

PLEASE RESPOND ELECTRONICALLY TO BRAD WYLAM 2ND FLOOR, 602-256-3322



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned
From: Alan Stephenson
Planning & Development Department Director
Date: December 20, 2021
Subject: **P.H.O. APPLICATION NO. PHO-4-21--Z-47-19-7** – Notice of Pending Actions
by the **Planning Hearing Officer**

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **January 19, 2022**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **December 30, 2021**.

DISTRIBUTION

Mayor's Office (Lisa Fernandez), 11th Floor
City Council (Sina Matthes, Tony Motola), 11th Floor
Aviation (Sheldon Daisley)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Aaron Conway), 2nd Floor
Light Rail (Joel Carrasco/Special TOD Only)
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Natasha Hughes), 16th Floor
Public Transit (Michael Pierce)
Public Works (Ray Dovalina, Kristina Jensen, Elise Moore, Rudy Rangel), 5th Floor
Street Transportation Department (Maja Brkovic, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Mailen Pankiewicz), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Alan Stephenson, Joshua Bednarek), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Tricia Gomes, Adam Stranieri, Brad Wylam), 2nd Floor
Village Planner (Sofia Mastikhina, Laveen Village)
Village Planning Committee Chair (Tonya Glass, Laveen Village)



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-4-21--Z-47-19

Council District: 7

Request For: Stipulation Modification

Reason for Request: Review of site plan, landscape plan, and elevations per Stipulation 24.

Owner	Applicant	Representative
Laveen Baseline LLC 1701 East Highland Avenue, Ste 101 Phoenix AZ 85016 (602) 631-6101 banderson@kitchell.com	Laveen Baseline LLC 1701 East Highland Avenue, Ste 101 Phoenix AZ 85016 (602) 631-6101 banderson@kitchell.com	Wendy Riddell, Berry Riddell LLC 6750 East Camelback Road, Ste 100 Phoenix AZ 85251 P: (480) 682-3902 F: (480) 385-2757 wr@berryriddell.com

Property Location: Approximately 800 feet south of the southwest corner of 59th Avenue and Baseline Road

Zoning Map: D-5 Quarter Section: 01-14 APN: 300-02-927B Acreage: 8.16

Village: Laveen

Last Hearing: CC HEARING

Previous Opposition: No

Date of Original City Council Action: 01/08/2020 230 PM

Previous PHO Actions: 12/15/2021 230 PM 12/15/2021 230 PM

Zoning Vested: C-2 HGT/WVR

Supplemental Map No.: _____

Planning Staff: 075891

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning.mailbox@phoenix.gov or visit our website at <http://phoenix.gov/pdd/licensetimes.html>.

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

Fee	Fee Waived	Fee Date	Receipt	Purpose
\$1,080.00	\$0.00	12/03/2021	21-0116007	Original Filing Fee

Signature of Applicant: _____ DATE: _____

Hearing Results

Planning Hearing Officer	Planning Commission	City Council
Date: <u>01/19/2022 1000 AM</u>	Date: _____	Date: _____
Appealed?: _____	Appealed?: _____	
Action: _____	Action: _____	Action: _____

BERRY RIDDELL LLC

December 20, 2021

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6750 E. Camelback Rd., #100
Scottsdale, AZ 85251
Office: 480-385-2727
www.berryriddell.com

wr@berryriddell.com
Direct: 480-682-3902

December 20, 2021

Via Hand-delivery to:

City of Phoenix
Attn: Planning Hearing Officer
200 W Washington Street, 2nd Floor
Phoenix, Arizona 85003

Re: Request for Planning Hearing Officer Approval / Z-47-19

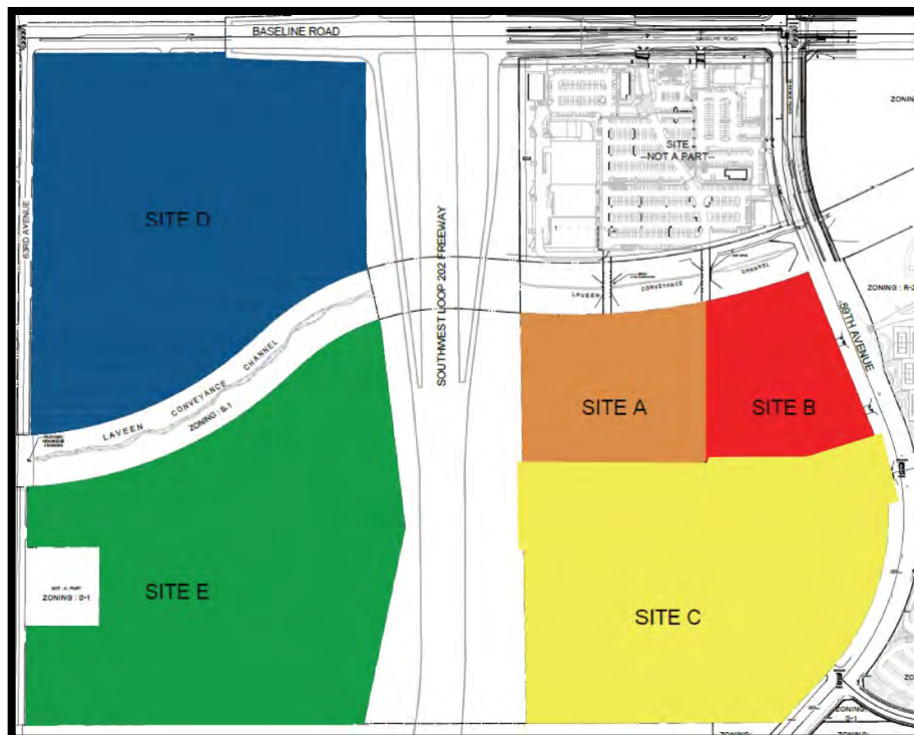
Dear Planning Hearing Officer:

The purpose of this correspondence is to seek Planning Hearing Officer ("PHO") approval of a site plan, landscape plan, and elevations pursuant to Z-47-19 to allow for a 55,000-sf retail anchor building. The property is located north of the northwest corner of 59th Avenue and South Mountain Avenue (the "Site"). The Site is located within the Laveen Village.

In 2019, the Site outlined below in blue was rezoned from S-1 (approved CP/GCP and/or C-2) to 28.64 acres of C-2 HGT/WVR, 23.27 acres of R-4, and 76.7 acres of CP/GCP to refine the former "cafeteria zoning" and create a path forward for the development of a master plan. A Conceptual Master Site Plan was developed and presented through the public hearing process to divide the site into five distinct districts, each with specific stipulations. The area highlighted below in purple is the subject property of this PHO request.

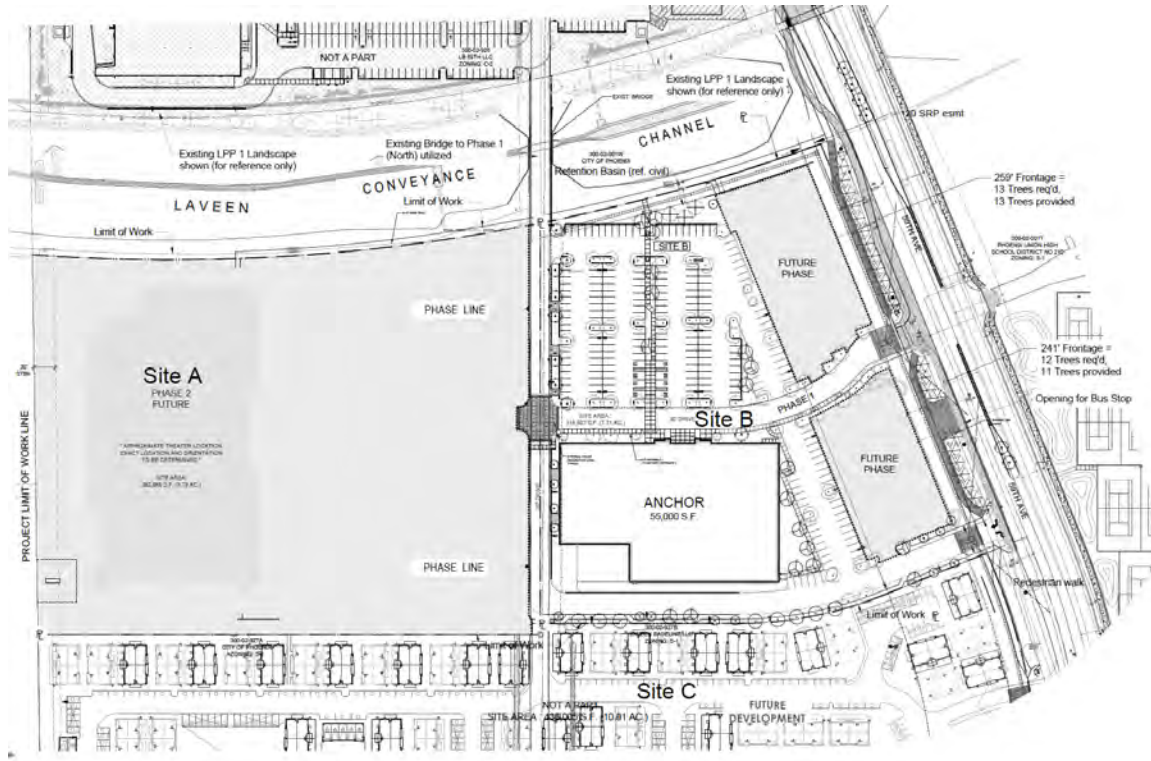


A Conceptual Master Site Plan was developed and presented through the public hearing process to divide the site into five distinct districts, each with specific stipulations. The subject property comprises Site B. It should be noted that the adjacent property to the south was the subject property of PHO-2-21—Z-47-19-7 that was ratified at City Council on December 15, 2021. The purpose of that PHO was to expand the area of the originally approved Site Area C and reduce the area of the originally approved Site Areas A and B, in addition to stipulation compliance. The updated conceptual master site plan from PHO-2-21—Z-47-19-7 is shown below. The subject property of this request is the newly established Area B.



The Proposal

The request is for Planning Hearing Officer review for Site B, pursuant to Stipulation #24. The proposal includes a 55,000 square foot retail building at the southwest portion of Site B, with two vacant future phase areas depicted along the east portion of the Site. Specific building proposals within the future phase area may require a PHO at a later date.



Stipulation Compliance

24. The site plan, landscape plan showing pedestrian circulation and elevations, shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:

- a. Promoting the overall pedestrian circulation within the commercial corner through wide sidewalks, detached sidewalks and overall connectivity including:**
 - (i) A minimum of two pedestrian pathways that are a minimum of 6 feet wide shall be provided from 59th Avenue through the site to connect to buildings and the pedestrian pathways at Site A. The parking lot shall be designed to have minimal vehicular drive crossings through these pathways. These pathways shall have a minimum 50 percent shade provided by 2-inch**

minimum caliper trees located in minimum 5-foot-wide landscape areas and/or an architectural shading element.

Response: As designed, there are two pedestrian access points provided from 59th Avenue. One of the access points is aligned with the northern edge of the proposed building. The second access point is provided along the southern edge of Site B. Both sidewalks will be a minimum of 6 feet wide and will have a minimum of 50 percent shade.

- (ii) **A minimum of two clearly defined pedestrian connections shall be provided to connect with the trail along the Laveen Area Conveyance Channel with two pedestrian scale amenities (open space, benches, tables, etc.) provided within close proximity of the trail.**

Response: There is a pedestrian connection point provided from the entry of the retail building to the LACC. There will be two benches provided in the general area of this connection point along the LACC. The additional pedestrian connection will be provided as part of the future phase of Site B.

- b. **Arcades and overhangs shall be incorporated into the buildings to promote shade.**

Response: There is an arcade provided at the entry of the building to provide shade to pedestrians.

- c. **All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.**

Response: As shown on the proposed elevations, there are both vertical and horizontal variations in the wall planes. The front entry features vine trellises and terrace accents.



- d. **Accent building materials such as: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco and/or exposed aggregate concrete shall be used on buildings or otherwise demonstrate that the architectural style is consistent with prior phases of the project and development in the area.**

BERRY RIDDELL LLC

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Response: The building is comprised of desert tone painted CMU block with brick accents. The brick color is similar to that used for the stone on other multi-family projects in Site Area C. The building scale and architectural style is consistent with the approved Harkins elevations as part of the original case file, Z-47-19. In addition, the desert tone color scheme and accent materials are consistent with development projects in the area.

Your attention to this matter is greatly appreciated. Please feel free to reach out to medirectly with questions.

Very truly yours,

A handwritten signature in black ink that reads "Wendy Riddell". The script is cursive and fluid, with the first name "Wendy" being more prominent than the last name "Riddell".

Wendy Riddell

ORDINANCE G-6659

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-47-19-7) FROM S-1, APPROVED CP/GCP AND/OR C-2 (RANCH OR FARM RESIDENCE DISTRICT, APPROVED COMMERCE PARK/GENERAL COMMERCE PARK DISTRICT AND/OR INTERMEDIATE COMMERCIAL DISTRICT) TO CP/GCP (COMMERCE PARK/GENERAL COMMERCE PARK DISTRICT), C-2 HGT/WVR (INTERMEDIATE COMMERCIAL, HEIGHT WAIVER), AND R-4 (MULTIFAMILY RESIDENCE DISTRICT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 128.61 acre site located at the southeast corner of 63rd Avenue and Baseline Road in a portion of Sections 5 and 6, Township 1 South, Range 2 East, as described more specifically in Exhibit "A," is hereby changed from "S-1, Approved CP/GCP and/or C-2" (Ranch or Farm Residence District, Approved Commerce Park/General Commerce Park District and/or Intermediate Commercial District) to 76.70 acres of "CP/GCP" (Commerce Park/General Commerce Park District), 28.64 acres of "C-2 HGT/WVR" (Intermediate Commercial, Height Waiver), and 23.27 acres of "R-4" (Multifamily Residence District) to allow commerce park

development, commercial development with a height waiver for up to 56 feet and multifamily residential.

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B."

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

Overall Site

1. The development shall be in General Conformance to the Conceptual Master Site Plan date stamped October 23, 2019, with specific regard to the site locations, as approved by the Planning and Development Department.
2. All parking areas adjacent to public streets, excluding the freeway, shall be screened by a combination of decorative screen walls and a minimum 3-foot high landscaped mound/berm along the perimeter streets, as approved by the Planning and Development Department.
3. All sidewalks adjacent to public streets shall be detached with a minimum 5-foot wide continuous landscape area located between the sidewalk and back of curb; and shall include minimum 3-inch caliper, large canopy single-trunk shade trees (limbed-up a minimum of 10-feet clear from finish grade), planted 25 feet on center or in equivalent groupings; and minimum 5-gallon shrubs with a maximum mature height of 2 feet providing 75 percent live cover, as approved by the Planning and Development Department. If there is limited right-of-way along the Baseline Road frontage requiring a modified cross section, an attached sidewalk design may be considered, as approved by the Planning and Development Department.
4. The developer shall provide clearly defined, accessible pathways at vehicular crossings, constructed of decorative pavement that visually contrasts with the adjacent parking and drive aisle surfaces for internal drive aisles and accessways, as approved by the Planning and Development Department.

5. The applicant shall submit a Traffic Impact Study (TIS) to the City for this development for review and approval by the Street Transportation Department (except for the Site A, Harkins) prior to the submittal of preliminary site plans. Additional right-of-way and street improvements may be required following TIS review. Phasing of off-site improvements must be consistent with the TIS recommendations. Phased street improvements will require the installation of pavement transition tapers, as approved by the Street Transportation Department.
6. The developer shall construct all streets within and adjacent to the development required for each phase with paving, curb, gutter, minimum 5-foot wide sidewalk, curb ramps, streetlights, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with the current ADA Guidelines.
7. Open irrigation facilities are to be piped outside of right-of-way and shown on the preliminary site plan, as approved by the Planning and Development Department.
8. All multi-use trails and shared use paths shall be shaded a minimum of 50 percent with 2-inch minimum caliper, large canopy shade trees, located 5 to 8 feet from the edge of the trail, as approved by the Planning and Development Department.
9. The right-of-way shall be dedicated, if required, and a bus pad (detail P1260 or P1262) constructed at the following locations, unless otherwise modified by the Planning and Development Department and Public Transit Department:
 - a. Eastbound Baseline Road east of 63rd Avenue. Pad shall be spaced from the intersection of 63rd Avenue and Baseline Road according to City of Phoenix Standard Detail P1258.
 - b. Three bus stop pads shall be located along Southbound 59th Avenue.
10. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
11. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
12. In the event archaeological materials are encountered during construction, the

developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Site A

13. The development shall be in general conformance with the site plan and elevations date stamped October 23, 2019, as modified by the following stipulations and approved by the Planning and Development Department.
14. The maximum building height shall be limited to 56 feet.
15. There shall be a 150-foot setback provided from 59th Avenue for buildings over 30 feet in height.
16. A minimum of one clearly defined pedestrian connection shall be provided from Site A to connect with the trail along the Laveen Area Conveyance Channel with one pedestrian scale amenity (benches, tables, etc.) provided within close proximity of the trail, as approved by the Planning and Development Department.
17. A minimum of two pedestrian pathways that are a minimum 6 feet wide shall be provided from the west side of Site B through Site A to the proposed buildings. The parking lot shall be designed to have minimal vehicular drive crossings through these pathways. These pathways shall have a minimum 50 percent shade provided by 2-inch minimum caliper trees located in minimum 5-foot wide landscape areas and/or an architectural shading element, as approved by the Planning and Development Department.
18. A minimum of two inverted-U bicycle racks (4 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
19. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including the landscaped median between the Laveen Area Conveyance Channel and the southern boundary of Site A, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.

20. The developer shall construct a 10-foot-wide Shared Use Path (SUP) along the west side of 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
21. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the south side of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.

Site B (Retail/Restaurant)

22. The maximum building height shall be limited to 30 feet within 150 feet of 59th Avenue and 45 feet for the remainder of Site B.
23. There shall be a 150-foot stepback provided from 59th Avenue for building over 30 feet in height.
24. The site plan, landscape plan showing pedestrian circulation and elevations, shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the commercial corner through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian pathways that are a minimum of 6 feet wide shall be provided from 59th Avenue through the site to connect to buildings and the pedestrian pathways at Site A. The parking lot shall be designed to have minimal vehicular drive crossings through these pathways. These pathways shall have a minimum 50 percent shade provided by 2-inch minimum caliper trees located in minimum 5-foot wide landscape areas and/or an architectural shading element.
 - (ii) A minimum of two clearly defined pedestrian connections shall be provided to connect with the trail along the Laveen Area Conveyance Channel with two pedestrian scale amenities (open space, benches, tables, etc.) provided within close proximity of the trail.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.

- c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Accent building materials such as: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco and/or exposed aggregate concrete shall be used on buildings or otherwise demonstrate that the architectural style is consistent with prior phases of the project and development in the area.
- 25. Drive-through restaurant pick-up windows shall be architecturally integrated in proportion, color, material and texture to the building it serves by providing awnings or architecturally integrated structures for weather protection, as approved by the Planning and Development Department.
 - 26. Drive-through restaurant facilities shall provide a minimum of 250 square feet of outdoor seating areas, as approved by the Planning and Development Department.
 - 27. A minimum of 25 percent of the surface parking areas shall be shaded by 2-inch minimum caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
 - 28. A minimum of two inverted-U bicycle racks (4 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
 - 29. A minimum of 30 percent of the linear frontage of the buildings, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.
 - 30. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including landscaped median between the Laveen Area Conveyance Channel and the southern boundary of Site B, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
 - 31. The developer shall construct a 10-foot Shared Use Path (SUP) on 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel.

32. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the southside of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.

Site C (Multifamily)

33. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
- a. Promoting pedestrian connections with the adjacent commercial development through sidewalks, detached sidewalks and overall connectivity including:
 - b. A minimum of three evenly dispersed pedestrian connection points to the commercial development to the north. This pedestrian connection shall be clearly defined and minimize vehicular conflicts.
 - c. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - d. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet, as approved by the Planning and Development Department.
 - e. Ensuring architectural style is consistent with prior phases of the project and development in the area.
34. There shall be a minimum of 10 percent common area open space provided onsite, as approved by the Planning and Development Department.
35. A minimum of 25 percent of the surface parking areas shall be shaded by a minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
36. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including the landscaped median for the full extent of Site C, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.

37. The developer shall construct a 10-foot wide Shared Use Path (SUP) on 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel.
38. The developer shall provide conduit plan and junction boxes at 59th Avenue and South Mountain Avenue on project site for future traffic signal equipment and all work related to the construction or reconstruction of the conduit runs and junction box installation shall be the responsibility of the Developer, as approved by the Planning and Development Department.

Site D (Commerce Park/General Commerce Park North of the LACC)

39. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the development through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian connections to the Laveen Area Conveyance Channel.
 - (ii) There shall be an employee open space area provided adjacent to the Laveen Area Conveyance Channel. The open space areas shall provide a minimum of one amenity (tables, benches, yard games, etc.) each.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Ensuring architectural style is consistent with prior phases of the project and development in the area.
40. There shall be a minimum of one exterior employee balcony provided on each four-story building that is a minimum of 12 feet in depth and a minimum of 200 square feet in size, as approved by the Planning and Development Department.
41. The glazing on all building windows shall have a maximum reflectivity of 20 percent, as approved by the Planning and Development Department.

42. A minimum of 25 percent of the surface parking areas shall be shaded by minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
43. A minimum of six inverted-U bicycle racks (12 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
44. A minimum of 30 percent of building linear frontage, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.
45. The developer shall protect in place the shared-use path and 20-foot wide public trail/sidewalk easement along the north side of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
46. The developer shall dedicate a 30-foot-wide public trail/sidewalk easement along the west side of the 202 Loop or adjacent to 63rd Avenue, whichever provides greater connectivity, at the time of preliminary site plan approval. Developer shall construct a 10-foot-wide shared-use path (SUP) within the easement as indicated in section 429 of the City of Phoenix MAG Supplement, as approved by the Planning and Development Department.
47. A minimum 10-foot public multi-use trail shall be constructed within a 30-foot easement in accordance with MAG supplemental detail 429 along the south side of Baseline Road to connect to the trails to the east and west, as approved by the Parks and Recreation Department.
48. The developer shall dedicate 60 feet of right-of-way for the full parcel limits for the south half of Baseline Road, as approved by the Planning and Development Department.
49. The developer shall dedicate a minimum of 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue. Additional right-of-way dedications and improvements as required by the TIS, as approved by the Street Transportation Department.

50. The developer shall dedicate 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue and improvements as required by the TIS, as approved by the Planning and Development. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
51. The developer shall dedicate a 25-foot by 25-foot right-of-way triangle at the southeast corner of Baseline Road and 63rd Avenue, as approved the Planning and Development Department.

Site E (Commerce Park/General Commerce Park South of the LACC)

52. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the development through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian connections to the Laveen Area Conveyance Channel.
 - (ii) There shall be an employee open space area provided adjacent to the Laveen Area Conveyance Channel. The open space areas shall provide a minimum of one amenity (tables, benches, yard games, etc.) each.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Ensuring architectural style is consistent with prior phases of the project and development in the area.
53. There shall be a minimum of one exterior employee balcony provided on each four-story building that is a minimum of 12 feet in depth and a minimum of 200 square feet in size, as approved by the Planning and Development Department.
54. The glazing on all building windows shall have a maximum reflectivity of 20 percent, as approved by the Planning and Development Department.

55. A minimum of 25 percent of the surface parking areas shall be shaded by minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
56. A minimum of six inverted-U bicycle racks (12 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
57. A minimum of 30 percent of building linear frontage, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.
58. The developer shall dedicate a 30-foot-wide public trail/sidewalk easement along the west side of the 202 Loop Freeway or adjacent to 63rd Avenue, whichever provides greater connectivity, at the time of preliminary site plan approval. Developer shall construct a 10-foot wide shared-use path (SUP) within the easement per Section 429 of the City of Phoenix MAG Supplement, as approved by the Planning and Development Department.
59. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the southside of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
60. The developer shall dedicate a minimum of 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue. Additional right-of-way dedications and improvements as required by the TIS, and as approved by the Street Transportation Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, excepting the frontage of APN 300-020-017C, as approved by the Street Transportation Department.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

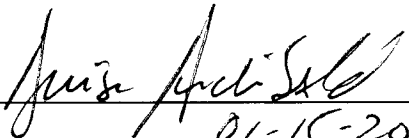
PASSED by the Council of the City of Phoenix this 8th day of January

2020.

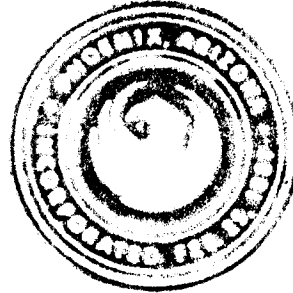


MAYOR

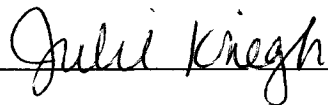
ATTEST:



City Clerk
01-15-2020

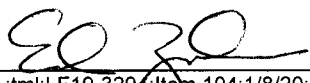


APPROVED AS TO FORM:



Acting City Attorney pm/

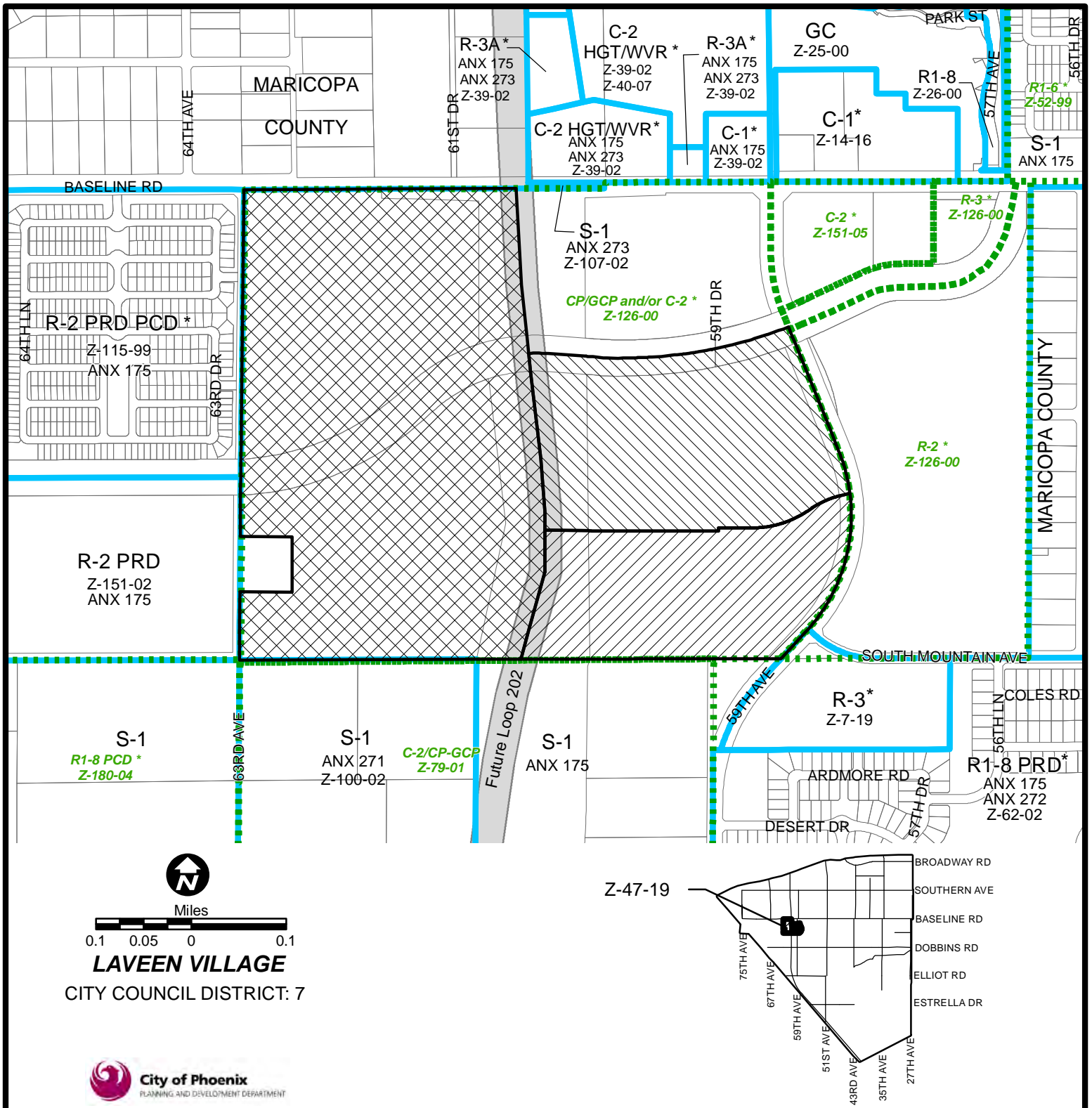
REVIEWED BY:



City Manager
PL:tml:LF19-3294:Item 104:1/8/20:2160318v1

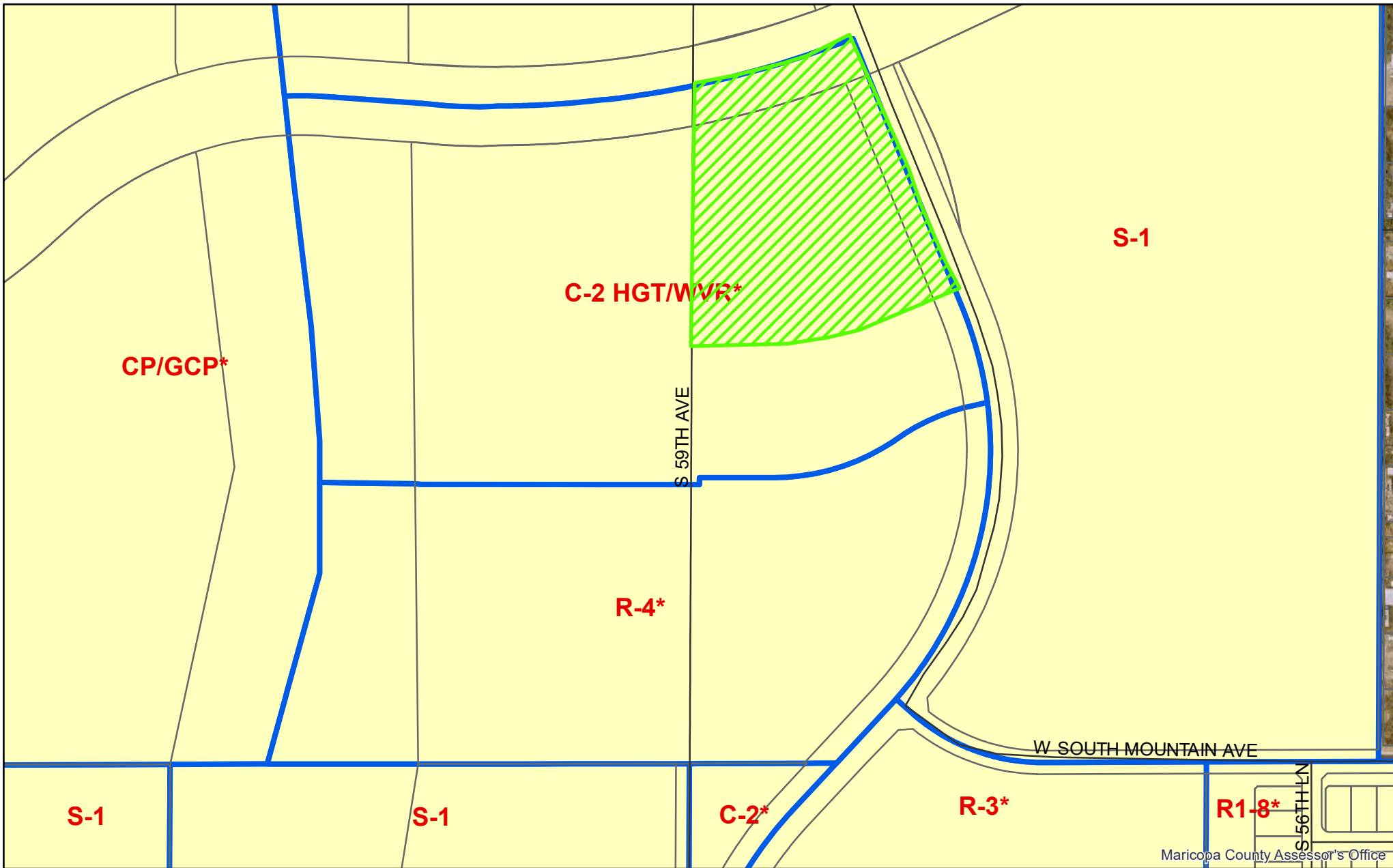
Exhibits:

- A – Legal Description (4 Pages)
- B – Ordinance Location Map (1 Page)



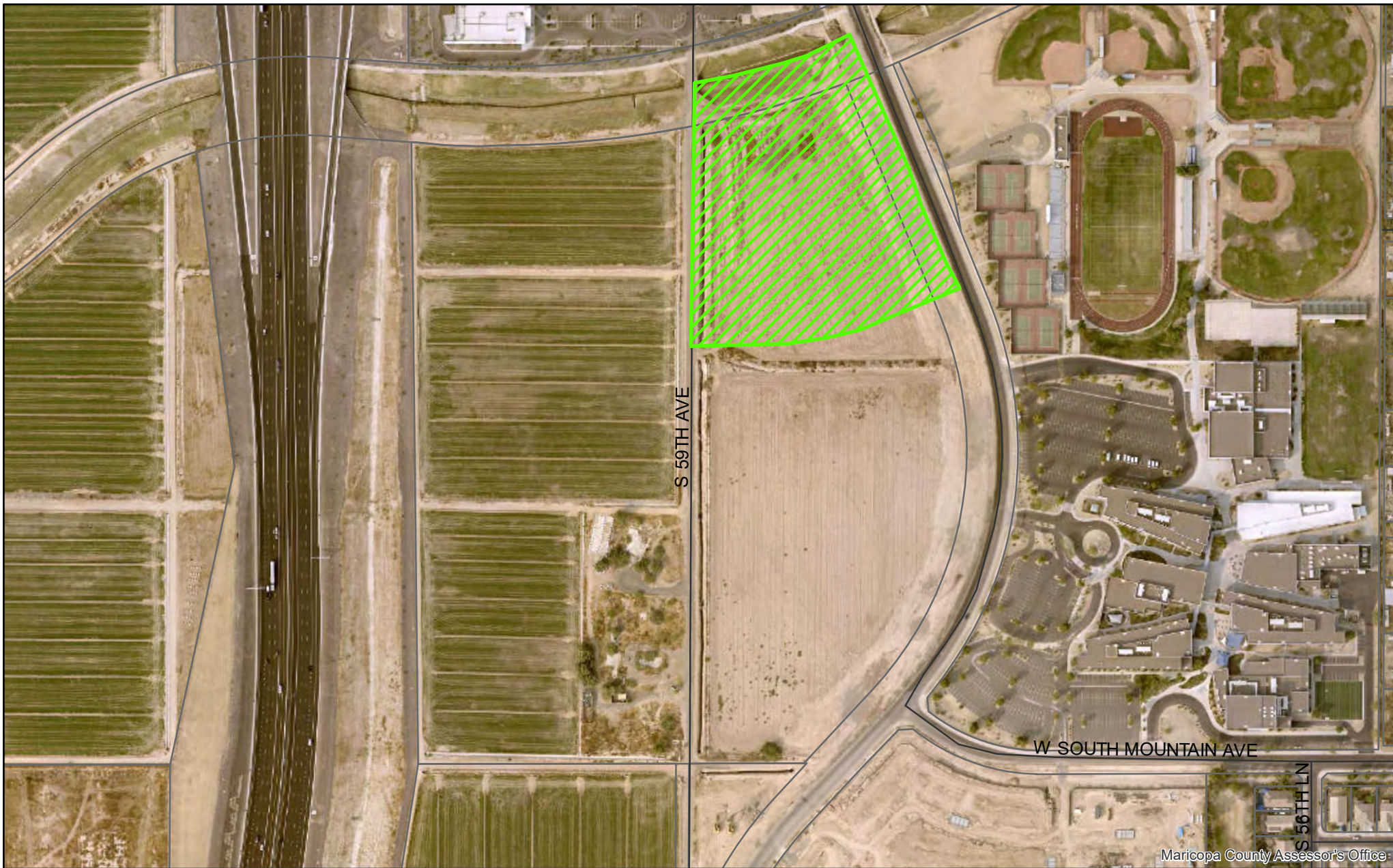
APPLICANT'S NAME: Wendy Riddell/Berry Riddell LLC		REQUESTED CHANGE:	
APPLICATION NO. Z-47-19		FROM: S-1 (Approved CP/GCP and/or C-2) (128.61 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 128.61 Acres		TO:	
DATE: 10/3/2019 REVISION DATES: 10/11/2019, 10/17/2019		CP/GCP (76.70 a.c.) C-2 HGT/WVR (28.64 a.c.) R-4 (23.27 a.c.)	
AERIAL PHOTO & QUARTER SEC. NO. QS 01-14		ZONING MAP D-5	
MULTIPLES PERMITTED S-1 (Approved CP/GCP and/or C-2) CP/GCP, C-2 HGT/WVR, R-4		* UNITS P.R.D. OPTION N/A (N/A, 2,238) N/A, 498, 810	
CONVENTIONAL OPTION 128 (N/A, 1,865) N/A, 415, 675			

* Maximum Units Allowed with P.R.D. Bonus



PHO-4-21--Z-47-19-7

Property Location: Approximately 800 feet south of the southwest corner of 59th Avenue and Baseline Road



PHO-4-21--Z-47-19-7

Property Location: Approximately 800 feet south of the southwest corner of 59th Avenue and Baseline Road

PRELIMINARY LANDSCAPE NOTES:

THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF PHOENIX STANDARDS.
ALL FRONTAGE TREES WILL BE 1" CALIPER OR LARGER, WITH 60% 2" CAL. AND 40% 1" CAL. OR LARGER

ALL INTERIOR TREES WILL BE 60% 2" CAL. 40% 1" CAL.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

DECOMPOSED GRANITE, 2" MINIMUM THICKNESS (SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL). PLACE IN ALL NON-RIVER ROCK OR FRACTURED GRANITE LANDSCAPE AREAS.

ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.

STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM PROPERTY LINE AND 20' ALONG PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCE WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.

ALL FINAL LANDSCAPE PLANS TO MEET OR EXCEED CITY OF PHOENIX MINIMUM STANDARDS FOR QUANTITY AND TYPE.

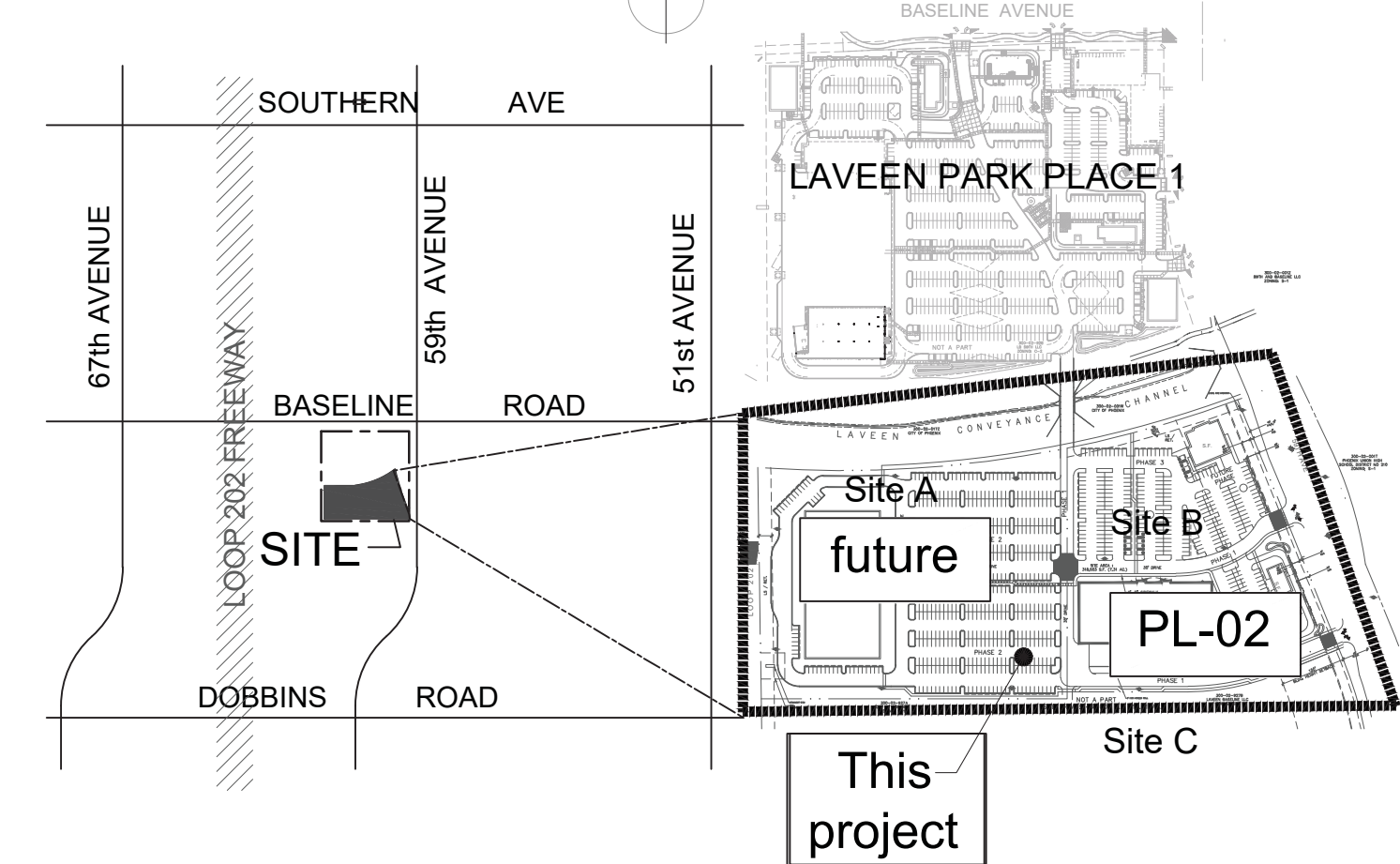
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1. TREE CALIPERS FOR STANDARD (SINGLE) TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST FOUR (4) TO SIX (6) INCHES ABOVE THE SOIL LINE, FOR TREES WITH FOUR (4) INCH CALIPER AND LESS; AND SIX (6) TO TWELVE (12) INCHES FOR TREES GREATER THAN FOUR (4) INCH CALIPER. TREE CALIPER FOR MULTI-TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST SIX (6) INCHES ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR SIX (6) INCHES ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL. CALIPER OF MULTIPLE TRUNK TREES SHALL BE DETERMINED BY TAKING THE AVERAGE CALIPER OF IT'S TWO (2) LARGEST TRUNKS.
2. TREE CALIPER AND HEIGHT SHALL GOVERN OVER ANY OTHER PLANTING SIZE INFORMATION PROVIDED ON THE DRAWINGS. TREES SPECIFIED BY CONTAINER SIZES ONLY SHALL NOT BE ACCEPTED.
3. THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY. ALL LANDSCAPING SHALL BE MAINTAINED AS APPROVED ON THE THE LANDSCAPE MAINTENANCE SCHEDULE (SEE ATTACHED).
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5. PLANTINGS WITHIN ANY SITE VISIBILITY EASEMENT SHALL BE MAINTAINED SO THAT NO LIMBS HANG LOWER THAN SEVEN (7) FEET AND SHRUBS OR OTHER PLANTS PLANTED WITHIN ANY SIGHT VISIBILITY EASEMENT SHALL BE NO TALLER THAN TWO (2) FEET AT FULL GROWTH.
6. THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.
7. GRANITE RIP RAP 3" TO 6" TO BE PLACED AT ALL CURB CUTS AND DOWN SPOUTS TO PREVENT EROSION. (SEE CIVIL PLANS)
8. SCREEN TRANSFORMERS AND UTILITY RISERS WITH LANDSCAPE MATERIAL.

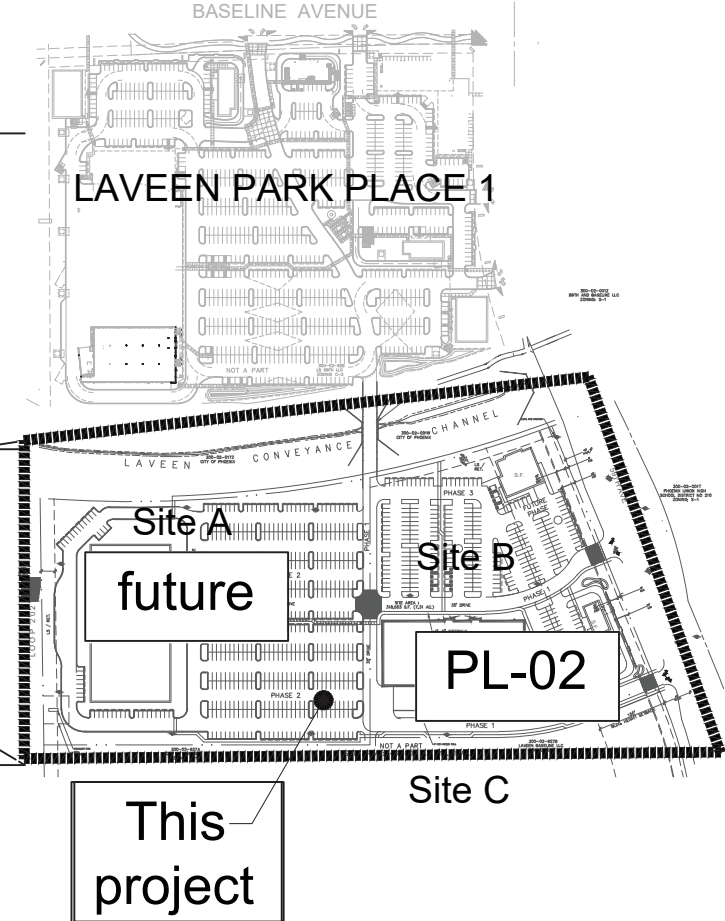
PROJECT TEAM

Developer Kitchell Development 1707 E. Highland Phoenix, Arizona 85016 Contact: Brad Anderson Ph: (602) 390-3178	Architect Butler Design Group 5017 E. Washington St. Ste 107 Phoenix, Arizona 85034 Contact: Clay Chiappini Ph: (602) 957-1800
Civil Engineer Erickson & Meeks Engineering 13444 N 32nd St, Phoenix, AZ 85032 Contact: Tom Meeks Ph: (602) 569-6593	Landscape Architect Laskin & Associates 67 E. Weldon Ave. Ste 230 Phoenix, Arizona 85012 Contact: Hans Stoll Ph: (602) 840-7771

VICINITY MAP



KEY MAP

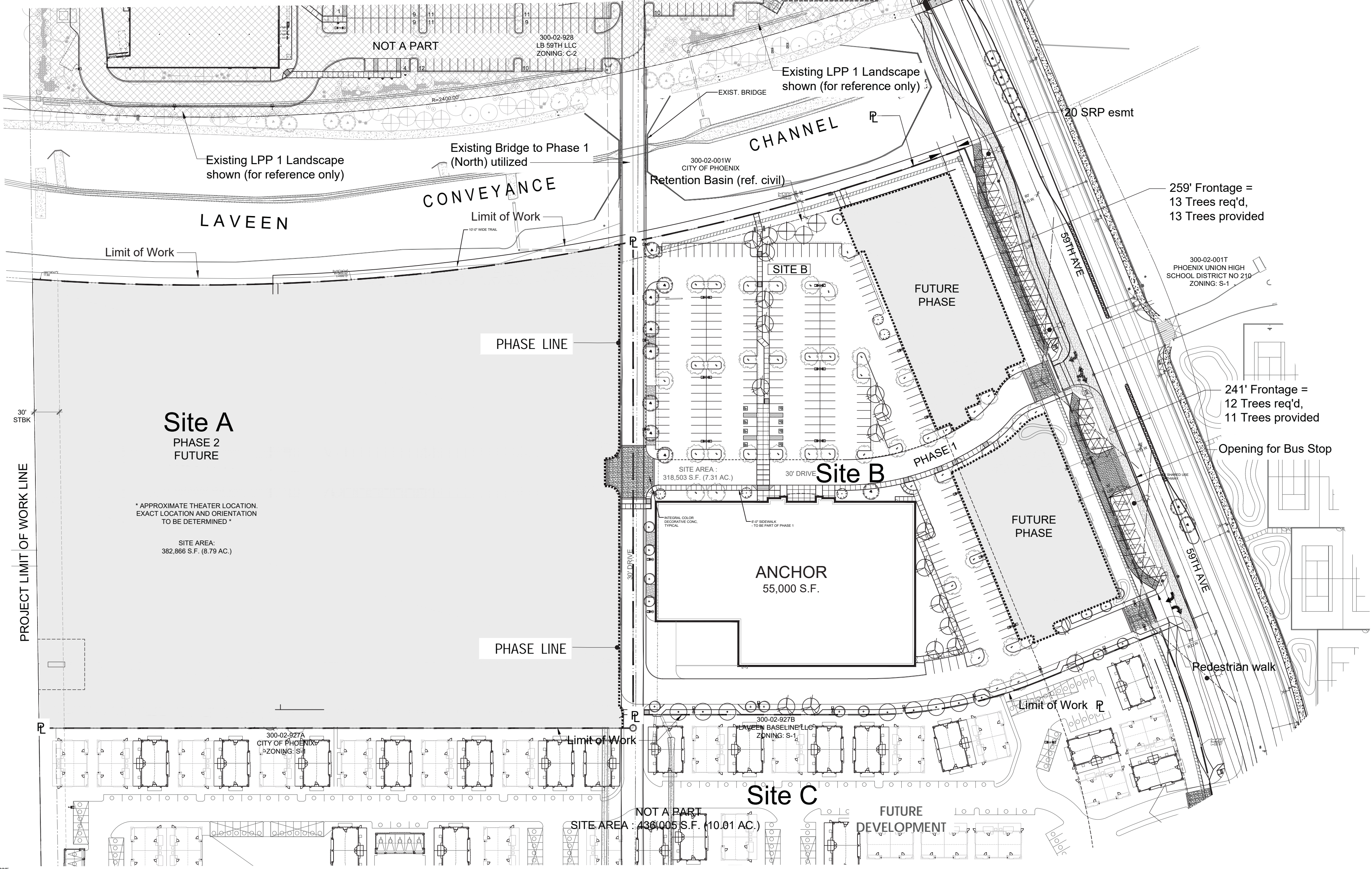


BID & CONSTRUCTION NOTES:

1. ALL TREES MUST MEET OR EXCEED THE CALIPER, WIDTH AND HEIGHT AT TIME OF PLANTING REGARDLESS OF BOX SIZE LISTED.
2. ALL TREES TO BE TAGGED AND APPROVED AT THE NURSERY BY THE LANDSCAPE ARCHITECT A MINIMUM OF (6) MONTHS PRIOR TO PLANTING.
3. ANY TREES MAY BE REJECTED BASED ON AESTHETIC QUALITY AND APPEARANCE.
4. CONTRACTOR TO PROVIDE SAMPLE PHOTOS, SPECIFICATIONS, QUANTITIES AND LOCATION OF TREES TO LANDSCAPE ARCHITECT A MINIMUM OF (1) ONE WEEK PRIOR TO NURSERY VISIT FOR SELECTION AND REVIEW.
5. LANDSCAPE CONTRACTOR TO PROVIDE ANY DEPOSIT OR RETAINERS NEEDED BY NURSERY TO RETAIN TREES FOR A PERIOD OF (3) THREE MONTHS OR MORE.

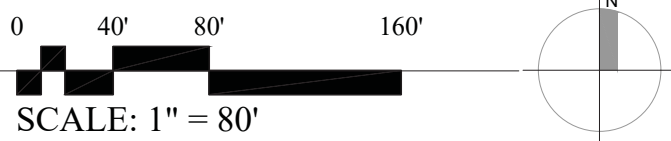
MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE RE-APPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY THE TOWN OF GOODYEAR INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.



PRELIMINARY OVERALL LANDSCAPE PLAN

SEE SHEET PL.02 FOR 40 SCALE SITE B ENLARGEMENT



SHEET INDEX

OVERALL LANDSCAPE PLAN	PL-01
LANDSCAPE PLAN (Site B)	PL-02

TREE NOTE:

Trees to meet or exceed ANA specifications.

- 40% of trees to be 1" caliper minimum
- 60% of trees to be 2" caliper minimum
- 59th ave Frontage per City Phx to be 3" cal.

LANDSCAPE LEGEND

(U.O.N. - UNLESS OTHERWISE NOTED)

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
NOTE: FOR SHRUBS, SEE SHEET L-02 AT 30 SCALE (Trees only on this Overall Plan)

TREES	CALIPER
Chilopsis linearis Art's Seedless® Desert Willow - Art's var.	2" caliper 5' h x 4' w Multi
Parkinsonia hybrid " Desert Museum" Desert Museum Palo Verde	2" caliper U.O.N. 8' h x 5' w
Acacia salicina Willow Acacia	Standard 2" caliper U.O.N. 7' h x 2.5' w
Caesalpinia mexicana Mexican Bird of Paradise	1" caliper Multi-Trunk
Acacia Aneura Mulga	1" caliper 6' h x 5' w
Parkinsonia praecox Palo Brea, Sonoran/Palo Verde	Multi-Trunk 3" caliper U.O.N. 13' h x 7' w
Eucalyptus microtheca Coolibah Tree	1" caliper 7' h x 3' w
Nerium Oleander Tree (red) Red Oleander standard	1.5" caliper 8' h x 4' w

SHRUBS / ACCENTS / VINES

SHRUBS / ACCENTS / VINES	SIZE
Muhlenbergia capillaris 'Lenca' Regal Mist® Pink Muhly Grass	5 Gallon
Dodonaea viscosa Green Hopseed Bush	5 Gallon
Hesperaloe parviflora 'Perpa' Brakelights 'red' Yucca	5 Gallon
Leucophyllum zygomphyllum (Cimarron) Compact Texas Sage	5 Gallon
Nerium oleander "Petite Pink" Petite Pink Oleander	5 Gallon
Echinocactus grusonii Golden Barrel Cactus	8" Diameter Matching
Hesperaloe funifera Giant Hesperaloe	5 Gallon
Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon
Eremophila hygrophane Blue Bells Emu	5 Gallon
Calliandra californica Baja Red Fairy Duster	5 Gallon
Simmondsia chinensis Jojoba	5 Gallon
Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon
Muhlenbergia rigida Nashville® Nshville Muhly	5 Gallon
Bougainvillea "Barbara Karst" var. Bougainvillea vine (espallier, staked)	5 Gallon

GROUNDCOVERS

GROUNDCOVERS	SIZE
Acacia redolens 'Desert Carpet'™ Desert Carpet™ Acacia	1 Gallon
Lantana montevidensis Trailing Lantana 'Purple & Gold mound'	1 Gallon
Decomposed Granite-3/4" (match LPP1, contact ROCK-PROs USA 2" min thickness in all landscape areas ** (MUT DG = 1/4" minus stabilized DG, color to match LPP1 trail) Submit samples to Landscape Architect	
Rip-Rap 3" - 6" sized, match chunk-rock from LPP1 north of this project (typ) 3" min thickness in all landscape areas	
Dust Proofing = 1/4" minus Decomposed Granite 2" depth in all FUTURE landscape areas	
Rip Rap- Desert Rock, Color to match LPP1, size is 3" to 6" Submit samples to LA (Place inside all Steel Header Planter areas) 3" minimum thickness	
3/16" x 6" rusted steel header - secure every 4' with rebar	



KIVA: 06-2778
SDEV: 2100261
PAPP: 2104188

GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION. NO TREES WITHIN 10' OF FOUNDATION PER SOILS REPORT.

Laveen Park Place

Phase 2 at the SWC LCC and 59th Ave

Laveen, Arizona

Proposed Landscape Plan

CITY OF PHOENIX

DEC 03 2021

Planning & Development
Department



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
P (602) 840-7771
F (602) 840-8021
www.laskindesign.com



Butler Design Group, Inc
architects & planners

PL-01

PHO SUBMITTAL
PRELIMINARY LANDSCAPE

Hearing Date: 1/19/2022

PROJECT DATA

Previous Zoning Cases:	Z-126-00 / Z-47-19
Existing Zoning:	S-1
Proposed Zoning:	C-2 with Height Waiver
APN:	300-02-927A / 300-02-927B
Gross Site Area:	738,551 S.F. (17 AC.)
Net Site Area:	701,369 S.F. (16.1 AC.)
Building Area:	112,530 S.F.
Maximum Building Height:	30'-0"
Proposed Building Height:	56'-0" (MAX)
Lot Coverage:	120,000 SF / 701,369 SF = 17.1%
FAR:	120,000 SF / 701,369 SF = .17

Parking Required

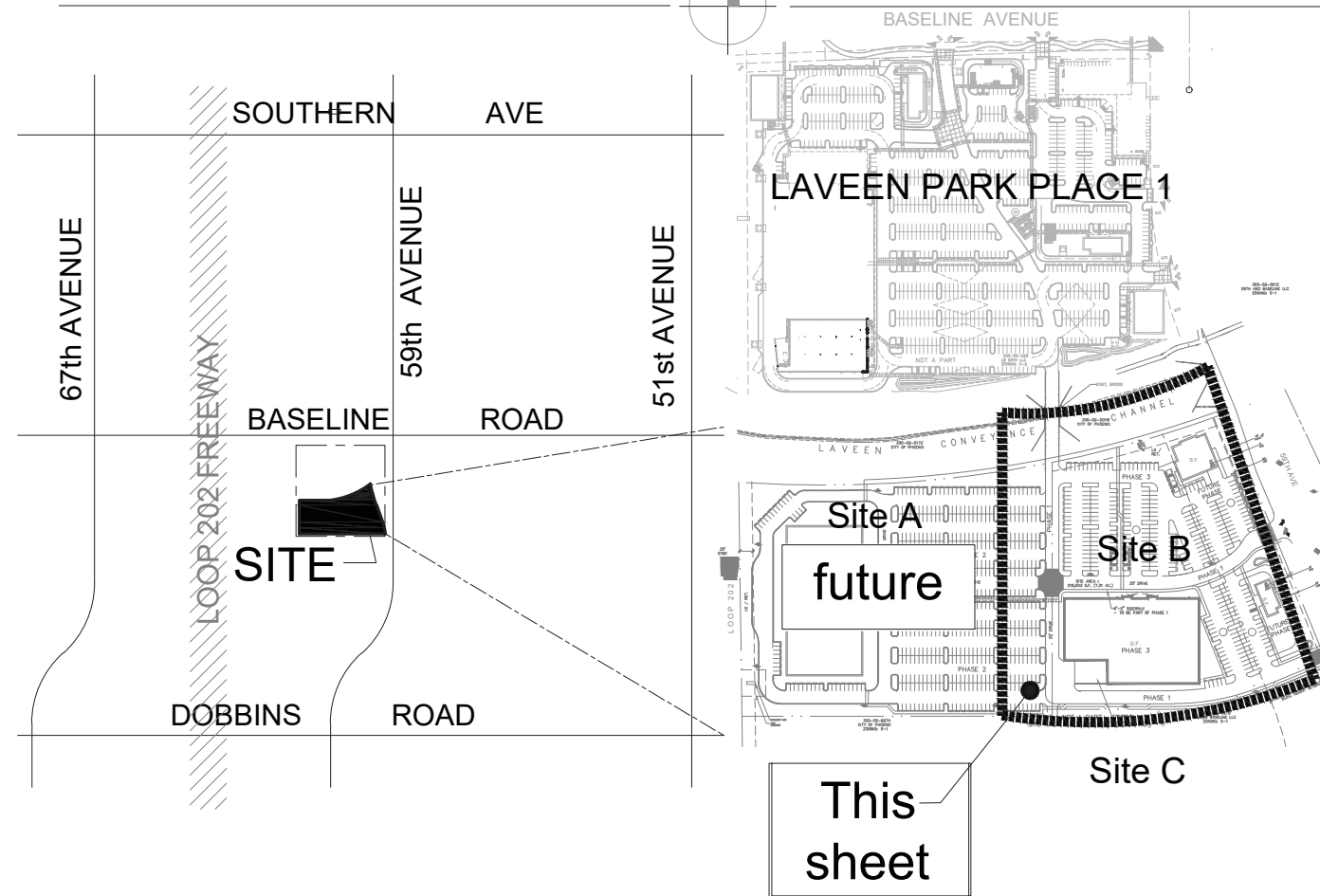
Theater	
+/-1,450 Seats / (1 Space per 3.5 seats) :	415 Spaces
Seating count is approximate - actual parking requirements will vary based on seat count	
Parking Provided	542 Spaces
ADA Parking Required (542 x 0.02) :	11 Spaces
ADA Parking Provided :	14 Spaces
Loading Spaces Required :	2 Spaces
Bicycle Spaces Required (1 per 25 vehicle parking spaces):	22 Spaces

GENERAL LANDSCAPE NOTES:

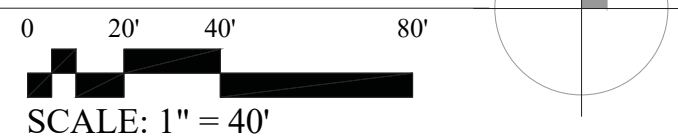
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VICINITY MAP

KEY MAP



PRELIMINARY LANDSCAPE SITE PLAN

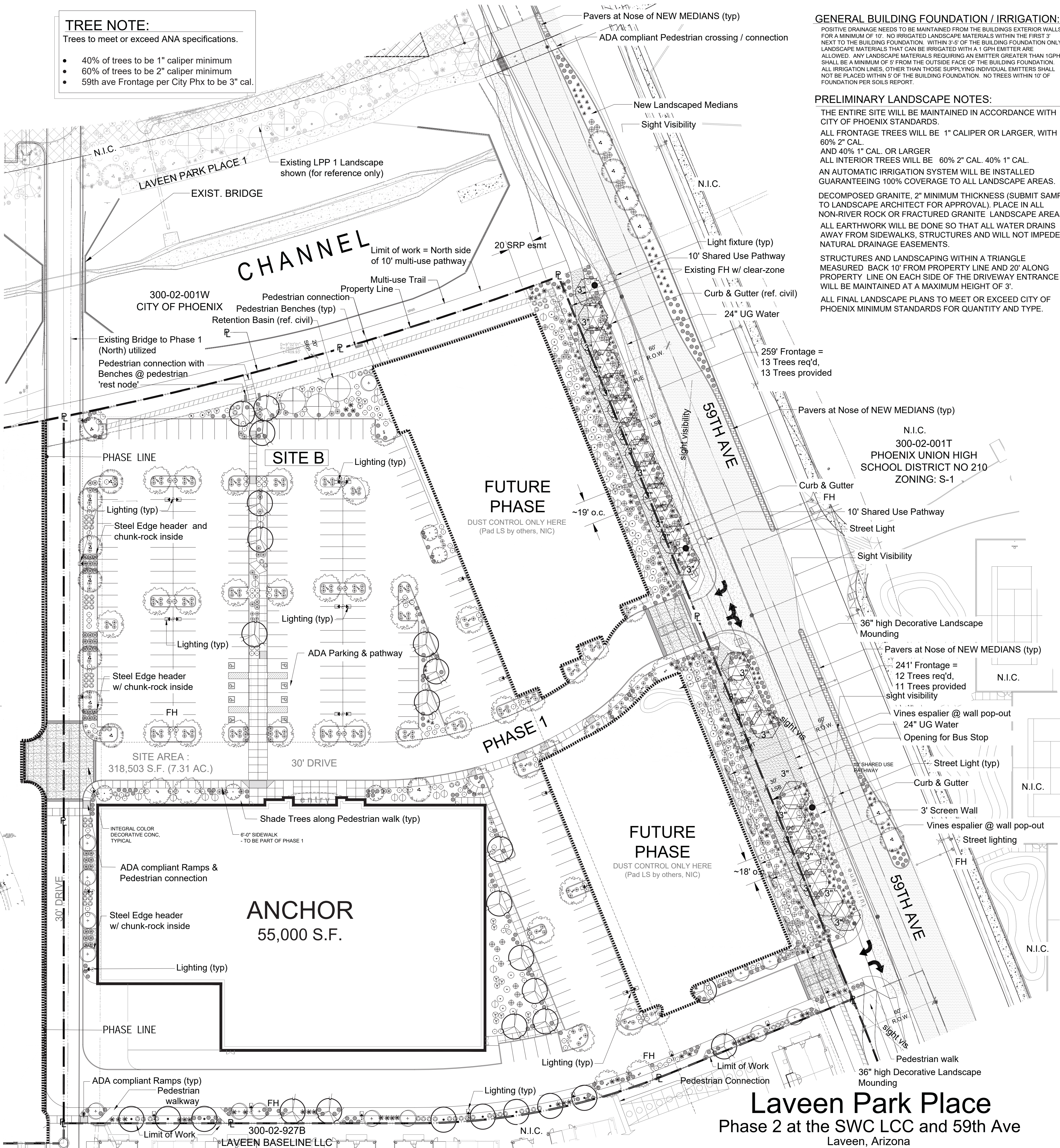


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LANDSCAPE LEGEND

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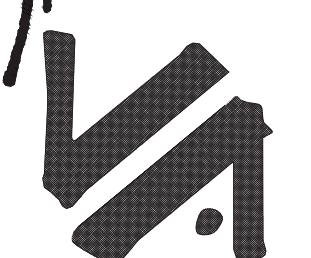
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PL-02

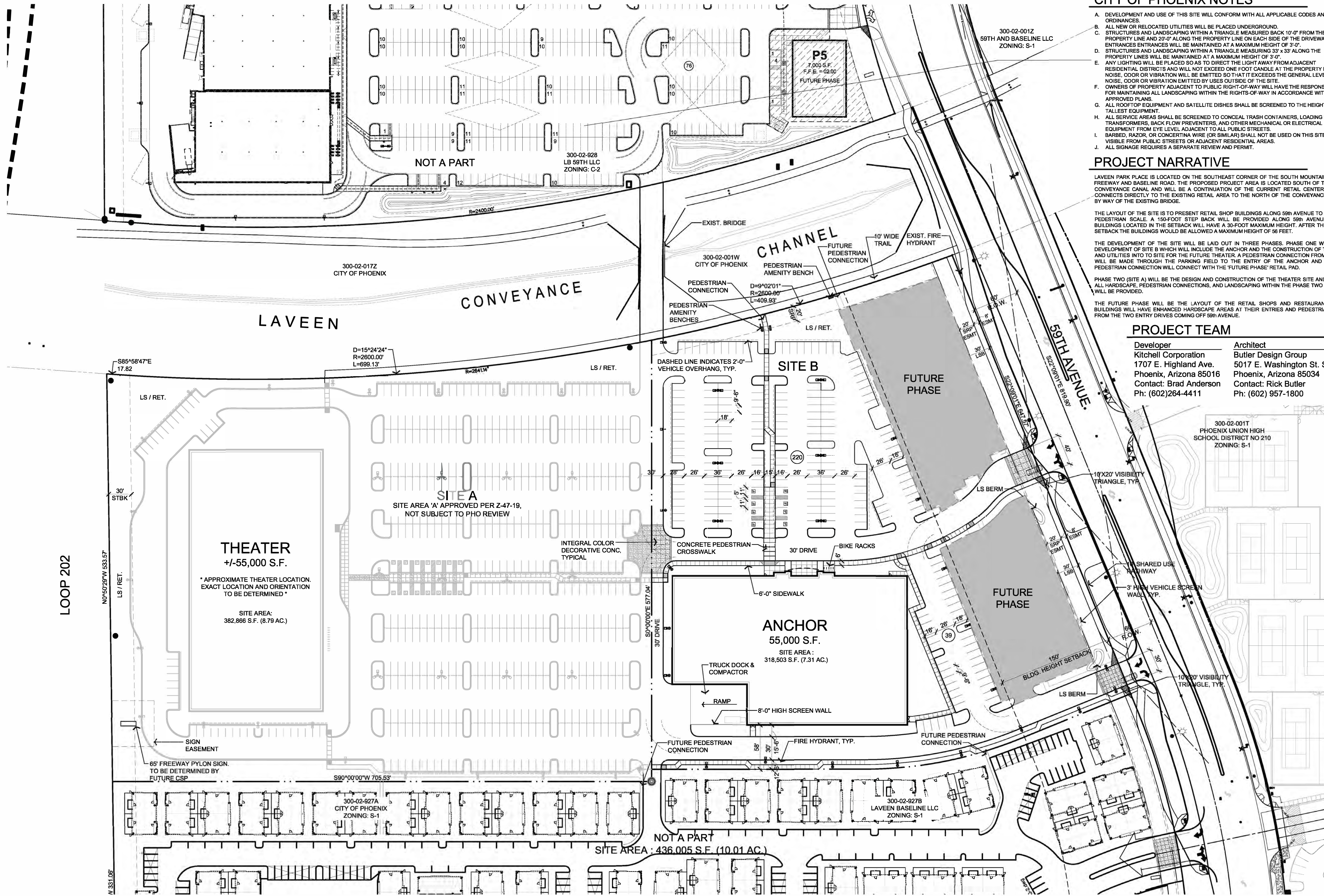
PHO SUBMITTAL
PRELIMINARY LANDSCAPE

Hearing Date: 1/19/2022

Laveen Park Place
Phase 2 at the SWC LCC and 59th Ave
Laveen, Arizona

Proposed Landscape Plan

PHO-4-21-Z-47-19-7



CITY OF PHOENIX NOTES

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- B. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- C. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10'-0" FROM THE PROPERTY LINE AND 20'-0" ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- D. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- E. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
- F. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- G. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- H. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACK FLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- I. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- J. ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.

PROJECT NARRATIVE

LAVEEN PARK PLACE IS LOCATED ON THE SOUTHEAST CORNER OF THE SOUTH MOUNTAIN LOOP 202 FREEWAY AND BASELINE ROAD. THE PROPOSED PROJECT AREA IS LOCATED SOUTH OF THE LAVREEN CONVEYANCE CANAL AND WILL BE A CONTINUATION OF THE CURRENT RETAIL CENTER. THIS SITE CONNECTS DIRECTLY TO THE EXISTING RETAIL AREA TO THE NORTH OF THE CONVEYANCE CHANNEL BY WAY OF THE EXISTING BRIDGE.

THE LAYOUT OF THE SITE IS TO PRESENT RETAIL SHOP BUILDINGS ALONG 59th AVENUE TO MAINTAIN A PEDESTRIAN SCALE. A 150-FOOT STEP BACK WILL BE PROVIDED ALONG 59th AVENUE AND ALL BUILDINGS LOCATED IN THE SETBACK WILL HAVE A 30-FOOT MAXIMUM HEIGHT. AFTER THE 150-FOOT SETBACK THE BUILDINGS WOULD BE ALLOWED A MAXIMUM HEIGHT OF 56 FEET.

THE DEVELOPMENT OF THE SITE WILL BE LAID OUT IN THREE PHASES. PHASE ONE WILL BE THE DEVELOPMENT OF SITE B WHICH WILL INCLUDE THE ANCHOR AND THE CONSTRUCTION OF THE DRIVES AND UTILITIES INTO TO SITE FOR THE FUTURE THEATER. A PEDESTRIAN CONNECTION FROM THE TRAIL WILL BE MADE THROUGH THE PARKING FIELD TO THE ENTRY OF THE ANCHOR AND A SECOND PEDESTRIAN CONNECTION WILL CONNECT WITH THE FUTURE PHASE RETAIL PAD.

PHASE TWO (SITE A) WILL BE THE DESIGN AND CONSTRUCTION OF THE THEATER SITE AND BUILDING. ALL HARDSCAPE, PEDESTRIAN CONNECTIONS, AND LANDSCAPING WITHIN THE PHASE TWO BOUNDARY WILL BE PROVIDED.

THE FUTURE PHASE WILL BE THE LAYOUT OF THE RETAIL SHOPS AND RESTAURANTS. THESE BUILDINGS WILL HAVE ENHANCED HARDSCAPE AREAS AT THEIR ENTRIES AND PEDESTRIAN ACCESS FROM THE TWO ENTRY DRIVES COMING OFF 59th AVENUE.

PROJECT TEAM

Developer
Kitchell Corporation
1707 E. Highland Ave.
Phoenix, Arizona 85016
Contact: Brad Anderson
Ph: (602)264-4411

Architect
Butler Design Group
5017 E. Washington St. Ste 107
Phoenix, Arizona 85034
Contact: Rick Butler
Ph: (602) 957-1800

SITE DATA

Previous Zoning Cases:	Z-126-00 / Z-47-19
Existing Zoning:	S-1
Proposed Zoning:	C-2 with Height Waiver
APN:	300-02-927A / 300-02-927B
Gross Site Area:	738,551 S.F. (17 AC.)
Net Site Area:	701,369 S.F. (16.1 AC.)
Building Area:	112,530 S.F.
Maximum Building Height:	30'-0"
Proposed Building Height:	56'-0" (MAX)
Lot Coverage:	120,000 SF / 701,369 SF = 17.1%
FAR:	120,000 SF / 701,369 SF = .17

Parking Required

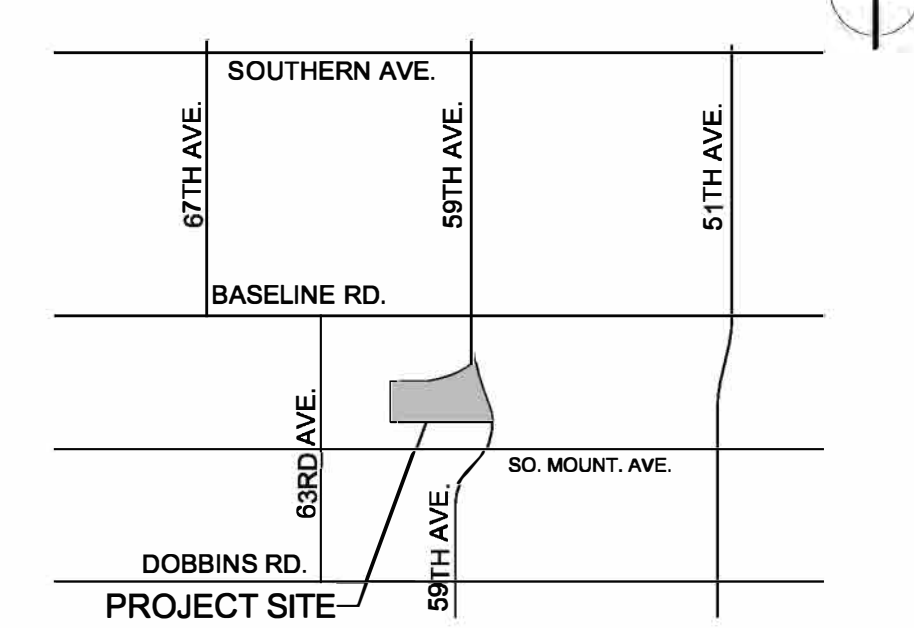
ANCHOR	220 Spaces
55,000 / (4 per 1,000 s.f.) :	Seating count is approximate - actual parking requirements will vary based on seat count

Parking Provided	220 Spaces
ADA Parking Required (220 x 0.02) :	5 Spaces
ADA Parking Provided:	8 Spaces
Loading Spaces Required:	3 Spaces
Loading Spaces Provided:	2 Spaces at Loading Dock of Anchor
	1 Future Space at Theater
Bicycle Spaces Required (1 per 25 vehicle parking spaces):	9 Spaces
Bicycle Spaces Provided:	10 Spaces

CITY OF PHOENIX STIPULATIONS

- OVERALL SITE:
- A. STIP 2 SCREEN PARKING WITH A MIX OF 3' WALL AND 3' LANDSCAPE BERM.
 - B. STIP 4 INDICATE MATERIAL OF ALL PEDESTRIAN CROSSINGS. MUST CONTRAST SURFACE MATERIAL.
 - C. STIP 8 ALL TRAILS WILL HAVE 50% SHADING.
- SITE B (RETAIL):
- J. STIP 24 SITE PLAN REVIEW THROUGH PUBLIC HEARING REQUIRED. APPY THROUGH PHO. I WOULD RECOMMEND SENDING ME AN EMAIL WITH THE PLAN AND ELEVATIONS AHEAD OF TIME TO CHECK STIPULATION COMPLIANCE TO AVOID DELAYS THROUGH THE PHO. THE PROPOSED PLAN IS FOR CONNECTIONS ONLY AND DOES NOT CREATE A SITE PLAN FOR SITE B. NO PUBLIC PLAN REQUIRED UNTIL SITE B SITE PLAN IS DEVELOPED.
 - K. STIP 24 A) CREATE A SECOND 6' SIDEWALK CONNECTION 59TH AVE TO BUILDINGS. ONE IS SHOWN.
 - L. STIP 24 A) SHOW TRAIL LOCATION WITH 2 PEDESTRIAN CONNECTIONS AND AMENITIES.
 - M. STIP 24 B ARCADES AND OVERHANGS INCORPORATED INTO ALL BUILDINGS.
 - N. STIP 24 C ALL BUILDINGS WILL HAVE ARCHITECTURAL EMBELLISHMENTS AND DETAILING.
 - O. STIP 24 D ALL BUILDINGS WILL HAVE ACCENT MATERIALS.
 - P. STIP 25 RELATES TO DRIVE-THROUGH ARCHITECTURE FOR WHEN THE DRIVE-THROUGH IS PROPOSED.
 - Q. STIP 26 DRIVE-THROUGH OUTDOOR DINING REQUIRED.
 - R. STIP 27 SHOW CALCULATIONS FOR 20% OF SURFACE PARKING TO BE SHADED.
 - S. STIP 28 NOTE 4 BIKE PARKING SPACES (2 U RACKS) AT EACH BUILDING.
 - T. STIP 29 ALL BUILDINGS THAT FRONT PARKING AREAS WILL HAVE 30% OF FRONTAGE WITH PLANTING AREAS.
 - U. STIP 31 SHOW 10' SHARED USE PATH ON 59TH AVE

VICINITY MAP



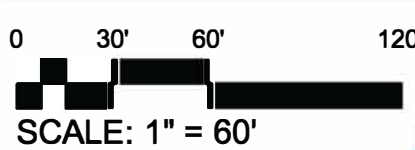
DATE	SUBMISSION
05.20.2021	PRE-APPLICATION SITE PLAN
09.08.2021	PRELIMINARY SITE PLAN
12.01.2021	PRELIMINARY SITE PLAN RE-SUBMITTAL

DEVELOPMENT SERVICES DEPARTMENT APPROVAL

DSD KIVA # : 06-2778
SDEV # : 2100261
QS # : 01-14/15



MASTER SITE PLAN

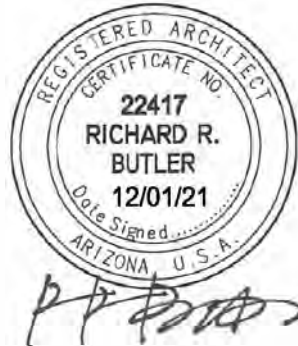


CITY OF PHOENIX

DEC 03 2021

Planning & Development
Department

Laveen Park Place
CONCEPTUAL MASTER SITE PLAN
Laveen, Arizona



12-01-2021
12004.011-ST15

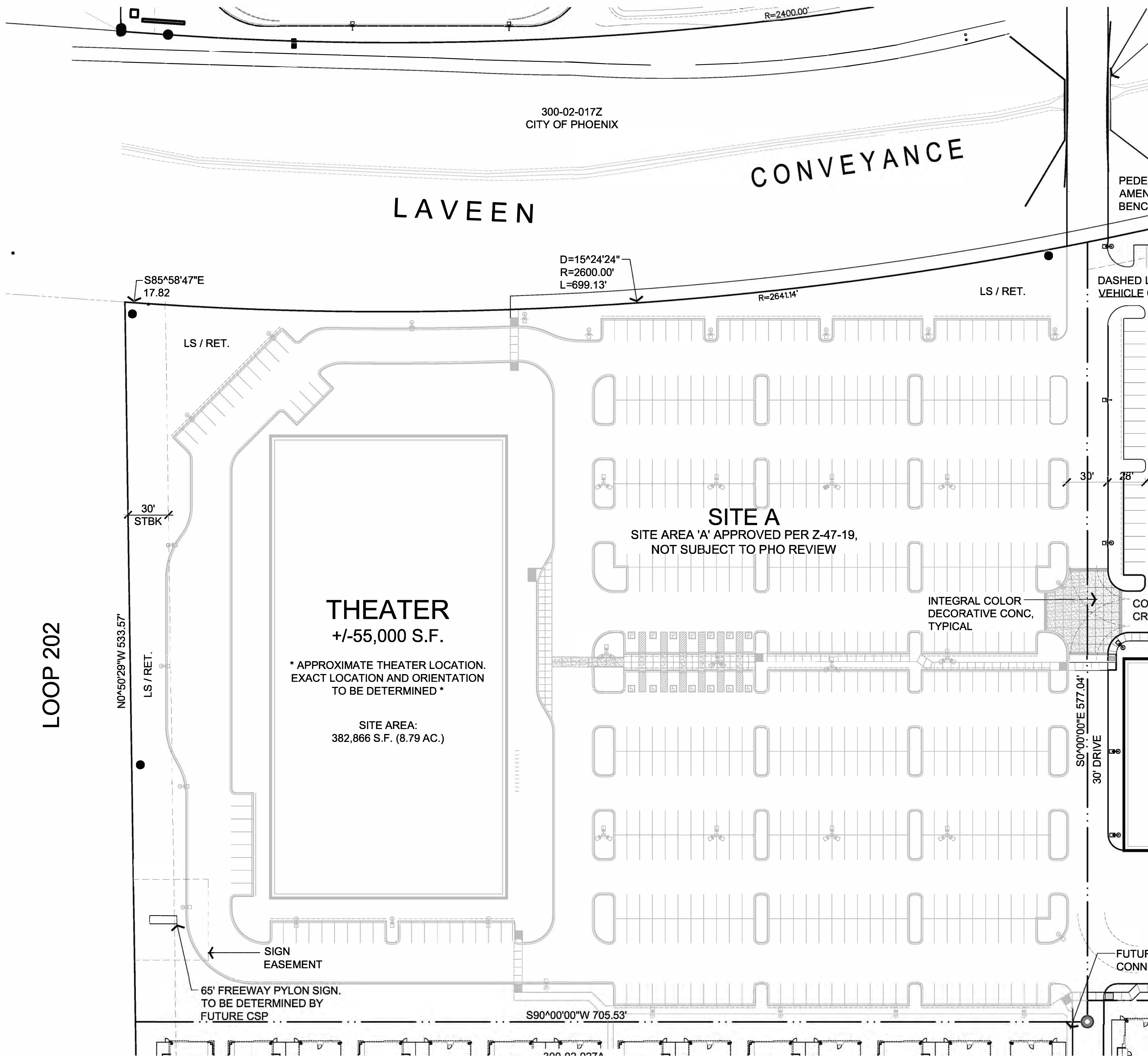
MSP



Butler Design Group, Inc
architects & planners

Proposed Site Plan

Hearing Date: 1/19/2022



CITY OF PHOENIX NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10'-0" FROM THE PROPERTY LINE AND 20'-0" ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACK FLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.

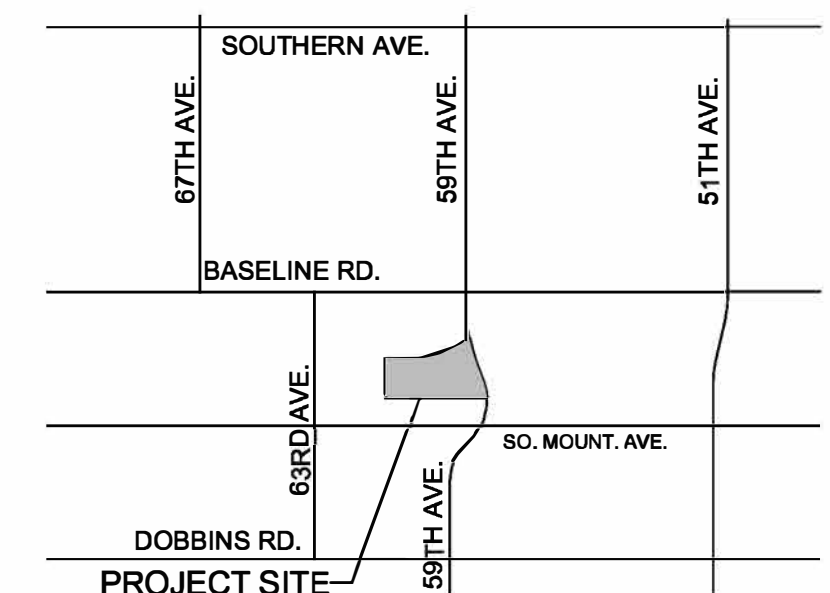
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Kitchell Corporation	Butler Design Group
1707 E. Highland Ave.	5017 E. Washington St. Ste 107
Phoenix, Arizona 85016	Phoenix, Arizona 85034
Contact: Brad Anderson	Contact: Rick Butler
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VICINITY MAP



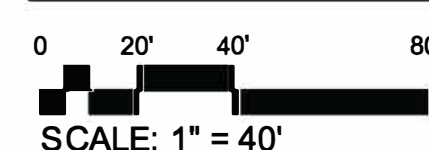
DATE	SUBMISSION
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QS #: 01-14/15



PHASING PLAN



CITY OF PHOENIX

DEC 03 2021

Planning & Development
Department

Laveen Park Place

CONCEPTUAL MASTER SITE PLAN

Laveen, Arizona



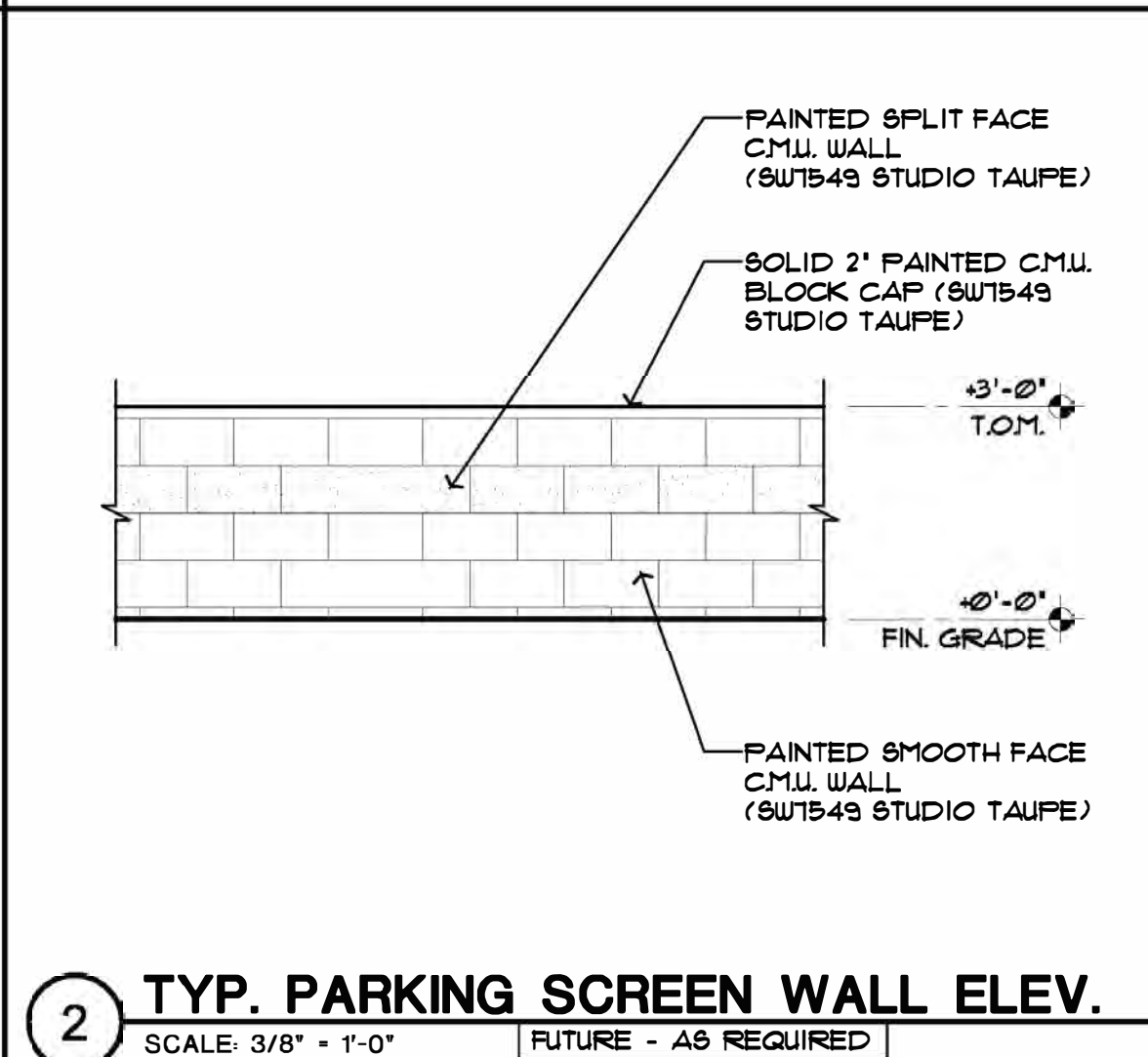
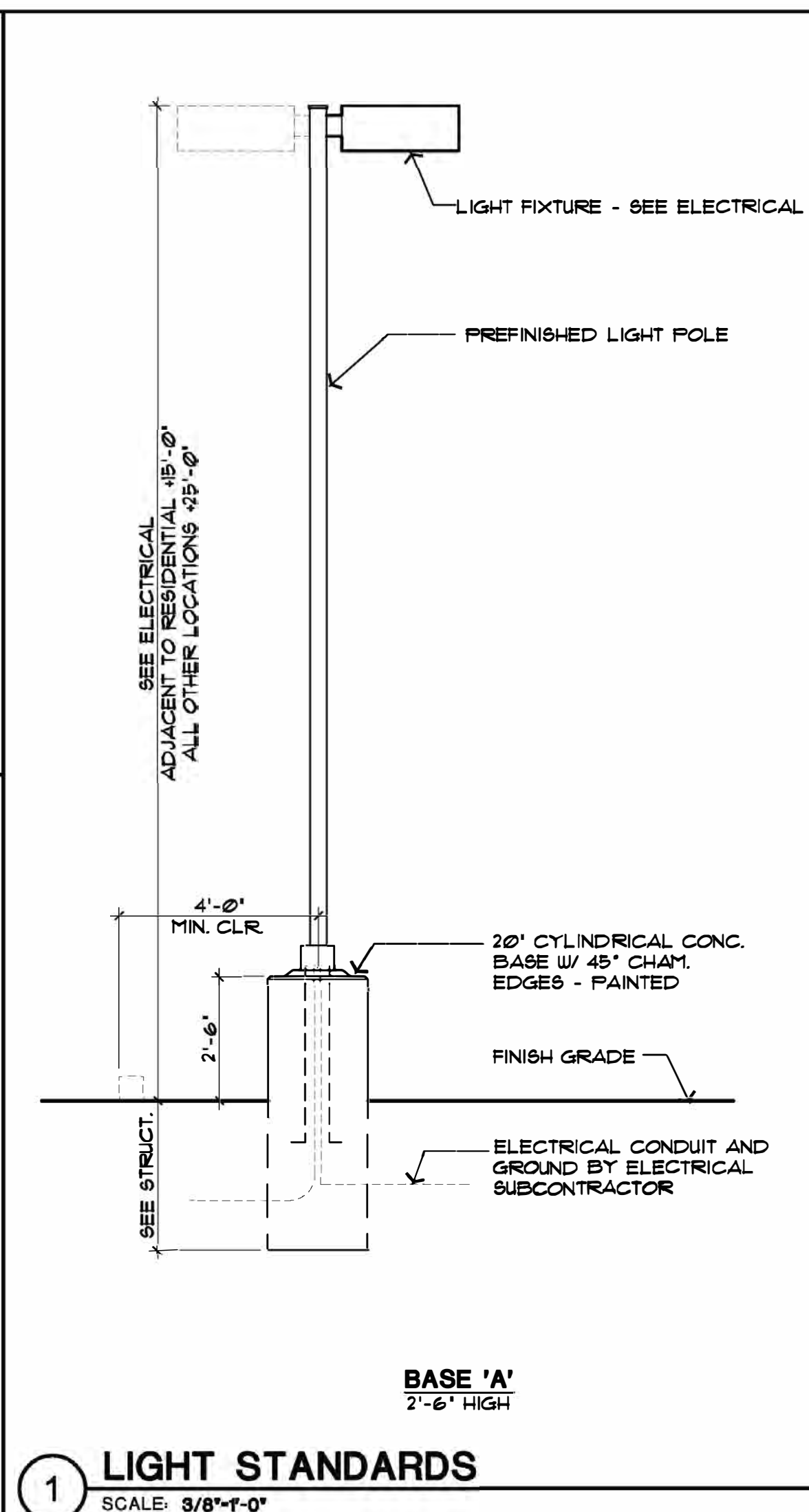
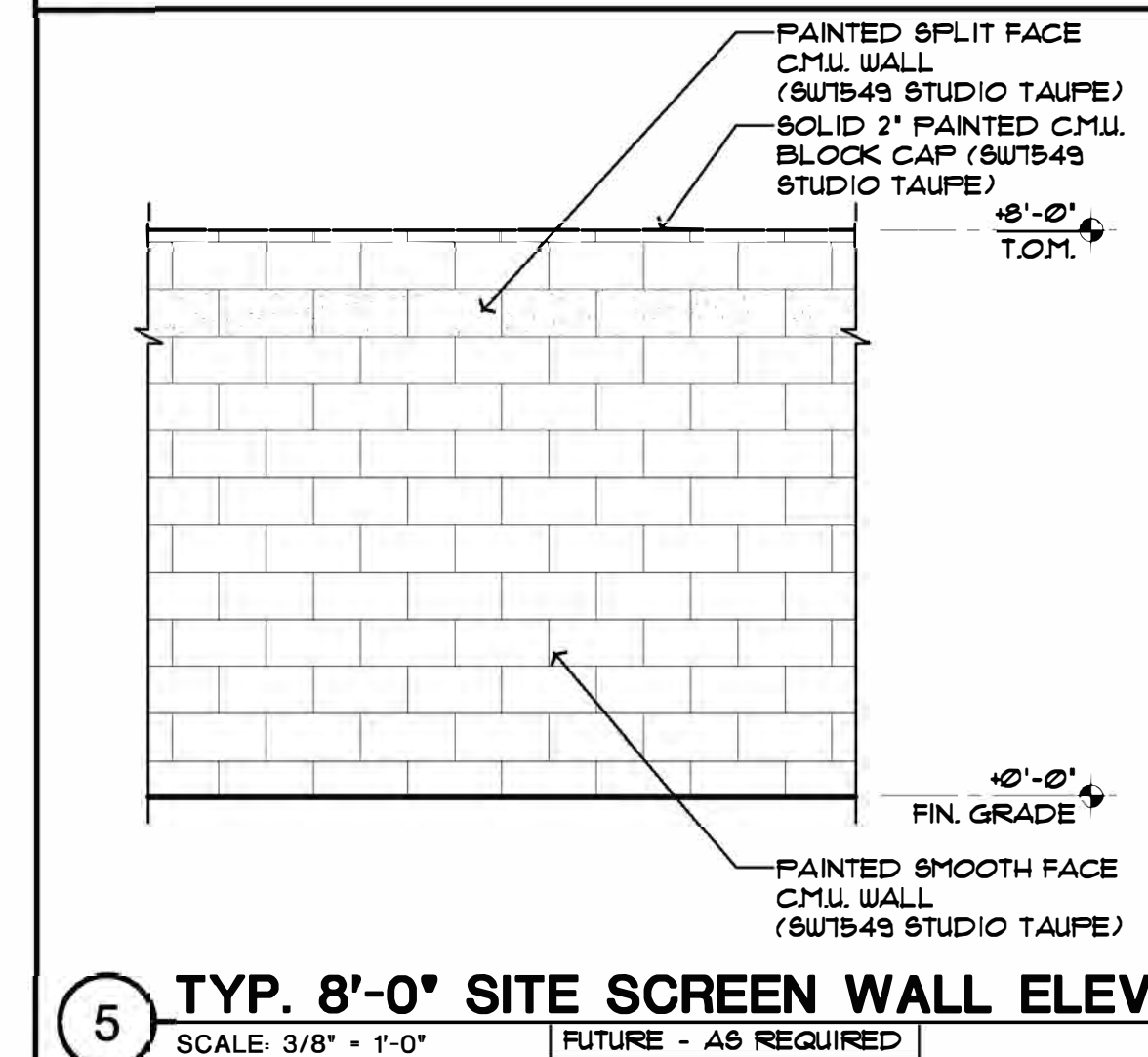
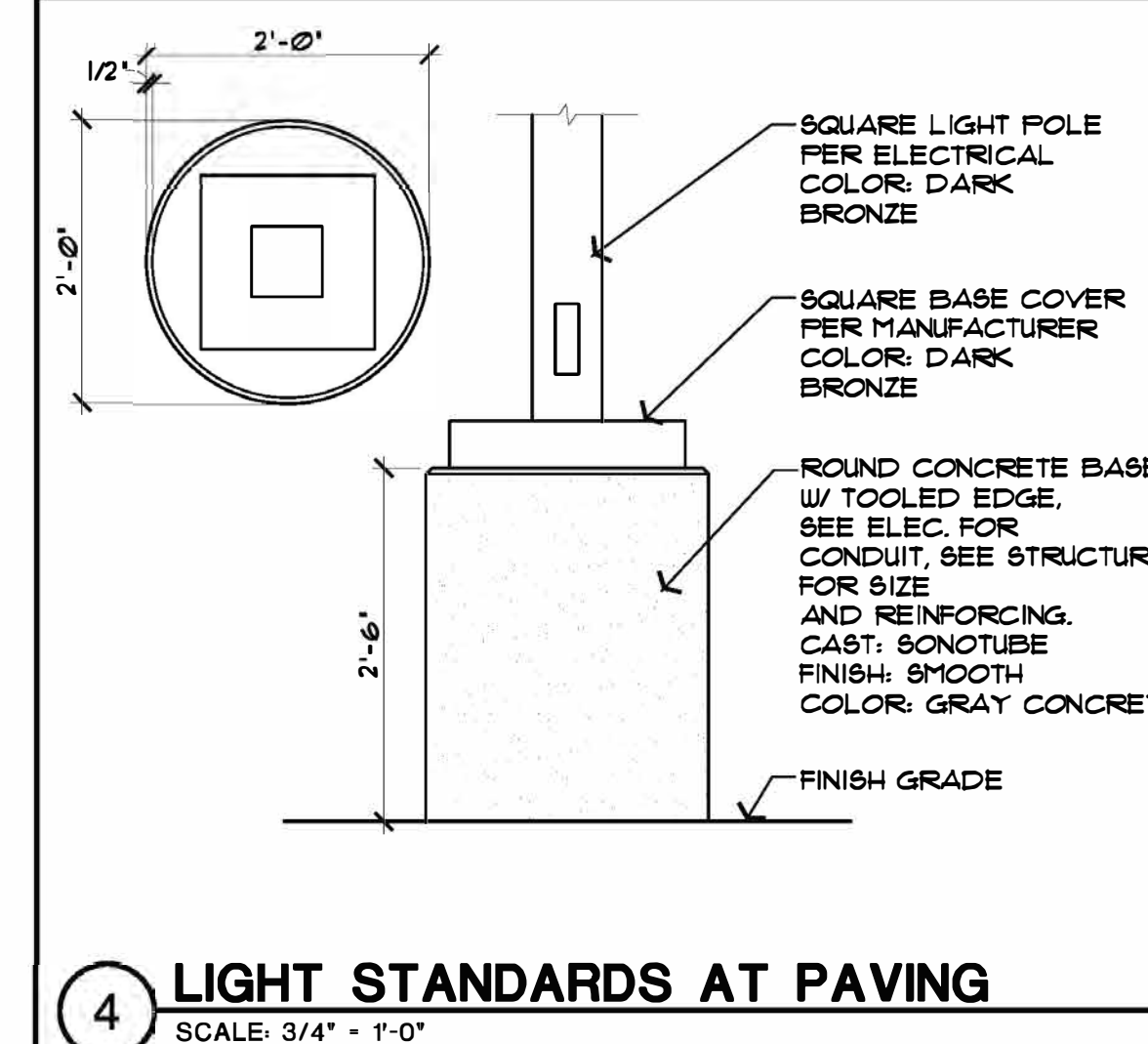
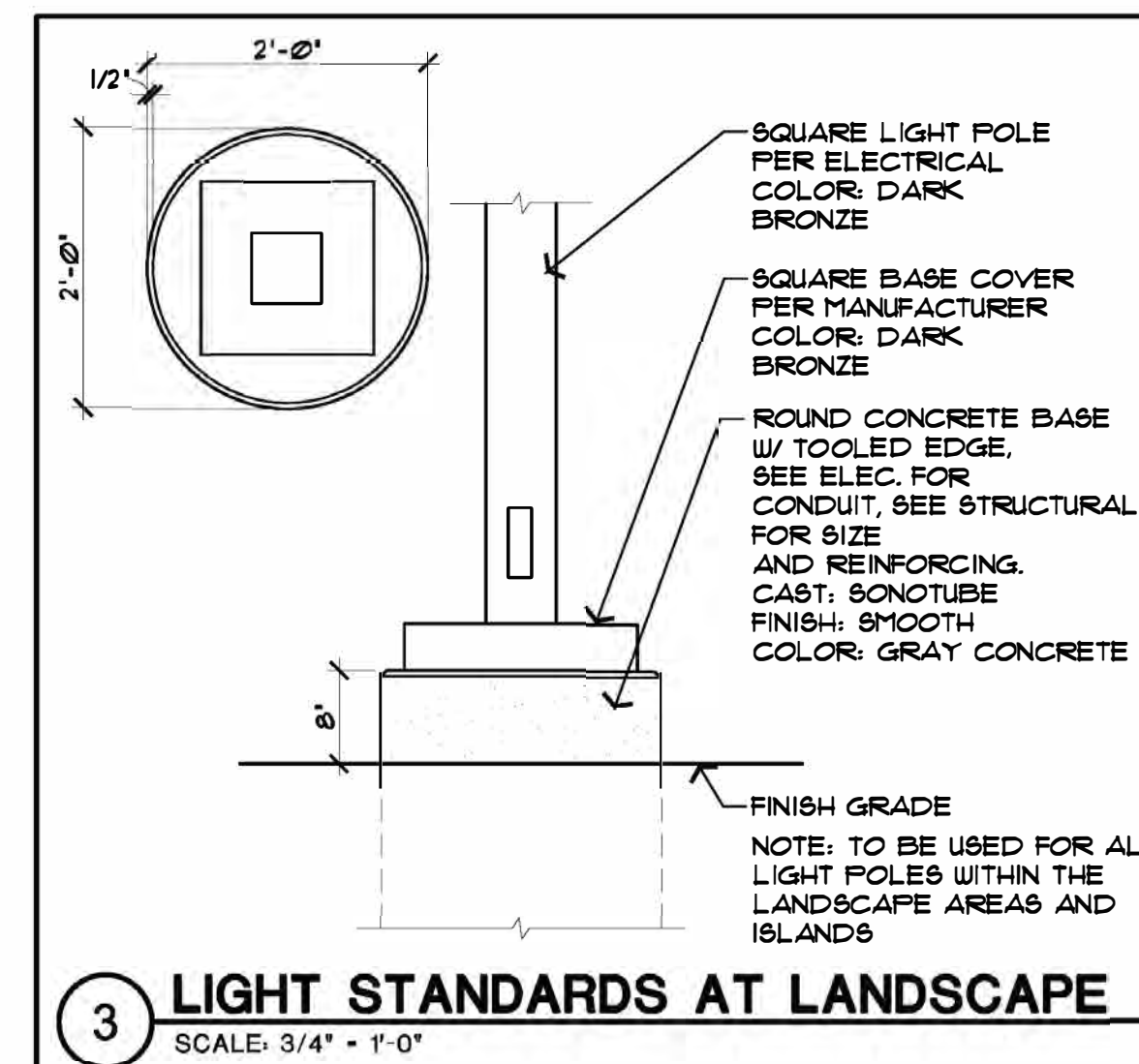
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architects & planners

Hearing Date: 1/19/2022



DATE	SUBMISSION
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CITY OF PHOENIX
DEC 03 2021
Planning & Development
Department

Laveen Park Place

CONCEPTUAL MASTER SITE PLAN

Laveen, Arizona



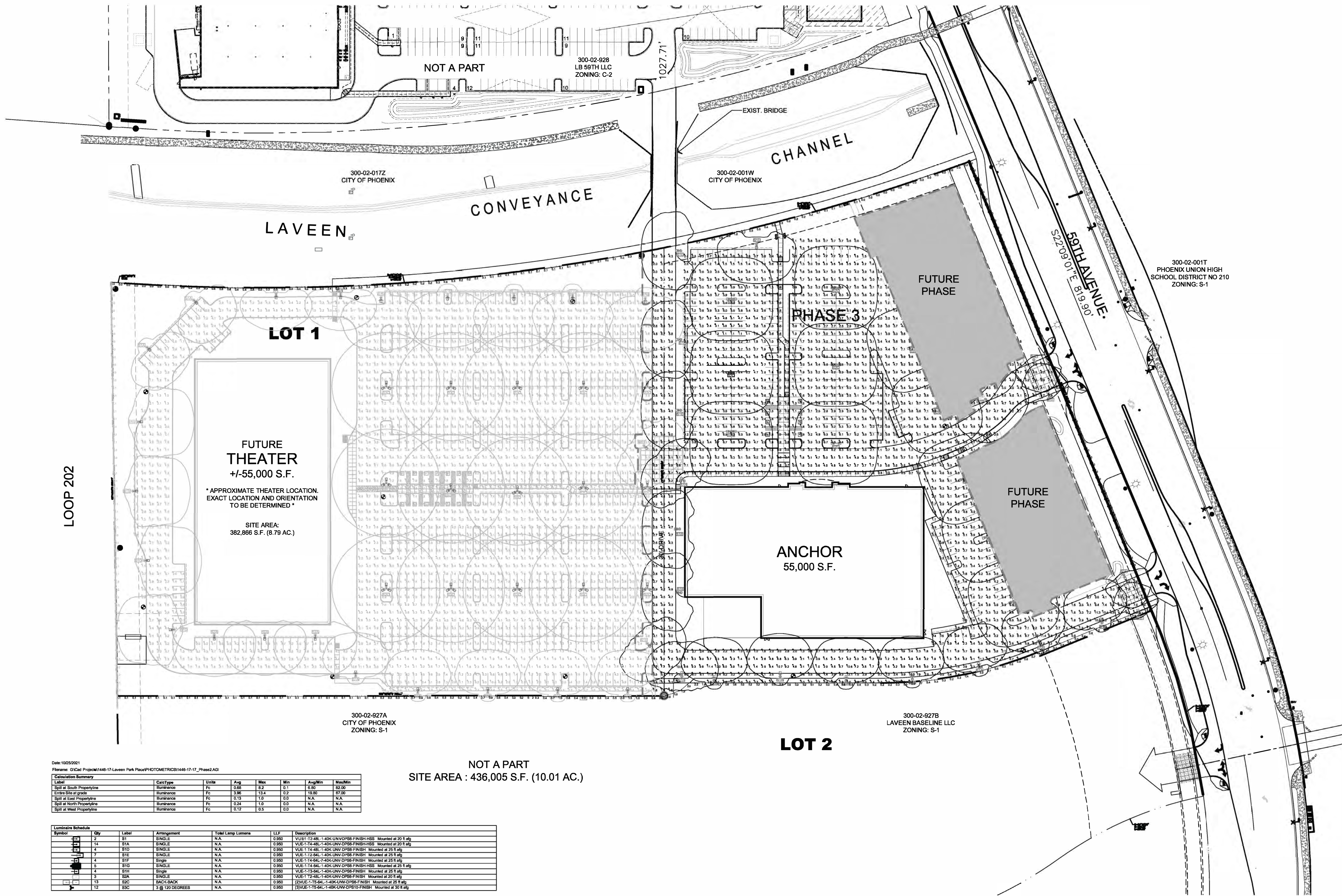
12-01-2021
12004.011-ST15

A3



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Hearing Date: 1/19/2022



Date: 10/25/2021
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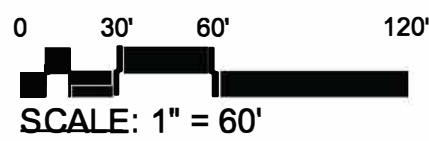
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Spill at South Propertyline	Illuminance	Fc	0.68	8.2	0.1	8.80	82.00
Spill at East Propertyline	Illuminance	Fc	3.56	13.4	0.2	18.30	87.00
Spill at North Propertyline	Illuminance	Fc	0.13	1.0	0.0	N.A.	N.A.
Spill at West Propertyline	Illuminance	Fc	0.24	1.0	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
2	81	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 20 ft. alt.
14	81A	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 20 ft. alt.
4	81D	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
7	81E	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
4	81F	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
5	81G	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
2	81H	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
3	81A	SINGLE	SINGLE	N.A.	0.960	VUE1-T248L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
13	82C	BACK-SCAT	N.A.	0.960	0.960	27VUE1-T15-64L-140KUNVDP88-FINISH Mounted at 25 ft. alt.
12	82C	3 @ 120 DEGREES	N.A.	0.960	0.960	27VUE1-T15-64L-140KUNVDP88-FINISH Mounted at 25 ft. alt.

NOT A PART
SITE AREA : 436,005 S.F. (10.01 AC.)



SITE PHOTOMETRIC PLAN



CITY OF PHOENIX

DEC 03 2021

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Department

Laveen Park Place

CONCEPTUAL MASTER SITE PLAN

Laveen, Arizona



12-01-2021
12004.011-ST15

A4



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DATE	SUBMISSION
05.20.2021	PRE-APPLICATION SITE PLAN
09.08.2021	PRELIMINARY SITE PLAN
12.01.2021	PRELIMINARY SITE PLAN RE-SUBMITTAL

DEVELOPMENT SERVICES DEPARTMENT APPROVAL

DSD KIVA # : 06-2778
SDEV # : 2100261
QS # : 01-14/15

Hearing Date: 1/19/2022

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WILLIS
LIGHTING
A Division of TSS Industries

**LAVERN PARK PLACE - PHASE 2
(3VUE-1-T5-64L-1-40K-UNV-DP50-**- TYPE SZC
(3VUE-1-T5-64L-1-40K-UNV-DP50-**- TYPE SZC**

**TYPE
SZC/SZC3**

ELECTRICAL

- 120-277 Volts (0.8W) or 347-480 Volts (1W)
- 0-10V dimming driver by Philips Advance
- **Power factor** at maximum load is $\geq .95$, THD maximum load is 15%
- All internal wiring is UL certified for 60°C VAD and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Luminaire Luxon MAX LEDs
- CRI > 90
- Color temperatures: 3000K, 4000K, 5000K

OPTIONS

- **BIRD SPIKES (BS)** - offers effective and humane deterrent for larger bird species and provides easy-to-use, effective long-term solution to nuisance bird infestations and protect your property.
- **MARINE GRADE FINISH (MGF)** - A multi-step process creating protective finishing coat against harsh environments
 - Chemically washed in a 5 stage cleaning system.
 - Pre-baked
 - Powder coated 3.5 mils of Zinc Rich, Super Durable Polyester Primer.
 - 1-1/2 feet inside pole coverage top and bottom.
 - Oven baked
 - Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mils thickness
- **SHIELDS (FSS, FSS3)** - Four sided House Side Shields (FSS) is designed for full property line cut off. Front Side Shield (FSS) is a single sided shield allows partial cut off on either side or front of luminaire.

CONTROLS

- **FSP-211 (FSP-10)** - Passive Infrared (PIR) sensor providing multi level control based on motion/daylight contribution.
 - All control parameters adjustable via wireless configuration remote showing a 4 channel sensor profile.
 - FSP-200 mounting begins 9-20 feet
 - FSP-40 mounting height is 21-40 feet.
 - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, programmable in the field.
- **NEMA 7-PIN RECEPTACLE (PET)** - ANSI C136.41 2013 receptacle provides electrical and mechanical interconnection between power control and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10VDC dimming methods or Big Data Addressable Lighting Interface (DALI), providing reliable power interconnect.

OPTICS

- Processed Star Power Optical System is 95% reflective material. Utilizes a linear, diffused pattern, softening the light distribution and eliminating any dark shadows or hotspots.
- ES Types

**VUE-1
Weight: 27 lbs**

DIA.	SGL.	D90	D80	T90	T70	T50	QD
VUE-1	8"	28"	17"	2-2"	2-2"	2-2"	2-2"

DPX ARM LENGTH

DIA.	SGL.	D90	D80	T90	T70	T50	QD
VUE-1	6"	28"	17"	2-2"	2-2"	2-2"	2-2"

FSP-211


NLS
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 <p>WVI WORLD VISION INTERNATIONAL 10000 W. 10th Avenue Suite 100 Boulder, CO 80501 Tel: 303.440.9300 Fax: 303.440.9301 www.wvi.org</p>	<p>LAVERN PARK PLACE PHASE 2 SUE-1-T4-48L-1-40K-UNV-DP56-**-HSS YUE-1-T4-48L-1-40K-UNV-DP56-**-HSS YUE-1-T4-64L-1-40K-UNV-DP56-**-HSS</p>	<p>TYP S1A51D5:51G</p>
--	---	----------------------------

ELECTRICAL

- 120-277 Volts (Vrms) or 347-480 Volts (Vrms)
- 0-10V dimming driver by Philips Advantech
- **Blive** power factor at maximum load is $\geq .95$; 1 \square maximum load is 15%
- All internal wiring is UL certified for 600 VAC and 105°C
- All drivers, controls, and all sensors housed in enclosed IP-65 compartment
- Lumileds Luxeon MX LEDs
- CRI > 90
- Color temperature: 3000K, 4000K, 5000K

OPTIONS

- **BIRD SPIKES (BS)** – offers effective and humane deterrent for larger bird species and provides cost-effective long term solution to nuisance bird infestation and protect your property.
- **MARINE GRADE FINISH (MGF)** – a multi-step process creating protective finishing coat against harsh environments.
 - Chemically washed in a 5 stage cleaning system.
 - Pre-treated
 - Powder coated 3.5 mils of Zinc Rich Super Durable Polyester Primer.
 - 1-2 feet inside pole coverage top and bottom.
 - Oven baked
 - Finished Powder Coating of Super Durable Polyester Powder Coat 3.5 mils
- **SHIELDS (SS, FSS)** – our inside House Side Shield (HSS) is designed for full property line cut off. Front Side Shield (FSS) is a single shield shield allowing partial cut-off on either side or front of luminaires.

CONTROLS

- **FSP-211 (FSP)** – Passive Infrared (PIR) sensor providing multi-level control based on motion/light/sight contribution.
 - All control parameters adjustable via wireless communication remote showing and transmitting sensor profiles.
 - FSP-200 mounting heights 9-20 feet.
 - FSP-400 mounting heights 21-40 feet.
 - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, reprogrammable in the field.
- **NEMA 7-9P RECEPTACLE (TR)** – per ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cut and luminaire. Dimming receptacle available two or four wiring contacts supports 0-10VDC dimming methods or digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

OPTICS

- Accessorized Star Power Softening System is 95% reflective material. Utilizes a linear diffused pattern softening the light distribution and eliminating any dark shadows or variations.
- IES Types

TYPE I (T1)

TYPE II (T2)

TYPE III (T3)

TYPE IV (T4)

TYPE V (T5)

TYPE VI (T1)

VUE-1
Wedge 7/8 ts

DTA	SGL	D90	D90	T90	T90	GD
VUE-1	10°	24°	17°	2-2°	2-3°	2-2°

DPX ARM LENGTH

SGL	D90	D90	T90	T90	GD
VUE-1	6"	12"	6"	12"	10"

FSP-211


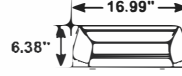
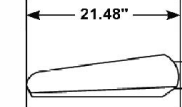
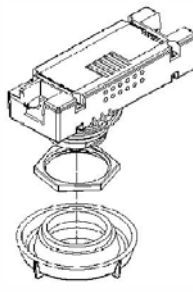
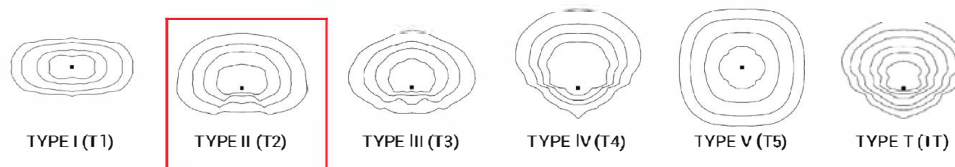
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LIGHTING

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[illegible]

	<div> <div>LAVEN PARK PLACE - PHASE 2</div> <div> <div>VUE-1</div> <div>T2-48L-7-40K-UNV-DP56-**</div> <div>HSS TYPE S1</div> </div> <div> <div>VUE-1</div> <div>T2-48L-7-40K-UNV-DP56-**</div> <div>HSS TYPE S1C</div> </div> <div> <div>VUE-1</div> <div>T2-64L-1-40K-UNV-DP56-**</div> <div>S1E S1E</div> </div> <div> <div>VUE-1</div> <div>T2-48L-1-40K-UNV-DP56-**</div> <div>TYPE S2A</div> </div> </div> <div> <div>TYPE S1C</div> <div>S1E</div> <div>S2A</div> </div>																											
<div> <div>ELECTRICAL</div> <ul style="list-style-type: none"> • 120-277 Volts (UNV) or 347-480 Volts (H-V) • 0-10V dimming driver by Philips Advantec • Drive power factor at maximum load is > .85, .91-1.0 maximum load is 15% • All internal wiring is certified for 600 VAC, 100°C • All drivers, controls, and sensors housed in enclosed IP-65 compartment • Lumileds Luxeon MX LEDs • CRI > 90 • Color temperatures: 3000K, 4000K, 5000K <div>OPTIONS</div> <ul style="list-style-type: none"> • BIRD SPIKES (BS)—offers effective and humane deterrent for larger bird species and provides cost-effective long term solution to nuisance bird infestations and protect your property. • MARINE GRADE FINISH (MGF)—A multi-step process creating protective finishing coat against harsh environments <ul style="list-style-type: none"> • Chemically washed in a 5 stage cleaning system. • Pre-baked • Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. • 1-1/2 feet inside pole coverage top and bottom. • Oven baked • Fused and Powder Coat of Super Durable Polyester Powder Coat 3-5 mils thickness • SHIELDS (HSS, FSS)—Four sided House Side Shield (HSS) is designed for full property line cut-off. Front Side Shield (SS) is a single shielded light allowing partial cut-off on either side or front of luminaires. <div>CONTROLS</div> <ul style="list-style-type: none"> • FSP-211 (FSP-X)—Passive Infrared (PIR) sensor providing motion based control based on motion/daylight contribution. <ul style="list-style-type: none"> • All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles. • FSP-210 mounting height 9-20 feet. • FSP-40 mounting height 21-40 feet. • Includes 5 dimming event cycles, 0-10V dimming with motion sensing, reprogrammable in the field. • NEMA 7-PIN RECEPTACLE (PET)—An ANSI C136, 41 2013 receptacle provides electrical and mechanical interconnection between pole control unit and luminaire. Interceptacle available two or four dimming controls supports 0-10 VDC dimming methods or digital. Addressable lighting interface (AULI) providing reliable power interconnect. <div>OPTICS</div> <p>Recessed Star Power Optical System is 95% reflective material. Utilizes a linear diffuser pattern, softening the light distribution and eliminating any dark shadows or variations.</p> <ul style="list-style-type: none"> • ES Types </div>	<div> <div> <div>VUE-1</div> <div>Wight: 70 lbs</div>   </div> <div> <table border="1"> <thead> <tr> <th>COA</th> <th>SIS</th> <th>D90</th> <th>D180</th> <th>T90</th> <th>T180</th> <th>QD</th> </tr> </thead> <tbody> <tr> <td>VUE-1</td> <td>1.0</td> <td>0.2</td> <td>0.0</td> <td>0.7</td> <td>0.3</td> <td>0.7</td> </tr> </tbody> </table> </div> <div> <div>DPX ARM LENGTH</div> <table border="1"> <thead> <tr> <th>SIS</th> <th>D90</th> <th>D180</th> <th>T90</th> <th>T180</th> <th>QD</th> </tr> </thead> <tbody> <tr> <td>VUE-1</td> <td>6"</td> <td>30"</td> <td>6"</td> <td>10"</td> <td>10"</td> <td>10"</td> </tr> </tbody> </table> </div> <div> <div>FSP-211</div>  </div> <div>  </div> <div> <div>NLS LIGHTING</div> <div> <div>7811 Kingshills Plaza, Carson, CA 90745</div> <div>Call us: 1-800-975-0133 / 341-4317</div> </div> <div>nslighting.com</div> </div> </div>	COA	SIS	D90	D180	T90	T180	QD	VUE-1	1.0	0.2	0.0	0.7	0.3	0.7	SIS	D90	D180	T90	T180	QD	VUE-1	6"	30"	6"	10"	10"	10"
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DATE	SUBMISSION
05.20.2021	PRE-APPLICATION SITE PLAN
09.08.2021	PRELIMINARY SITE PLAN
12.01.2021	PRELIMINARY SITE PLAN RE-SUBMITTAL

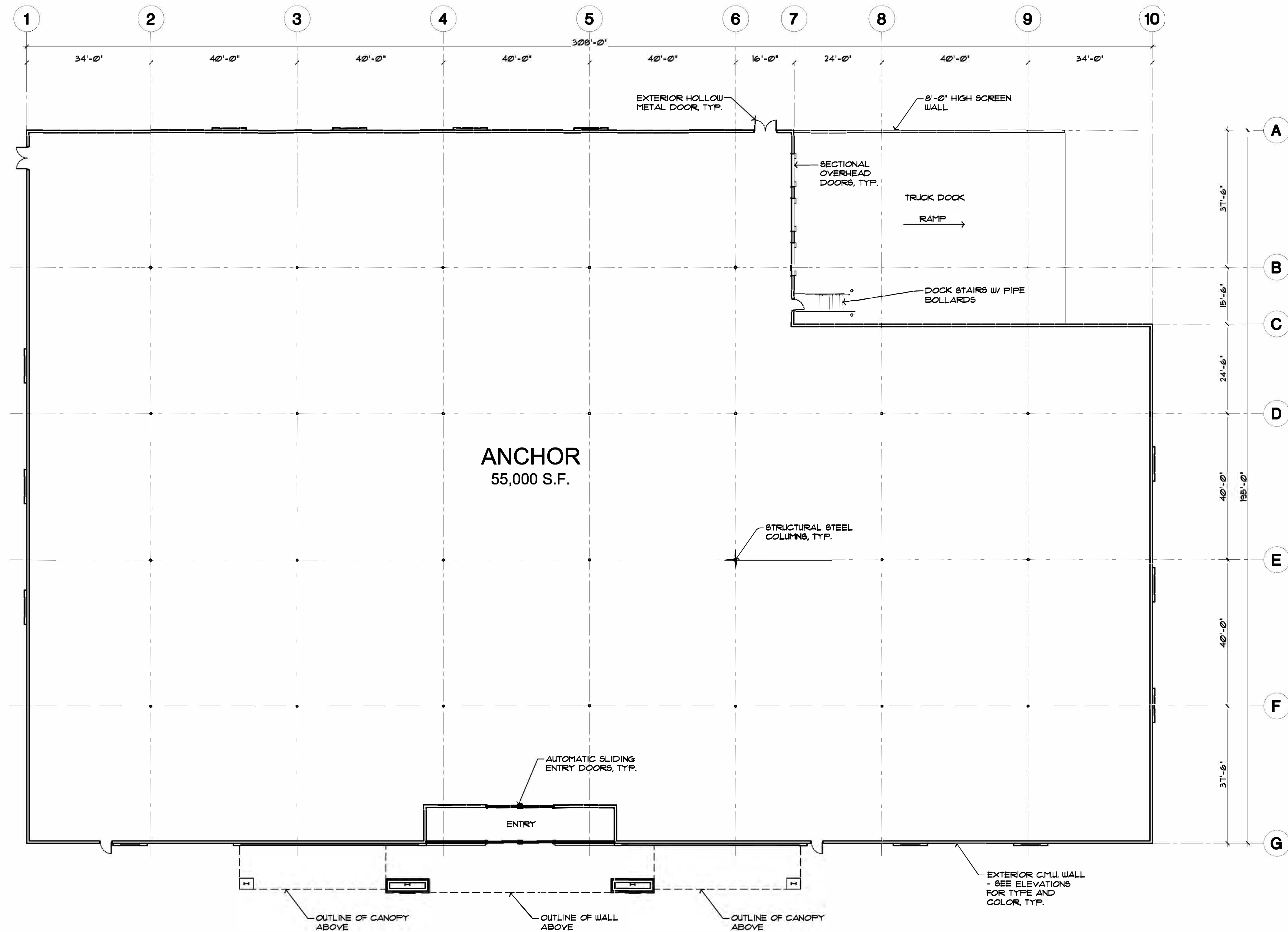
DEVELOPMENT SERVICES DEPARTMENT APPROVAL

DSD KIVA #: 06-2778
SDEV #: 2100261

QS #: 01-14/15

U.S. District Court
Southern District of New York
New York, New York 10002
U.S. District Court
Southern District of New York
New York, New York 10002

Hearing Date: 1/19/2022



ANCHOR FLOOR PLAN
1/16" = 1'-0"



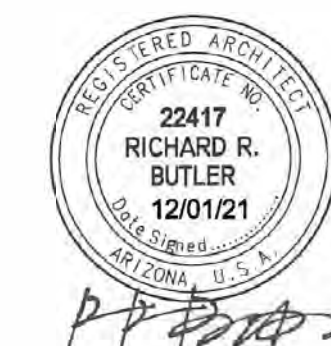
CITY OF PHOENIX
DEC 03 2021
Planning & Development
Department

Laveen Park Place

CONCEPTUAL MASTER SITE PLAN

Laveen, Arizona

Proposed Site Plan



12-01-2021
12004.011-ST15

A6



DATE	SUBMISSION
05.20.2021	PRE-APPLICATION SITE PLAN
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1 NORTH ELEVATION
Scale: 1/16" = 1'-0"



2 EAST ELEVATION
Scale: 1/16" = 1'-0"



3 WEST ELEVATION
Scale: 1/16" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/16" = 1'-0"

MATERIAL / COLOR SCHEDULE					
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
MT1	ALUMINUM STOREFRONT	DARK BRONZE ALUMINUM	TBD	TBD	
GL1	INSULATED GLAZING	CLEAR	TBD	TBD	
MU1	BRICK	CITY HALL		GENERAL SHALE	
PT1	PAINTED STUCCO	REPOSE GRAY	SN7015	SHERWIN WILLIAMS	
PT2	PAINTED CMU BLOCK	PAVESTONE	SN7642	SHERWIN WILLIAMS	
PT3	PAINTED CMU BLOCK	HOMESTEAD BROWN	SN7515	SHERWIN WILLIAMS	
PT4	PAINTED METAL	TRICORN BLACK	SN6250	SHERWIN WILLIAMS	

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DEVELOPMENT SERVICES DEPARTMENT APPROVAL



CITY OF PHOENIX
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Laveen Park Place
Laveen, Arizona



12-01-2021
12004.011-ST15

A7



DSD KIVA #: 06-2778
SDEV #: 2100261
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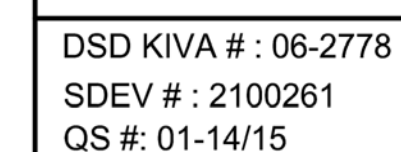
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MATERIAL / COLOR SCHEDULE						X
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS	
MT1	ALUMINUM STOREFRONT	DARK BRONZE ALUMINUM	TBD	TBD		
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PT1	PAINTED STUCCO	REPOSE GRAY	SMT015	SHERWIN WILLIAMS		
PT2	PAINTED CMU BLOCK	PAVESTONE	SMT642	SHERWIN WILLIAMS		
PT3	PAINTED CMU BLOCK	HOMESTEAD BROWN	SMT515	SHERWIN WILLIAMS		
PT4	PAINTED MFTAL	TRICORN BLACK	SMT256	SHERWIN WILLIAMS		

DATE	SUBMISSION
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DEVELOPMENT SERVICES DEPARTMENT APPROVAL



- 100** Tramonto Development LLC Final Reimbursement Agreement (Ordinance S-46302)
- This item was adopted.**
- 101** Amend City Code - Official Supplementary Zoning Map 1190 (Ordinance G-6657)
- This item was adopted.**
- 102** Amend City Code - Ordinance Adoption - Rezoning Application Z-SP-9-19-4- Approximately 210 Feet West of the Southwest Corner of Central Avenue and Pasadena Avenue (Ordinance G-6660)
- This item was adopted.**
- 103** Amend City Code - Ordinance Adoption - Rezoning Application Z-29-19-6- Approximately 235 Feet East of the Northeast Corner of 32nd Street and Campbell Avenue (Ordinance G-6658)
- This item was continued to the March 4, 2020 City Council Formal Meeting.**
- 104** Amend City Code - Ordinance Adoption - Rezoning Application Z-47-19-7- Southeast Corner of 63rd Avenue and Baseline Road (Ordinance G-6659)
- This item was adopted.**
- 105** Amend City Code - Ordinance Adoption - Rezoning Application Z-23-19-8 - Approximately 165 Feet East of the Southeast Corner of the 35th Street Alignment and Van Buren Street (Ordinance G-6655)
- This item was adopted.**
- 106** Amend City Code - Ordinance Adoption - Rezoning Application Z-48-19-8 - Northwest Corner of 25th Street and Southern Avenue (Ordinance G-6654)
- This item was adopted.**
- 113** One-time Purchase of Ladder Truck (Ordinance S-46308)
- This item was adopted.**
- 114** Request to Change Start Time of Jan. 14, 2020 Executive Session
- This item was approved.**
- 115** Consideration of Citizen Petitions
- This item was referred to the Land Use and Livability Subcommittee.**

Item #: 11
Application #: Z-47-19-7
From: S-1 (Approved CP/GCP and/or C-2)
To: CP/GCP, C-2 HGT/WVR and R-4
Acreage: 128.61
Location: Southeast corner of 63rd Avenue and Baseline Road
Proposal: Commerce park development, commercial development with a height waiver for up to 56 feet, and multifamily residential
Applicant: Wendy Riddell, Berry Riddell, LLC
Owner: Laveen Baseline, LLC
Representative: Wendy Riddell, Berry Riddell, LLC

Ms. Racelle Escolar stated that Item No. 11 is Z-47-19-7, a request to rezone 128.61 acres located at the southeast corner of 63rd Avenue and Baseline Road from S-1 (Ranch or Farm Residence District), approved CP/GCP (Commerce Park/General Commerce Park option) and/or C-2 (Intermediate Commercial District). The requested zoning is CP/GCP, C-2 with a height waiver for up to 56 feet, and R-4 (Multifamily Residence District) to allow commerce park development, commercial development with the height waiver up to 56 feet, and multifamily residential.

The Laveen Village Planning Committee recommended approval with a modified stipulation by an 8-0 vote.

Stipulation No. 22 was modified to limit the building height to 30 feet within 150 feet of 59th Avenue, and to reduce the height from 56 feet to 45 feet for the remainder of Site B, the northeast portion of the site.

Staff recommends approval per the Laveen Village Planning Committee recommendation.

Commissioner Johnson stated that he received one speaker card from Mr. Robert Branscomb, wishing to speak in favor; but received no cards in opposition. He asked Mr. Branscomb if he still wanted to speak.

Mr. Robert Branscomb stated no.

Commissioner Shank made a MOTION to approve Z-47-19-7, per the Laveen Village Planning Committee recommendation.

Commissioner Montalvo SECONDED.

There being no further discussion, Chairman Johnson called for a vote and the **MOTION PASSED 9-0.**

Stipulations:

Overall Site

1. The development shall be in General Conformance to the Conceptual Master Site Plan date stamped October 23, 2019, with specific regard to the site locations, as approved by the Planning and Development Department.
2. All parking areas adjacent to public streets, excluding the freeway, shall be screened by a combination of decorative screen walls and a minimum 3-foot high landscaped mound/berm along the perimeter streets, as approved by the Planning and Development Department.
3. All sidewalks adjacent to public streets shall be detached with a minimum 5-foot wide continuous landscape area located between the sidewalk and back of curb; and shall include minimum 3-inch caliper, large canopy single-trunk shade trees (limbed-up a minimum of 10-feet clear from finish grade), planted 25 feet on center or in equivalent groupings; and minimum 5-gallon shrubs with a maximum mature height of 2 feet providing 75 percent live cover, as approved by the Planning and Development Department. If there is limited right-of-way along the Baseline Road frontage requiring a modified cross section, an attached sidewalk design may be considered, as approved by the Planning and Development Department.
4. The developer shall provide clearly defined, accessible pathways at vehicular crossings, constructed of decorative pavement that visually contrasts with the adjacent parking and drive aisle surfaces for internal drive aisles and accessways, as approved by the Planning and Development Department.
5. The applicant shall submit a Traffic Impact Study (TIS) to the City for this development for review and approval by the Street Transportation Department (except for the Site A, Harkins) prior to the submittal of preliminary site plans. Additional right-of-way and street improvements may be required following TIS review. Phasing of off-site improvements must be consistent with the TIS recommendations. Phased street improvements will require the installation of pavement transition tapers, as approved by the Street Transportation Department.
6. The developer shall construct all streets within and adjacent to the development required for each phase with paving, curb, gutter, minimum 5-foot wide sidewalk, curb ramps, streetlights, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with the current ADA Guidelines.
7. Open irrigation facilities are to be piped outside of right-of-way and shown on the preliminary site plan, as approved by the Planning and Development Department.
8. All multi-use trails and shared use paths shall be shaded a minimum of 50

percent with 2-inch minimum caliper, large canopy shade trees, located 5 to 8 feet from the edge of the trail, as approved by the Planning and Development Department.

9. The right-of-way shall be dedicated, if required, and a bus pad (detail P1260 or P1262) constructed at the following locations, unless otherwise modified by the Planning and Development Department and Public Transit Department:
 - a) Eastbound Baseline Road east of 63rd Avenue. Pad shall be spaced from the intersection of 63rd Avenue and Baseline Road according to City of Phoenix Standard Detail P1258.
 - b) Three bus stop pads shall be located along Southbound 59th Avenue.
10. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
11. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
12. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Site A

13. The development shall be in general conformance with the site plan and elevations date stamped October 23, 2019, as modified by the following stipulations and approved by the Planning and Development Department.
14. The maximum building height shall be limited to 56 feet.
15. There shall be a 150-foot setback provided from 59th Avenue for buildings over 30 feet in height.
16. A minimum of one clearly defined pedestrian connection shall be provided from Site A to connect with the trail along the Laveen Area Conveyance Channel with one pedestrian scale amenity (benches, tables, etc.) provided within close proximity of the trail, as approved by the Planning and Development Department.
17. A minimum of two pedestrian pathways that are a minimum 6 feet wide shall be provided from the west side of Site B through Site A to the proposed buildings. The parking lot shall be designed to have minimal vehicular drive crossings

through these pathways. These pathways shall have a minimum 50 percent shade provided by 2-inch minimum caliper trees located in minimum 5-foot wide landscape areas and/or an architectural shading element, as approved by the Planning and Development Department.

18. A minimum of two inverted-U bicycle racks (4 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
19. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including the landscaped median between the Laveen Area Conveyance Channel and the southern boundary of Site A, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
20. The developer shall construct a 10-foot-wide Shared Use Path (SUP) along the west side of 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
21. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the south side of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.

Site B (Retail/Restaurant)

22. The maximum building height shall be limited to 30 FEET WITHIN 150 FEET OF 59TH AVENUE AND 45 56 feet FOR THE REMAINDER OF SITE B.
23. There shall be a 150-foot step back provided from 59th Avenue for building over 30 feet in height.
24. The site plan, landscape plan showing pedestrian circulation and elevations, shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the commercial corner through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian pathways that are a minimum of 6 feet wide shall be provided from 59th Avenue through the site to connect to buildings and the pedestrian pathways at Site A. The parking lot shall be designed to have minimal vehicular drive crossings through these pathways. These pathways shall have a

minimum 50 percent shade provided by 2-inch minimum caliper trees located in minimum 5-foot wide landscape areas and/or an architectural shading element.

- (ii) A minimum of two clearly defined pedestrian connections shall be provided to connect with the trail along the Laveen Area Conveyance Channel with two pedestrian scale amenities (open space, benches, tables, etc.) provided within close proximity of the trail.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Accent building materials such as: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco and/or exposed aggregate concrete shall be used on buildings or otherwise demonstrate that the architectural style is consistent with prior phases of the project and development in the area.
25. Drive-through restaurant pick-up windows shall be architecturally integrated in proportion, color, material and texture to the building it serves by providing awnings or architecturally integrated structures for weather protection, as approved by the Planning and Development Department.
26. Drive-through restaurant facilities shall provide a minimum of 250 square feet of outdoor seating areas, as approved by the Planning and Development Department.
27. A minimum of 25 percent of the surface parking areas shall be shaded by 2-inch minimum caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
28. A minimum of two inverted-U bicycle racks (4 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
29. A minimum of 30 percent of the linear frontage of the buildings, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.

30. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including landscaped median between the Laveen Area Conveyance Channel and the southern boundary of Site B, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
31. The developer shall construct a 10-foot Shared Use Path (SUP) on 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel.
32. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the southside of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.

Site C (Multifamily)

33. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting pedestrian connections with the adjacent commercial development through sidewalks, detached sidewalks and overall connectivity including:
 - b. A minimum of three evenly dispersed pedestrian connection points to the commercial development to the north. This pedestrian connection shall be clearly defined and minimize vehicular conflicts.
 - c. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - d. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet, as approved by the Planning and Development Department.
 - e. Ensuring architectural style is consistent with prior phases of the project and development in the area.
34. There shall be a minimum of 10 percent common area open space provided onsite, as approved by the Planning and Development Department.
35. A minimum of 25 percent of the surface parking areas shall be shaded by a minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and

Development Department.

36. The developer shall construct the west half street of 59th Avenue, as consistent with the Street Classification Map, including the landscaped median for the full extent of Site C, as approved by the Planning and Development Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
37. The developer shall construct a 10-foot wide Shared Use Path (SUP) on 59th Avenue in lieu of the required sidewalk, consistent with the improvements on 59th Avenue north of the Laveen Area Conveyance Channel.
38. The developer shall provide conduit plan and junction boxes at 59th Avenue and South Mountain Avenue on project site for future traffic signal equipment and all work related to the construction or reconstruction of the conduit runs and junction box installation shall be the responsibility of the Developer, as approved by the Planning and Development Department.

Site D (Commerce Park/General Commerce Park North of the LACC)

39. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the development through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian connections to the Laveen Area Conveyance Channel.
 - (ii) There shall be an employee open space area provided adjacent to the Laveen Area Conveyance Channel. The open space areas shall provide a minimum of one amenity (tables, benches, yard games, etc.) each.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Ensuring architectural style is consistent with prior phases of the project and development in the area.

40. There shall be a minimum of one exterior employee balcony provided on each four-story building that is a minimum of 12 feet in depth and a minimum of 200 square feet in size, as approved by the Planning and Development Department.
41. The glazing on all building windows shall have a maximum reflectivity of 20 percent, as approved by the Planning and Development Department.
42. A minimum of 25 percent of the surface parking areas shall be shaded by minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
43. A minimum of six inverted-U bicycle racks (12 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
44. A minimum of 30 percent of building linear frontage, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.
45. The developer shall protect in place the shared-use path and 20-foot wide public trail/sidewalk easement along the north side of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
46. The developer shall dedicate a 30-foot-wide public trail/sidewalk easement along the west side of the 202 Loop or adjacent to 63rd Avenue, whichever provides greater connectivity, at the time of preliminary site plan approval. Developer shall construct a 10-foot-wide shared-use path (SUP) within the easement as indicated in section 429 of the City of Phoenix MAG Supplement, as approved by the Planning and Development Department.
47. A minimum 10-foot public multi-use trail shall be constructed within a 30-foot easement in accordance with MAG supplemental detail 429 along the south side of Baseline Road to connect to the trails to the east and west, as approved by the Parks and Recreation Department.
48. The developer shall dedicate 60 feet of right-of-way for the full parcel limits for the south half of Baseline Road, as approved by the Planning and Development Department.
49. The developer shall dedicate a minimum of 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue. Additional right-of-way dedications and improvements as required by the TIS, as approved by the Street Transportation Department.

50. The developer shall dedicate 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue and improvements as required by the TIS, as approved by the Planning and Development. Asphalt pavement transition tapers are required between ultimate and interim street conditions, as approved by the Street Transportation Department.
51. The developer shall dedicate a 25-foot by 25-foot right-of-way triangle at the southeast corner of Baseline Road and 63rd Avenue, as approved the Planning and Development Department.

Site E (Commerce Park/General Commerce Park South of the LACC)

52. The site plan, landscape plan showing pedestrian circulation and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the Southwest Growth Study which shall include the following:
 - a. Promoting the overall pedestrian circulation within the development through wide sidewalks, detached sidewalks and overall connectivity including:
 - (i) A minimum of two pedestrian connections to the Laveen Area Conveyance Channel.
 - (ii) There shall be an employee open space area provided adjacent to the Laveen Area Conveyance Channel. The open space areas shall provide a minimum of one amenity (tables, benches, yard games, etc.) each.
 - b. Arcades and overhangs shall be incorporated into the buildings to promote shade.
 - c. All building facades shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies at least every 50 linear feet.
 - d. Ensuring architectural style is consistent with prior phases of the project and development in the area.
53. There shall be a minimum of one exterior employee balcony provided on each four-story building that is a minimum of 12 feet in depth and a minimum of 200 square feet in size, as approved by the Planning and Development Department.
54. The glazing on all building windows shall have a maximum reflectivity of 20 percent, as approved by the Planning and Development Department.

55. A minimum of 25 percent of the surface parking areas shall be shaded by minimum 2-inch caliper, large canopy single-trunk shade trees, located within minimum 5-foot wide landscape areas, as approved by the Planning and Development Department.
56. A minimum of six inverted-U bicycle racks (12 spaces) shall be provided for each building on site, located near building entries, and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
57. A minimum of 30 percent of building linear frontage, that has main public entries oriented towards parking areas, shall be provided with planting. Planting areas shall be sized to provide adequate area for planting materials to thrive. Trees and shrubs shall be sized to provide 30 percent shading of area at maturity, as approved by the Planning and Development Department.
58. The developer shall dedicate a 30-foot-wide public trail/sidewalk easement along the west side of the 202 Loop Freeway or adjacent to 63rd Avenue, whichever provides greater connectivity, at the time of preliminary site plan approval. Developer shall construct a 10-foot wide shared-use path (SUP) within the easement per Section 429 of the City of Phoenix MAG Supplement, as approved by the Planning and Development Department.
59. The developer shall construct a 10-foot-wide Multi-Use Trail (MUT) along the southside of the Laveen Area Conveyance Channel, as approved by the Planning and Development Department.
60. The developer shall dedicate a minimum of 40 feet of right-of-way for the full parcel limits for the east half of 63rd Avenue. Additional right-of-way dedications and improvements as required by the TIS, and as approved by the Street Transportation Department. Asphalt pavement transition tapers are required between ultimate and interim street conditions, excepting the frontage of APN 300-020-017C, as approved by the Street Transportation Department.

LAVEEN VILLAGE PLANNING COMMITTEE

Meeting Minutes

Monday, November 4, 2019

Laveen Elementary School District Office #59
Laveen Education Center, Building B, Room #101
5001 West Dobbins Road, Laveen, Arizona.

Members Present

Robert Branscomb, Chair
Tonya Glass, Vice Chair
Cinthia Estela
Gary Flunoy
Stephanie Hurd
John Mockus
Carlos Ortega
Jennifer Rouse

Members Excused

Linda Abegg
Wendy Ensminger
Rochelle Harlin

Staff Present

Samantha Keating

1. **Call to order, introductions and announcements by Chair.**

Chairman Robert Branscomb called the meeting to order at 6:30 p.m. There was a quorum with 8 members present.

2. **Review and approval of the October 14, 2019, meeting minutes.**

MOTION

Mr. John Mockus moved to approve the minutes as presented. **Ms. Stephanie Hurd** seconded the motion.

Vote

8-0, Motion to approve, with Committee Members Branscomb, Estela, Flunoy, Glass, Hurd, Mockus, Ortega and Rouse in favor.

3. **Public comment concerning items not on the agenda.**

None.

4. **Z-47-19-7**: Presentation, discussion, and possible recommendation regarding a request to rezone 128.61 acres located at the southeast corner of 63rd Avenue and Baseline Road from S-1 (Approved CP/GPC and/or C-2) to CP/GCP, C-2 HGT/MVR and R-4 to allow commerce park development, commercial development with a height waiver for up to 56 feet and multifamily residential.

Ms. Samantha Keating provided an overview of the request, noting the location and proximity to the Loop 202 freeway. **Ms. Keating** explained that the site was broken up into subareas in terms of staff's recommended stipulations.

Mr. Carlos Ortega explained that he was concerned about not having a bus pull out.

Mr. John Mockus asked if the height waiver was being requested for both Sites A and B. **Ms. Keating** confirmed that the height waiver was for both portions of the development site and noted they were treated differently in the stipulations because Site A has a conceptual site plan that requires general conformance.

Ms. Stephanie Hurd asked why a path was being asked for in Site B. **Ms. Keating** relayed that the stipulation called for a wider sidewalk that could also be used as a pathway.

Vice Chair Tonya Glass commented that she understood why the height was needed for Site A because of the height of the movie screens, but was unsure why it was needed for Site B.

Ms. Wendy Riddell of Berry Riddell LLC, the applicant explained she was representing Kitchell, the property owner. **Ms. Riddell** explained that the certainty of the Harkins theater will help ensure the needs of the community are met. The project looks to reduce the number of overall dwelling units currently permitted. They are hoping to attract other entertainment-type uses next to the planned Harkings theater. The planned multifamily will make the retail more successful. The proposal is really a refinement of the existing entitlements on the site.

Chairman Robert Branscomb asked for clarification on the size of the units. **Ms. Riddell** stated they would be a mix of one to three bedrooms.

Ms. Hurd commented that she liked the elevated design and plan for trails. She explained that commercial land is important in the area and does not want to see too much of it turn residential. She also commented that although palm trees do not provide shade, she thinks they add a nice aesthetic.

Ms. Hurd also commented that she would like to see ground floor retail with units above. She suggested fun bike racks.

Ms. Jennifer Rouse commented that the development should be dog friendly and that she understands certain retail uses will follow a theater. Multifamily can be beautiful but it needs to be better than just stucco. The mountain views need to be maintained.

Mr. Mockus explained he was excited to have the project move forward but wants to see the project done right.

Mr. Ortega commented that everyone talks about mountain views and he suggest oriented the multifamily project toward the mountains.

Mr. Gary Flunoy asked what the planned height was for Site B and the multifamily area. **Ms. Riddell** responded that the use for Site B was hopefully an entertainment-type use and they were looking for flexibility on the height. No height waiver is being requested for the multifamily area.

Nine public comment cards were submitted for this item. Two cards were submitted by Tracie Riggs and Joe Jannuzzi in opposition to the request, but not wishing to speak. Two cards were submitted indicating they were in favor of the request and wishing to speak. Two cards were submitted indicating they were in opposition to the item and wishing to speak. Three cards were submitted wishing to speak, not indicating in favor

or opposed.

Mr. Jon Kimoto indicated he liked the uses proposed and the early meetings the applicant held, but felt there was no compelling argument for the height variance. The apartments were to be built on a higher piece of land and maintaining mountain views would be critical. The scale should not dominate the environment. It is important to maintain the guidelines in the Southwest Growth Study and other formative documents.

Ms. Jae Storm president of Mir' Ra Image explained she was before the committee representing youth. She indicated she would like to see the builders and developers be involved with the youth. She felt that there should be stipulations for more neighborhood meetings.

Ms. Lynette Lee explained to the committee she had questions regarding the proposed theater and asked if the theater was planning to have reclining seats. She also asked how much the apartments were planned to rent for and how they will be maintained.

Ms. Riddell responded that only newer, luxury theaters with reclining seats are being built now. The developer will ensure the multifamily is maintained as they have a financial interest and want to keep a good reputation.

Ms. Riddell also responded to some of the preceding comments and explained that they were not seeking a height variance, but a height waiver and were not required to demonstrate a hardship. The development team is also sympathetic to youth and the commercial uses planned will help address concerns with youth.

Mr. Sandy Hamilton explained he was on the LCRD and agrees with the additional height for the movie theater site only. He indicated he tried contacting Kitchell the previous week but was unsuccessful.

Mr. Dan Penton explained that the community worked on a Central Laveen Commercial Area Plan in 2003 which stated that there were to be a maximum of four stories to keep views of the mountains. He also commented that art features should be southwest in nature and the multifamily should provide a view corridor and look into providing commercial space on the bottom floor. He indicated support of the request, but had some concerns with the western side of the request and the amount of parking shown on the conceptual plans.

Mr. Phil Hertel explained he had no problem with the height waiver for the theater site, but was not in favor of the additional height for Site B without seeing a plan. He wants the site to be planned carefully and planned well and would like to be on a notification list for future cases.

Ms. Claudine Reifschneider commented that this was a crucial time and the community needed to put their best foot forward and work to elevate standards. This, in turn, will increase home values and impact fees. The committee should think about the community vision when making their decision. This project will set the tone for others.

Vice Chair Glass asked if the apartments and theater were a packaged deal and if the theater and height for Site B were a packaged deal. **Ms. Riddell** indicated that they were and that she believed they all were after the same thing, which is why the developer is agreeing to return to review plans with the committee.

Ms. Riddell also explained that limiting the height on Site B would limit who would look

at the site for future development. The team also reached out to Mr. Hamilton.

Chairman Branscomb commented that since the committee cannot restrict uses, they need to be ensure it is done right.

Mr. Ortega and **Mr. Mockus** commented that they want something great, but understand it is Catch 22 regarding the height and attracting entertainment uses on Site B.

Ms. Rouse commented that the multifamily needs to be beautiful and wants to see stone work and heightened standards.

Ms. Hurd commented that views should be looked at.

Ms. Riddell indicated that these would all be taken into consideration.

Vice Chair Glass asked if the applicant was willing to consider less height on Site B.

Ms. Riddell indicated she conferred with her client and project architect and they were willing to agree to the following heights on Site A and B:

- 56 feet for Site A
- 45 feet for Site B
- 30 feet within 150 feet of 59th Avenue

Ms. Cinthia Estela asked if solar panels were planned for covered parking. **Ms. Riddell** responded they would look into this.

MOTION

Mr. John Mockus moved to approve the proposal as recommended by staff with a modification to the height stipulation for Site B as proposed by the applicant.

Ms. Jennifer Rouse seconded the motion.

Vote

8-0, Motion to approve, with Committee Members Branscomb, Estela, Flunoy, Glass, Hurd, Mockus, Ortega and Rouse in favor.

5. **INFORMATION ONLY:** Presentation and discussion regarding General Plan Land Use Map Designations in the Laveen Village.

Ms. Samantha Keating provided an overview of the intent of the item and explained that as a follow up to last month's conversation she had a presentation regarding the history of General Plan Land Use designations in the Laveen area.

Ms. Stephanie Hurd explained that she had a concern that the Laveen core needed to be protected and she does not want to see it all turn into multifamily development. Anything south of Dobbins Road that has not been designated should be protected.

Mr. Carlos Ortega commented he wanted to protect S-1 zoning.

Vice Chair Tonya Glass asked about zoning reversions. **Ms. Keating** explained

because of staff resources there was currently no plan to revert zoning.

Mr. Jon Kimoto commented that the biggest opportunity the area had was with the 2004 resort community, which was slated for much of the Lines property south of Estrella Drive. The conservation community idea went by the wayside and was the best opportunity to try and keep an agrarian lifestyle.

6. Staff update on cases recently reviewed by the committee.

Ms. Samantha Keating provided the committee an update on Z-27-19.

7. Committee member announcements, requests for information, follow up, or future agenda items.

Ms. Jennifer Rouse made the following comments:

- Congratulated committee member Gary Flunoy on a successful GAIN event.
- Floodplain meeting was taking place tonight and attendance was low.
- She and Dan Penton attended the groundbreaking for the new Laveen school.
- February will be the 20th anniversary of the Laveen parade.

Mr. Carlos Ortega requested a presentation from Maricopa County on development plans for county streets.

Ms. Cinthia Estela announced the upcoming Turkey Trot.

Mr. Gary Flunoy commented that the freeway opening date should be released soon. **Chairman Robert Branscomb** indicated he had heard it would be open on December 23rd.

Vice Chair Tonya Glass commented she attended the Playa Margarita event on Saturday.

8. **Adjournment.**

The meeting was adjourned at 8:17 p.m.