTION PARCEL AT THE SOUTHWEST CORNER OF THE SITE BE CONSIDERED AT THE TIME OF SITE PLAN APPROVAL
 - THAT THE RIGHT-OF-WAY DEDICATIONS AND OFF-SITE IMPROVEMENTS SHALL BE CONSISTENT WITH THE DEVELOPMENT AGREEMENT (AS IDENTIFIED IN STIPULATION NO 2)

CITY OF PHOENIX GENERAL SITE PLAN NOTES:

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.

PARCEL DESCRIPTION:

A PORTION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PROJECT DESCRIPTION:

THE PROJECT WILL INCLUDE A DRIVE-THROUGH ONLY COFFEE RESTAURANT ON AN EXISTING DEVELOPED PARCEL. THE EXISTING DEVELOPED PARCEL IS CURRENTLY A PARKING LOT. FOR THIS PROPOSED USE, THE SPACE WILL BE REPLACED WITH NEW PAVING AND THE DRIVE-THROUGH ONLY COFFEE RESTAURANT.

PARCEL NUMBER: APN: 126-08-133
LOT SALES: NO

PROPOSED USE:

RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: C-2 INTERMEDIATE COMMERCIAL.

PARKING REQUIREMENTS:

EXISTING PARKING: 90 PARKING SPACES

PROPOSED PARKING: 1 SPACE PER 30 S.F. (EXCLUDING KITCHEN, RESTROOM, STORAGE AND INCLUDING OUTDOOR SALES) = APPROXIMATELY 350 S.F. = 7 STALLS PROVIDED = 7, 6 STANDARD AND 1 ADA

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA = 25,665 S. F.
PRE-PROJECT PERVIOUS AREA = 3,473 S. F.
POST-PROJECT IMPERVIOUS AREA = 19,327 S. F.
POST-PROJECT PERVIOUS AREA = 9,811 S. F.

SETBACKS:

REQUIRED BUILDING SETBACK = 25 FT
REQUIRED LANDSCAPE SETBACK = 50 FT
PROVIDED BUILDING SETBACK = 70 FT
PROVIDED LANDSCAPE SETBACK = 50 FT

DEVELOPER:

ENCORE LLC
DWAYNE RASH
(282)205-4662
drash@encore.bz
6900 DALLAS PKWY, THIRD FLOOR
PLANO, TX 75024

PREPARED BY:

TOTH AND ASSOCIATES
MATT MILLER
(417) 888-0645
mmiller@tothassociates.com
1550 E REPUBLIC ROAD
SPRINGFIELD, MO 65804



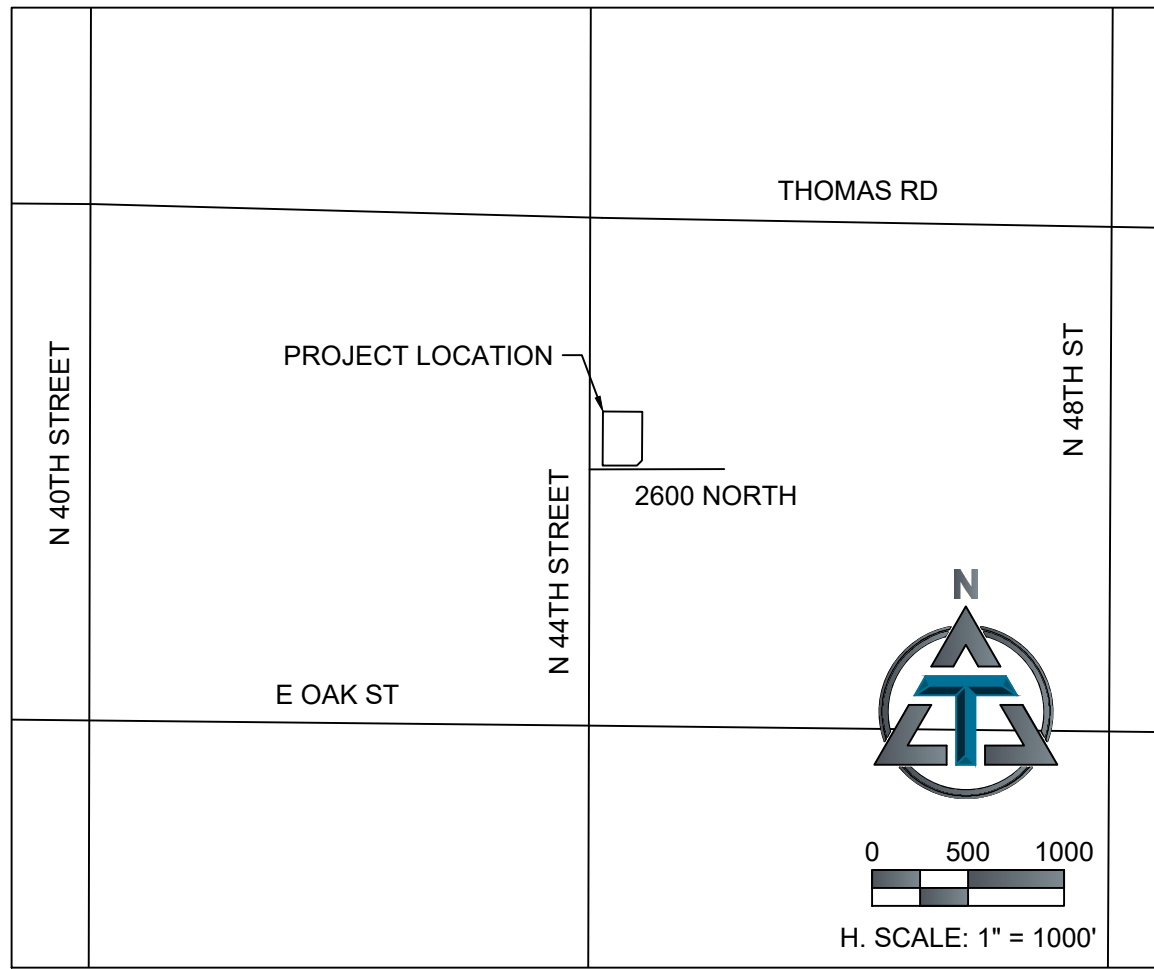
H. SCALE: 1" = 20'



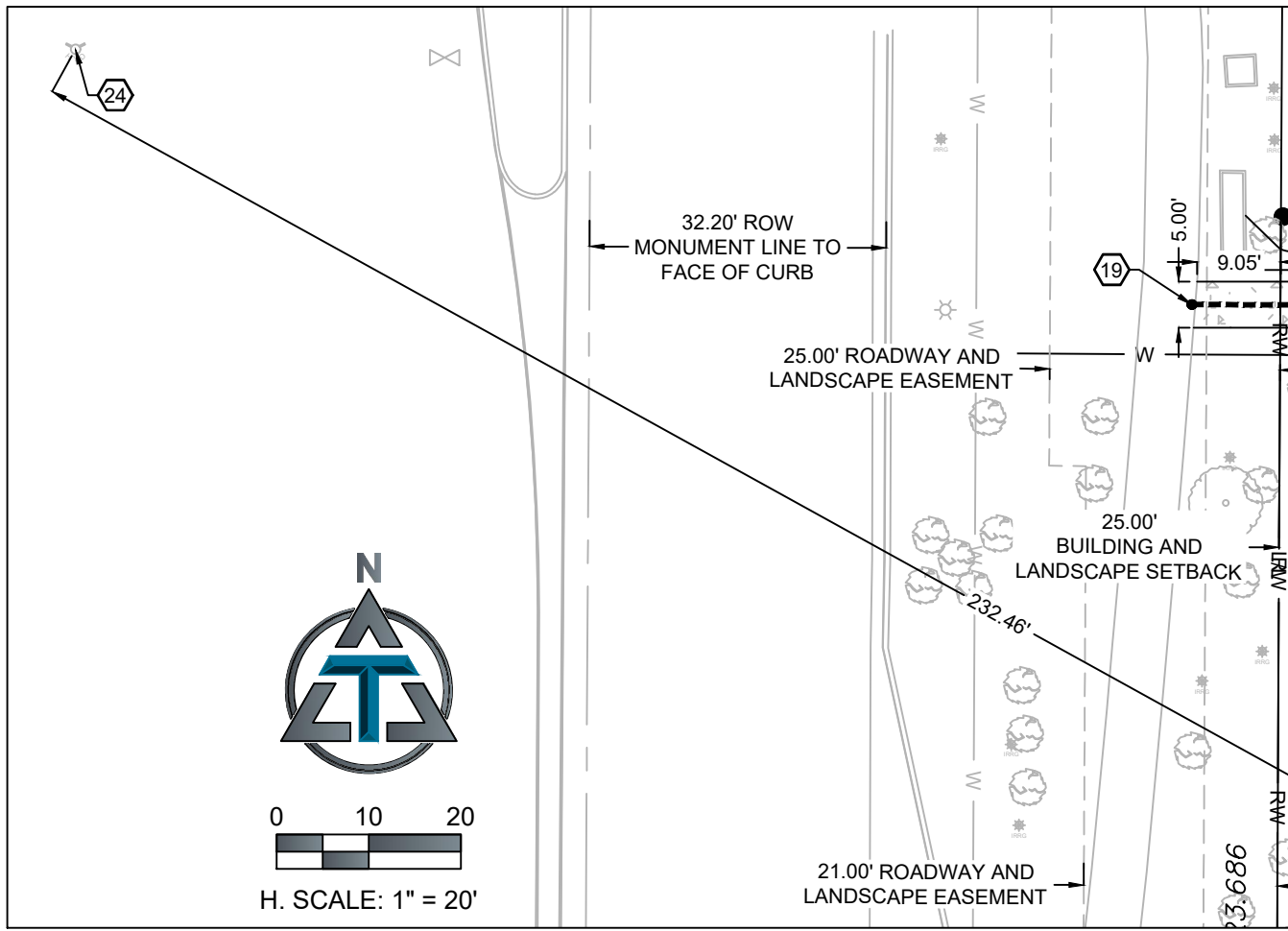
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AZ# 23419827
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VICINITY MAP



FIRE HYDRANT

BUILDING AND LOT DATA:

PROJECT LOT AREA (GROSS) 24,098 S.F. = 0.55 ACRES
NET LOT AREA 24,098 S.F. = 0.55 ACRES
AREA DISTURBED 26,646 S.F. = 0.61 ACRES
PROPOSED BUILDING (1 STORY) - RETAIL = 517 S.F.
REMOTE COOLER = 248 S.F.
CANOPY = 750 S.F.
BUILDING, COOLER, AND CANOPY = 1515 S.F.
CONSTRUCTION TYPE: V-B
MAX HEIGHT ALLOWED (2 STORIES) = 30 FT
BUILDING HEIGHT = 20 FT
NET PARKING LOT LANDSCAPE COVERAGE = 20%
MINIMUM PARKING LOT LANDSCAPE = 10%
NET LOT COVERAGE = 5%
MAXIMUM ALLOWED LOT COVERAGE = 50%

QUANTITIES

CURB & GUTTER: 1,198 L.F.
ASPHALT PAVEMENT: 15,761 S.F.
8" CONCRETE PAVEMENT: 948 S.F.
4" CONCRETE SIDEWALK: 2,285 S.F.
LANDSCAPING AREA: 6,445 S.F.

CITY OF PHOENIX

MAR 2 8 2025

Planning & Development
Department

KIVA: 04-1709A5 SDEV: 0401251 PAPP: 2404183



MATTHEW STEVEN MILLER - ENGINEER
AZ# 76907

ENGINEER OF RECORD:

NAME: MATTHEW MILLER

LICENSE NO. AZ# 76907

PROJECT NUMBER:

CE 99 017

REVISION:

7 BREW COFFEE
PHOENIX, AZ

2601 N 44TH ST
PHOENIX, AZ 85008

C 2.1
SITE PLAN

DATE: 07/12/2024



1 EXTERIOR ELEVATION - WEST
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SPLIT FACE CMU BLOCK TO MATCH BRK-1 COLOR

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SHIELDED SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP. REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	LOCATION OF FDC
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 W/ BRK-1 SCREENING PANELS ATTACHED
10	KNOX BOX
11	THROUGH-WALL ROOF SCUPPER; TYP
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	COOLER LOCK & CONTROLS
15	36" COOLER DOOR
16	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
17	SURFACE-MOUNTED LIGHTED SIGN BOX
18	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
19	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
20	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
21	IN-WALL DOWNSPOUT W/ ABOVE GRADE OUTLET; CONNECT TO STORMWATER SYSTEM, REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF DOWNSPOUT TO STORMWATER SYSTEM, REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL

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consulting engineer:

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ENCORE 7 BREW, LLC

2601 NORTH 44TH STREET, PHOENIX, ARIZONA 85008

REVISIONS

No.	Description	Date
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sheet issue date:
02/11/2025

project no.:
22.46.15

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

A2.0

EXTERIOR ELEVATION KEYNOTES	
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sheet no.:

A2.1



consulting engineer:

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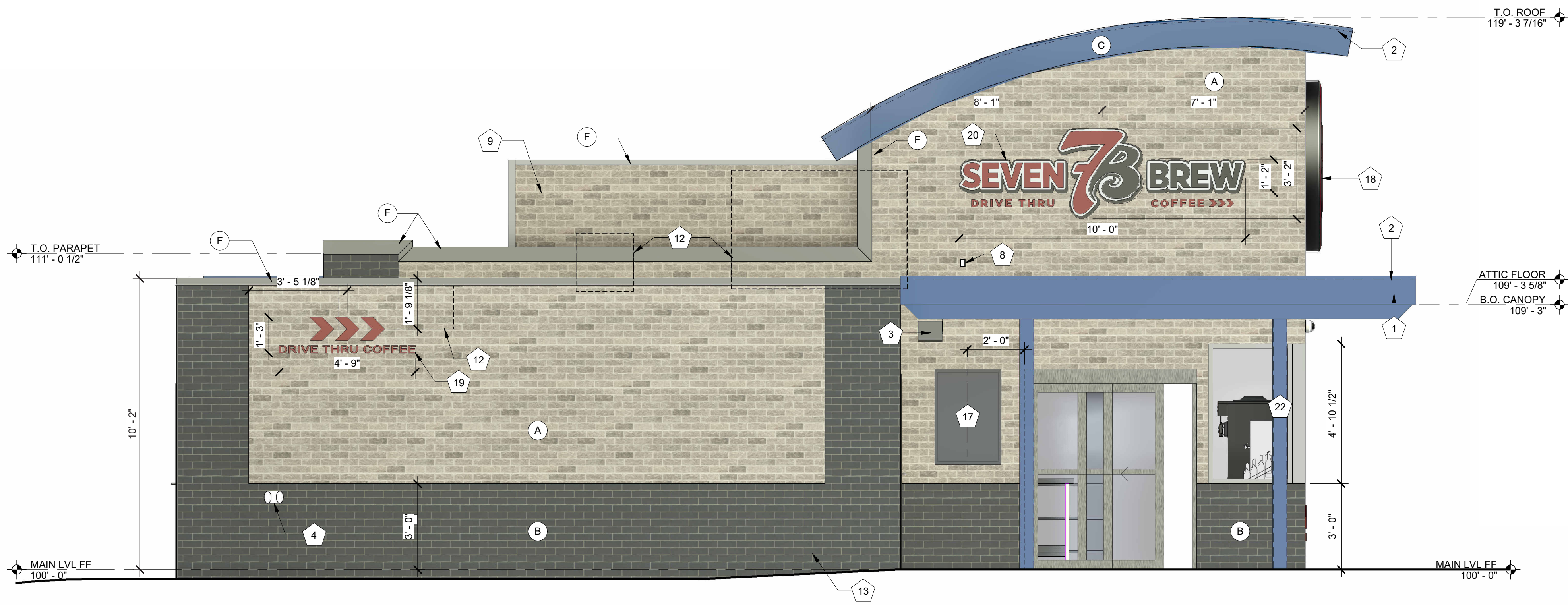
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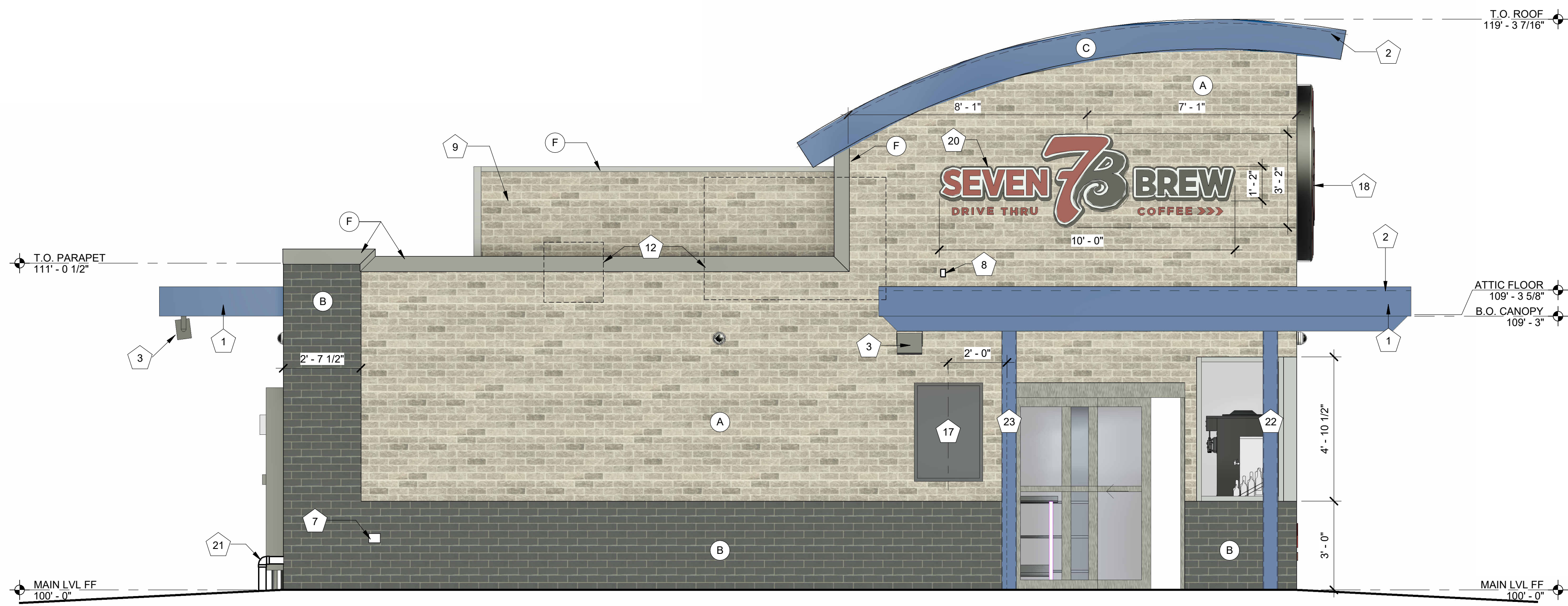
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2 EXTERIOR ELEVATION - NORTH W/ COOLER

$$\frac{3}{8}'' = 1'-0''$$


1 EXTERIOR ELEVATION - NORTH

3/8" = 1'-0"

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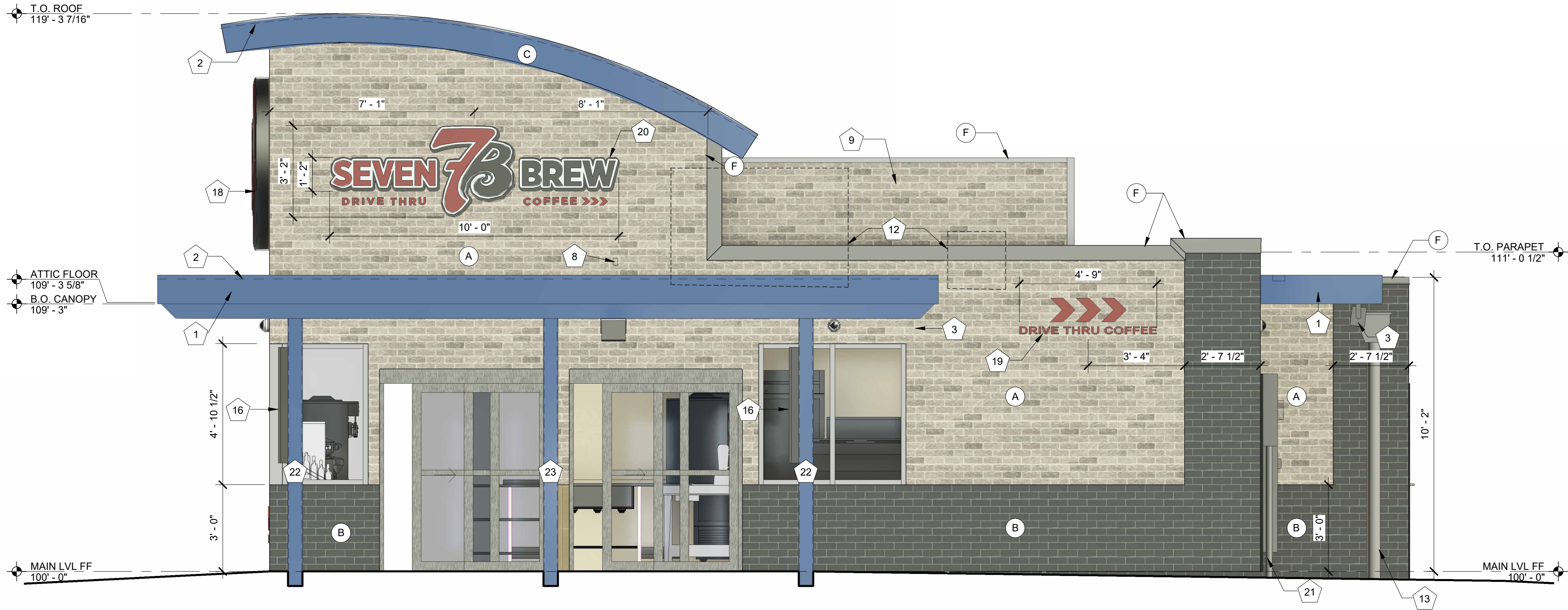
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Proposed Conceptual Elevations

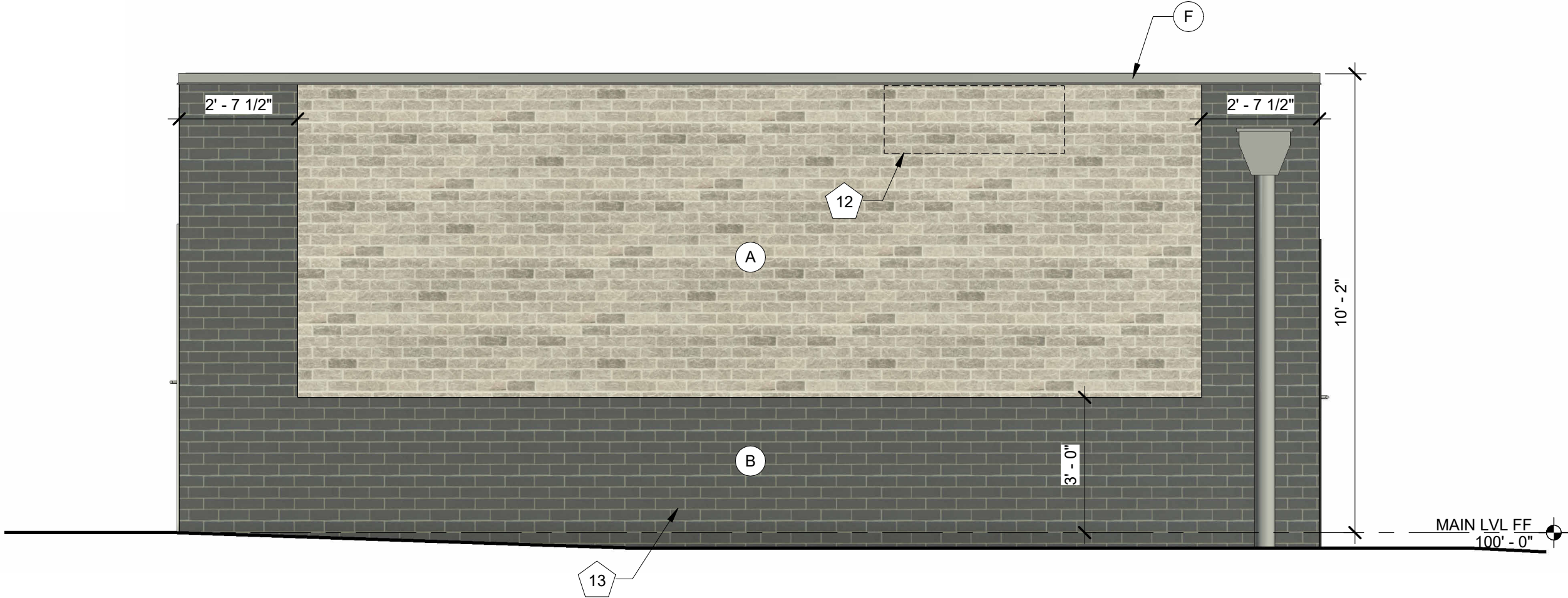
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1 EXTERIOR ELEVATION - SOUTH
3/8" = 1'-0"

2 COOLER ELEVATION - SOUTH
3/8" = 1'-0"



EXTERIOR ELEVATION MATERIALS LEGEND	
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A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
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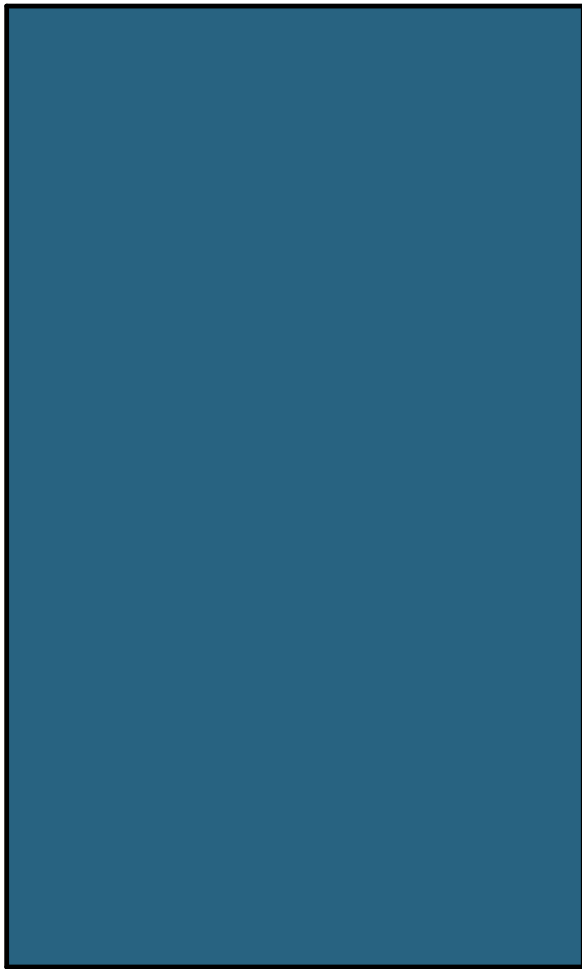
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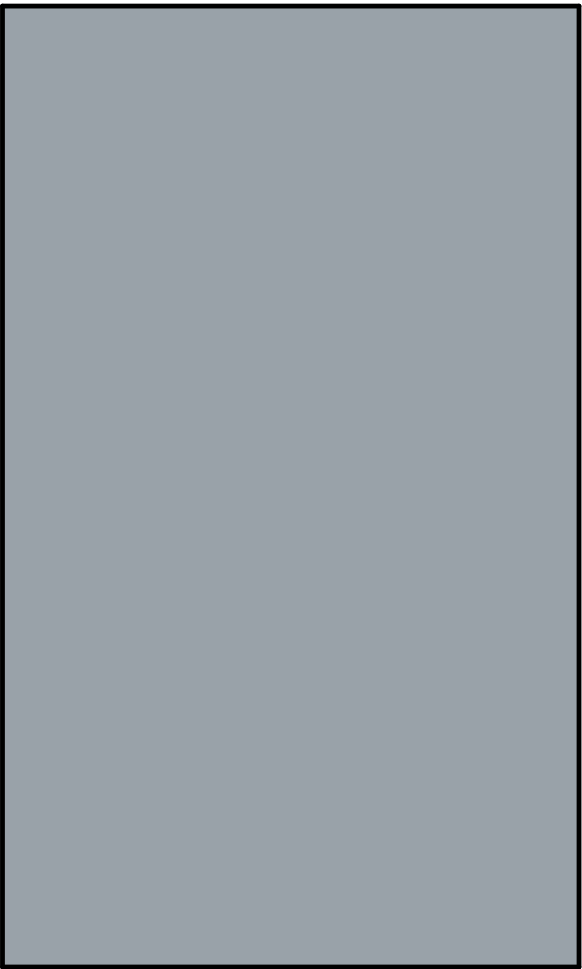
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EXTERIOR ELEVATIONS

sheet no.:

A2.3



BLUE METAL PANEL MP-2
BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26

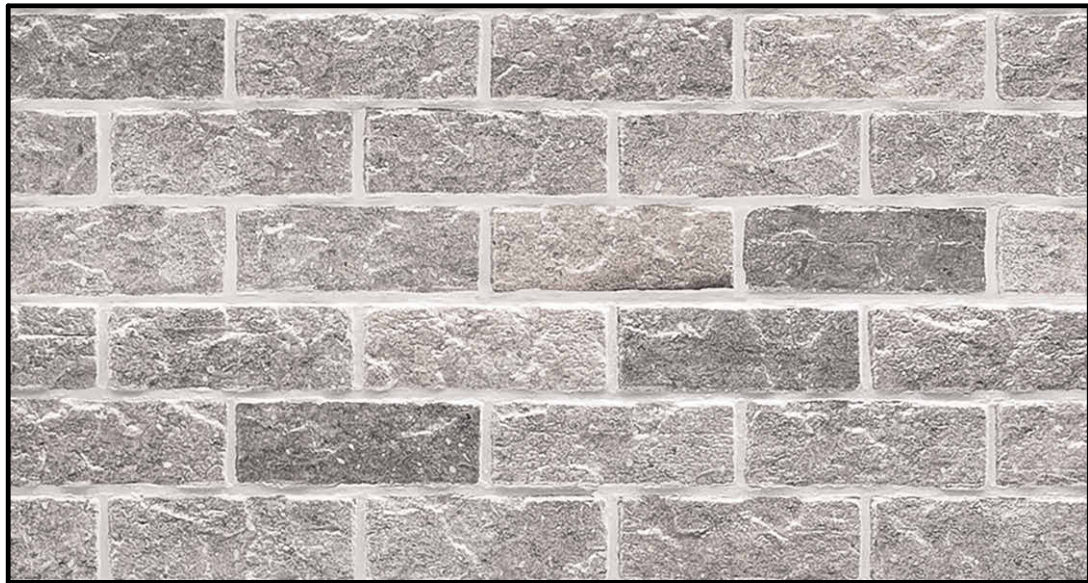


COPING TRIM METAL MP-3
BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39

CITY OF PHOENIX

MAR 2 8 2025

Planning & Development
Department



FIBER CEMENT PANEL SIDING - BRK-2
BRAND: NICHHA
COLOR: SHALE BROWN
STYLE: CANYON BRICK



FIBER CEMENT PANEL SIDING - BRK-1
BRAND: NICHHA
COLOR: MIDNIGHT
FINISH: MODERN BRICK

22.46.15
7 BREW DRIVE THRU -
PHOENIX AZ - N 44TH
ST
02/11/2025

MATERIAL COLOR
BOARD



CITY OF PHOENIX

MAR 28 2025

Planning & Development
Department



22.46.15
7 BREW DRIVE THRU -
PHOENIX AZ - N 44TH
ST
02/11/2025

RENDERINGS

PROJECT INFORMATION

SITE DATA:

Site Area	Gross Area	3,085,983 S.F.
	Net Area (existing)	2,865,463 S.F.
	Less right-of-way	<102,170 S.F. > DEI
	Less Library (Participation Area)	(2,345 Acres)
	Net Area (Phase I, Phase II and PAD's)	2,719,763 S.F. > DEI
		62.44 Acres

*Net Area S.F. is inclusive of an existing T.B.A. (63,995 S.F. (1.47 Acres))

Total Building Area	430,275 S.F.
PHASE I	135,408 S.F.
PHASE II Proposed Structure to Follow	55,744 S.F.
PAD Sites	621,427 S.F.
Total Lot Coverage	22,644%
Total Parking Required (City of Phoenix, 4.5/1000)	2,796 Spaces
Total Parking Provided	2,810 Spaces
PHASE I	56 Spaces
Employee Spaces at Rear	705 Spaces
PAD Sites (Parking shown is future, by others)	3,573 Spaces
Total Parking Provided	

PROJECT DATA

Net Area (All Site Developed)	2,298,827 S.F. DEI
Building Area	52.80 Acres
Anchor A	74,414 S.F. 2
Anchor B	115,392 S.F. 3
Garden Center	10,652 S.F. 0
Major A	73,268 S.F. 0
Major B	26,674 S.F. 2
Major C	23,643 S.F. 0
Major D	8,000 S.F. 0
Major E	50,700 S.F. 2
T.B.A.	15,061 S.F. 0
Shops	10,000 S.F. N/A
Anchor D (Proposed Structure to Follow)	135,408 S.F. 3
TOTAL	565,683 S.F. 14
Lot Coverage	24.59%
Parking Required (City of Phoenix, 4.5/1000)	2,546 Spaces
Parking Provided (Exclusive of Pad Sites)	2,810 Spaces
Accessible Parking Required (25/1st 1000 spaces, + Balance x .5%)	35 Spaces
Accessible Parking Provided	41 Spaces

PAD SITES

Net Area	419,906 S.F. DEI
9.64 Acres	
PAD 1	
Site Area	32,541 S.F. DEI
Building Area	(0.75 Acres)
Parking Provided	7,000 S.F.
PAD 2	
Site Area	17,639 S.F. DEI
Building Area	(0.40 Acres)
Parking Provided	3,263 S.F.
PAD 3	
Site Area	37,506 S.F. DEI
Building Area	(0.86 Acres)
Parking Provided	10,000 S.F.
PAD 4	
Site Area	65,305 S.F. DEI
Building Area	(1.50 Acres)
Parking Provided	6,138 S.F.
PAD 5	
Site Area	44,455 S.F. DEI
Building Area	(1.02 Acres)
Parking Provided	7,000 S.F.
PAD 6	
Site Area	56,322 S.F. DEI
Building Area	(1.29 Acres)
Parking Provided	7,000 S.F.
PAD 7	
Site Area	56,651 S.F. DEI
Building Area	(1.30 Acres)
Parking Provided	7,000 S.F.
PAD 8	
Site Area	54,956 S.F. DEI
Building Area	(1.26 Acres)
Parking Provided	7,000 S.F.
PAD 9	
Site Area	54,531 S.F. DEI
Building Area	(1.25 Acres)
Parking Provided	7,000 S.F.

Note: All illustrations and data are conceptual and subject to revision.

APRIL 8, 1994

REVISIONS:
9/7/01 - Add Costco Gasoline; revise parking calculations.



Opus Southwest Corporation
4742 North 24th Street, Suite 100
Phoenix, Arizona 85016-4860
Project Manager: David J. O'Donnell
Phone: (602) 468-7000
Fax: (602) 468-7045

ARCADIA CROSSING

44TH STREET AND THOMAS ROAD
PHOENIX, ARIZONA

PRELIMINARY SITE PLAN

1" = 100'-0"



DAVIS FREDRIKSON DAVIS
ARCHITECTURE PLANNING DESIGN
4201 North 24th Street, Suite 100
Phoenix, Arizona 85016
602-897-4788
FAX 602-897-9803

PSP1

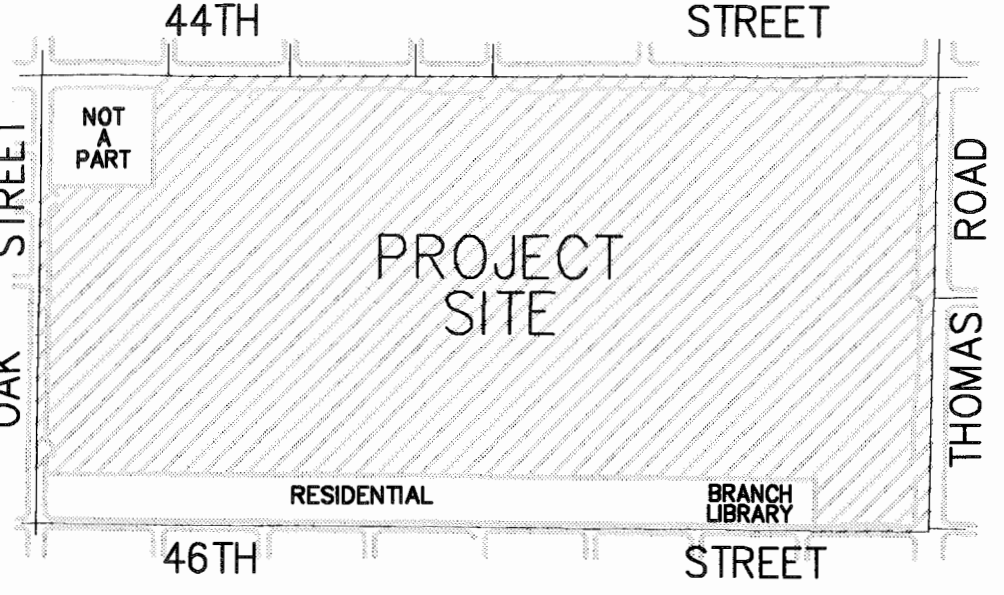
DESIGN REVIEW	DWG NO.	DATE ISSUED
DESIGN DEVELOPMENT		10 MAY 1994
CONSTRUCTION DOCUMENTS		
BID/PRICING PACKAGE		
CONSTRUCTION ISSUE		
		DRAWN BY PSR ETAL
		CHECKED BY PSR
		PROJECT NUMBER DFD93145
		CAD FILENAME PSP10427

DEVELOPMENT INFORMATION

- SITE HAS BEEN REZONED UNDER CASE NO.29-94-6, TO C-2. HEARING DATE WAS FEBRUARY 9, 1994.
- SEE CONCEPTUAL UTILITY PLAN FOR LOCATIONS OF FIRE HYDRANTS ON SITE.
- SITE LIGHTING IS PROVIDED UNDER DESIGN-BUILD CONTRACT. LAYOUT OF ACTUAL POLES SHALL BE AS FOLLOWS: FOR PERIMETER (PROPERTY LINE INTO SITE FOR A DISTANCE 210'). POLE HEIGHT INCLUDING BASE SHALL BE 25' FROM GRADE. FOR INTERIOR OF SITE (WITHIN LIMITS DESCRIBED ABOVE), POLE HEIGHT INCLUDING BASE SHALL BE 35' FROM GRADE. LIGHTING TYPE SHALL BE HIGH-PRESSURE SODIUM. PHOTOMETRIC CALCULATIONS SHALL BE SUBMITTED TO THE CITY OF PHOENIX FOR APPROVAL, WHEN COMPLETED. REFER TO POLE DETAIL ON SHEET PSP-3 ATTACHED HERewith.
- ALL SITE DEVELOPMENT, EXCLUSIVE OF PAD SITE AREAS, SHALL BE PERFORMED UNDER A SINGLE PHASE.

SYMBOLS

- BUILDING ENTRANCE
- LOADING SPACE
- RIGHT-OF-WAY
- BRANCH LIBRARY SITE
- LAND PURCHASE

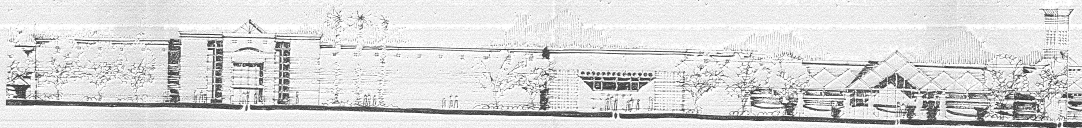


VICINITY MAP

FUTURE PROJECT INFORMATION

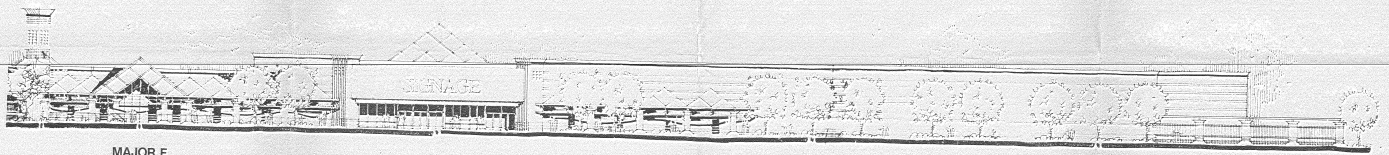
29-94
Z-61-88
PHD 11.07.01
SUBMITTED ON
09.20.01

SEP 20 2001
PLANNING DEPT.
CITY OF PHOENIX



ANCHOR C

MAJOR E



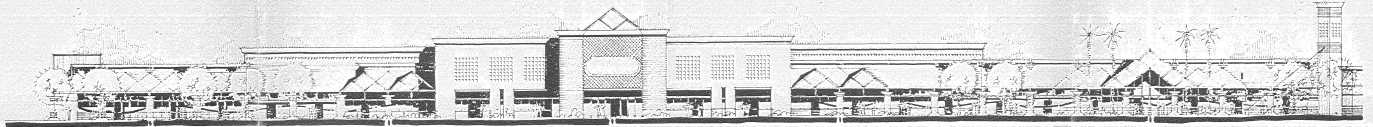
MAJOR F

ANCHOR D



ARCADIA CROSSING

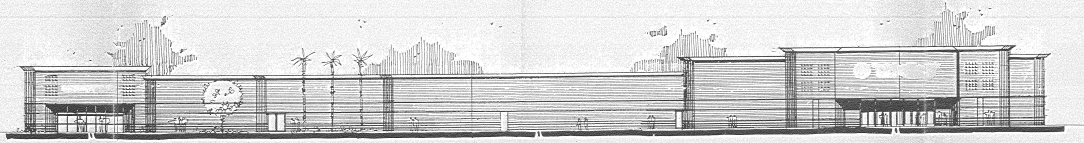




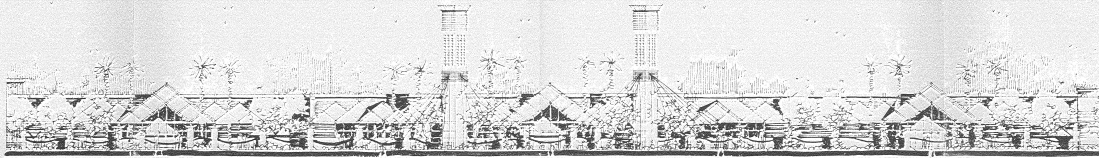
SHOPS A

ANCHOR A

MAJOR A



ANCHOR B



MAJOR B

MAJOR C

MAJOR D



ARCADIA CROSSING



29-94-6

June 2, 2004

"D.R. Horton, America's Builder, Continental Series

June 2, 2004

Councilwoman Peggy Neely
City of Phoenix Council District 2
200 W. Washington St., 11th Floor
Phoenix, Arizona 85003

Via Facsimile 602-495-0527

Re: Desert Peak R-2 Residential - NWC Cave Creek and Pinnacle Peak Roads
Zoning Case Z-8-04-2

Dear Ms. Neely:

For further clarification, we would like to note that the requested R-2 parcel within the Desert Peak project will consist of entirely for sale units, as will all residential within Desert Peak. Please feel free to contact us should you need any other information.

Sincerely,
D.R. Horton - Continental Series
/s/Roger Pryor
Director of Entitlements"

With those comments on the record, **MOTION** was made by Ms. Neely, **SECONDED** by Mr. Lingner, that Item 47A be granted as recommended.

Mr. Ed Hansen, 23243 North 26th Street, submitted a speaker card in opposition, but waived his opportunity to speak.

MOTION CARRIED UNANIMOUSLY.

MOTION was made by Mrs. Bilsten, **SECONDED** by Mr. Lingner, that Items 48 and 49A-E be granted as recommended. **MOTION CARRIED UNANIMOUSLY.**

June 2, 2004

ITEM 48

DISTRICT 6

**MODIFICATION OF
STIPULATION REQUEST FOR
RATIFICATION OF PLANNING
HEARING OFFICER ACTIONS**

The Council heard request to approve Planning Hearing Officer's recommendations without further hearing by the City Council on this matter heard by the Planning Hearing Officer on Wednesday, November 7, 2001.

DISTRICT 6
THOMAS ROAD AND 44TH
STREET
OWNER: COSTCO
WHOLESALE CORPORATION
APPLICANT: BRUCE
CREAGER/BARGHAUSEN
CONSULTING
REPRESENTATIVE: BRUCE
CREAGER/BARGHAUSEN
CONSULTING

Application: **Z-29-94-6**

Request: To amend the May 10, 1994, Arcadia Crossing Preliminary Site Plan (P94018) with a Costco gasoline facility on "Anchor D" site (4502 East Oak Street)

Location: Southeast corner of 44th Street and Thomas Road; Acreage: 70.84

Camelback East Village Planning Committee chose to not review this request.

The Planning Hearing Officer approved the request with modified stipulations.

1. That the development be in general conformance to the site plan (dated January 11, 1994) [or with the modifications to Anchor D as shown in the site plan dated ~~February 4, 1994~~ September 7, 2001], together with the elevations and exhibits (dated January 12, 1994) as may be modified by the following stipulations.
2. That development of the site be in accordance with the Development Agreement (Ordinance S-21748 amending Ordinance S-21068, dated November 1993) between Opus Southwest Corporation and the City of Phoenix.

June 2, 2004

3. That particular attention shall be given during the Design Review process to provide building elevations that are consistent in design and materials around the entire center and that the linear nature of the design be minimized through the use of architectural embellishments, building offsets, shade structures and pedestrian plazas.
4. That the site plan be modified as approved by the Development Services Department to reflect the following changes:
 - a. Building offsets for the major users shall be consistent with the site plan dated January 11, 1994.
 - b. Pad Sites Three (3) and Four (4) may be modified to create a unified pad development such as through the use of depressed parking and pedestrian plazas. A major gateway statement shall be provided at the Thomas Road and 44th Street intersection with views to the interior of the development.
 - c. That access to the exception parcel at the southwest corner of the site be considered at the time of site plan approval.
5. That the right-of-way dedications and off-site improvements shall be consistent with the Development Agreement (as identified in Stipulation 2).
6. That a single driveway access be permitted on 46th Street south of Shops "B" as approved by the Development Services Department, and no vehicular access between the library site and the retail center. Left turn access from the site onto Oak Street shall be prohibited.

ITEM 49

DISTRICTS 2, 7 AND 8

**MODIFICATION OF
STIPULATION REQUESTS FOR
RATIFICATION OF PLANNING
HEARING OFFICER ACTIONS**

The Council heard request to approve the Planning Hearing Officer's recommendations without further hearing by the City Council on matters heard by the Planning Hearing Officer on Wednesday, May 5, 2004.

REPORT OF PLANNING HEARING OFFICER ACTION

Mr John R Verdugo Principal Planner Hearing Officer
Mr Miguel Victor, Planner II Assisting

November 7 2001

SUBJECT

Application #	Z-29-94 6	
Zoning	C 2	Q S 14-38
Location	Southeast corner of 44th Street & Thomas Road	
Acreage	70 84	
Request	To amend the May 10 1994 Arcadia Crossing Preliminary Site Plan (P94018) with a Costco gasoline facility on Anchor D site (4502 E Oak Street)	
Applicant	Kim Stever	
Owner	Kim Stever	
Representative	Bruce Creager	

PLANNING HEARING OFFICER RECOMMENDATION

Approval with modified stipulations

VILLAGE PLANNING COMMITTEE RECOMMENDATION

The Camelback East VPC chose to not review this request

FINDINGS

The representative Mr Bruce Creager Barghausen Consulting Engineers 18215 72nd Avenue South Kent WA 98032 stated that his proposal was for the addition of a new gasoline station at the southwest portion of the COSTCO site The initial facility would consist of a 3 island canopy with the addition of a fourth island in the future The required parking would not be reduced but there would be 103 existing parking that would be removed The landscaping would be increased to meet current standards The facility would have an attendant on site at all times of operation from 6 00am to 10 00pm

The Planning Hearing Officer, Mr John Verdugo found that the gasoline addition the existing Costco facility was a trend that major wholesale retailers are moving more to There would be no major impact to the site with the addition of the gasoline facility Mr Verdugo also stated that this would provide a convenience to the clients of the Costco and be a benefit

MOTION

The Planning Hearing Officer moved to approve this request subject to modified stipulations

STIPULATIONS

- 1 That the development be in general conformance to the site plan (dated 1/11/94) [or with the modifications to Anchor D as shown in the site plan dated ~~2/04/94~~ September 7, 2001] together with the elevations and exhibits (dated 1/12/94) as may be modified by the following stipulations
- 2 That development of the site be in accordance with the Development Agreement (Ordinance S-21748 amending Ordinance S-21068 dated 11-93) between Opus Southwest Corporation and the City of Phoenix
- 3 That particular attention shall be given during the Design Review process to provide building elevations that are consistent in design and materials around the entire center and that the linear nature of the design be minimized through the use of architectural embellishments building offsets shade structures and pedestrian plazas
- 4 That the site plan be modified as approved by the Development Services Department to reflect the following changes
 - a Building offsets for the major users shall be consistent with the site plan dated 1/11/94
 - b Pad Sites Three (3) and Four (4) may be modified to create a unified pad development such as through the use of depressed parking and pedestrian plazas A major gateway statement shall be provided at the Thomas Road and 44th Street intersection with views to the interior of the development
 - c That access to the exception parcel at the southwest corner of the site be considered at the time of site plan approval
- 5 That the right-of way dedications and off-site improvements shall be consistent with the Development Agreement (as identified in Stipulation No 2)
- 6 That a single driveway access be permitted on 46th Street south of Shops B as approved by the Development Services Department and no vehicular access between the library site and the retail center Left turn access from the site onto Oak Street shall be prohibited