

## Attachment B



### City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

#### Staff Report Z-190-H-84-7

September 3, 2019

Maryvale [Village Planning Committee](#)  
Meeting Date:

September 11, 2019

[Planning Commission](#) Hearing Date:

October 3, 2019

Request From:

[PCD](#) (Approved C-2 PCD) (2.61 acres)

Request To:

[C-2 HGT/WVR SP PCD](#) (2.61) acres

Proposed Use:

Major Amendment to the Amberlea PCD to allow a Special Permit for a self-storage facility, a height waiver to allow 3 stories and 40 feet, and all underlying C-2 uses

Location:

Southwest corner of 83rd Avenue and Palm Lane

Owners:

Guardian Storage Centers, LLC

Applicant/ Representative:

Brian Greathouse, Bruch & Cracchiollo

Staff Recommendation:

Approval, subject to stipulations

<a href="#">General Plan Conformity</a>			
<a href="#">General Plan Land Use Map Designation</a>		Residential 15+ dwelling units per acre	
<a href="#">Street Map Classification</a>	83rd Avenue	Arterial	+55-foot west half
	Palm Lane	Local	40-foot south half
<b><i>CELEBRATE OUR DIVERSE COMMUNITIES &amp; NEIGHBORHOODS; CERTAINTY &amp; CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.</i></b>			
The subject site abuts commercial zoning to the south and west which permit identical development standards related to building and landscape setbacks as well as lot coverage. In addition, the properties to the north and east of the subject site allow similar heights to those proposed for the storage facility. As stipulated, the proposal is sensitive to the scale and character of the adjacent properties and contains treatments to mitigate negative impacts on nearby residential properties.			

***CORE, CENTERS AND CORRIDORS; LAND USE PRINCIPLE: Plan cores, centers and corridors to include a variety of land uses: office, retail shopping, entertainment and cultural, housing, hotel and resort, and where appropriate, some types of industry.***

The subject site is located along the 83rd Street commercial corridor where a variety of intermediate commercial uses are available. The proposal will add to the mix of services in the area to be used by residents and businesses in an area of similar intensity.

#### **Applicable Plans, Overlays, and Initiatives**

[Tree and Shade Master Plan](#) – See background Item No. 8.

[Comprehensive Bicycle Master Plan](#) – See background Item No. 9.

[Complete Streets Guiding Principles](#) – See background Item No. 10.

[Reimagine Phoenix Initiative](#) – See background Item No. 11.

#### **Surrounding Land Uses/Zoning**

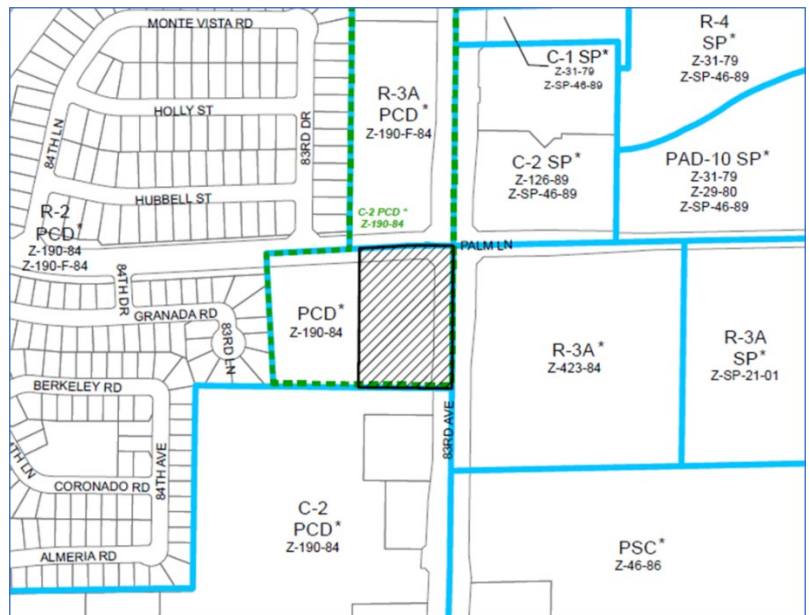
	<b>Land Use</b>	<b>Zoning</b>
<b>On Site</b>	Vacant	PCD (Approved C-2 PCD)
<b>North</b>	Vacant	R-3A PCD (Approved C-2 PCD)
<b>South</b>	Large Scale Commercial Retail	C-2 PCD
<b>East, across 83rd Avenue</b>	Multifamily Residential	R-3A
<b>West</b>	Vacant (Proposed Multifamily Residential)	PCD (Approved C-2 PCD)

C-2 (Intermediate Commercial)		
Standards	Requirements	Met or Not Met
Building Setbacks		
Adjacent to Street - 83rd Ave.	For structures exceeding two stories or 30 feet, average 30 feet; Min. of 20 feet permitted for up to 50% of structure, including projections	Met – 32 feet
Adjacent to Street - Palm Ln.		Met – 75 feet
Adjacent to C-2 - West	None	Met – 58 feet
Adjacent to C-2 - South		Met – 35 feet
Landscape Setbacks		
Street – 83rd Ave.	Average 30-foot; minimum 20-foot permitted for up to 50% of the frontage.	Met – 32 feet
Street – Palm Ln.		Met – Average of 30 feet; 20 feet for 30% of the frontage.
Adjacent to C-2 - West	None	Met – 15 feet
Adjacent to C-2 - South		Met – 5 feet
Lot Coverage	Not to exceed 50%	Met – 37.7%
Building Height (Height Waiver)	4 stories not to exceed 56 feet	Met – 40 feet (3 stories)
Parking	1 space per 35 storage units = 16 parking spaces required	Met – 22 spaces

### **Background/Issues/Analysis**

#### **SUBJECT SITE**

- This is a request to rezone a 2.61-acre site located at the southwest corner of 83rd Avenue and Palm Lane. The request is to rezone from PCD, Approved C-2 PCD (Planned Community District, Approved Intermediate Commercial, Planned Community District) to C-2 HGT/WVR SP PCD (Intermediate Commercial District, Height Waiver, Special Permit, Planned Community District) to allow a special permit for a self-storage facility, a height waiver to allow 3 stories and 40 feet, and all underlying C-2 uses.

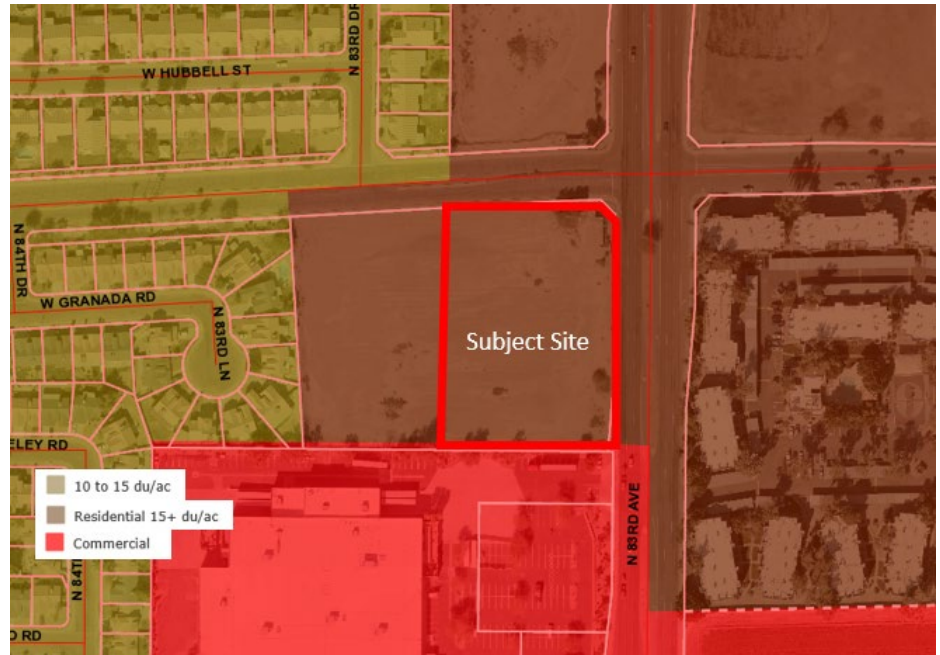


Source: City of Phoenix Planning and Development Department

2. The General Plan Land Use Map designation for the subject site is Residential 15+ dwelling units per acre. The proposal is not consistent with the Residential designation. However, an amendment is not needed because the site is under the 10 acres. The abutting General Plan Land Use Map designations are as follows:

**North, East and West:**

Residential 15+ dwelling units per acre



Source: City of Phoenix Planning and Development Department

**South:**

Commercial

**SURROUNDING ZONING AND USES**

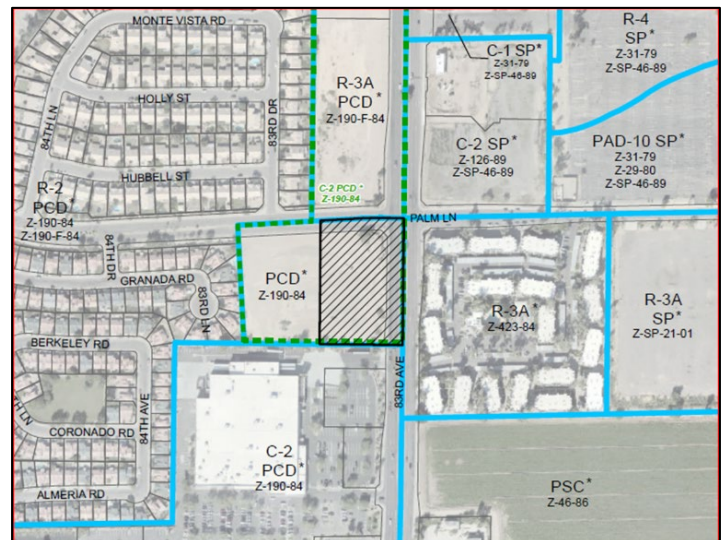
3. **NORTH**  
North of the subject site is a vacant lot zoned R-3A PCD (Multifamily Residence District, PCD). The site is currently vacant.

**SOUTH**

South of the subject site is a commercial development zoned C-2 PCD (Intermediate Commercial, Planned Community District).

**EAST**

East of the subject site is a multifamily residential development zoned R-3A (Multifamily Residence District).



Source: City of Phoenix Planning and Development Department

### **WEST**

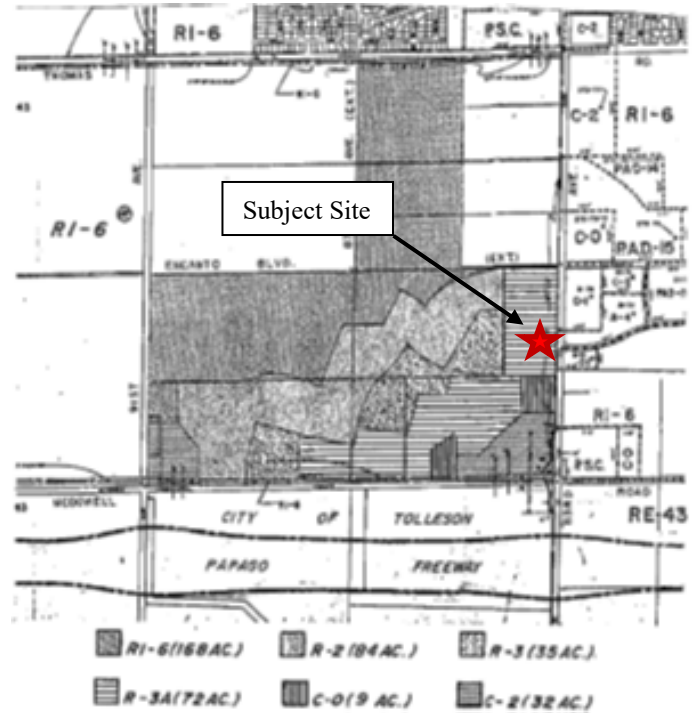
West of the subject site is a vacant site zoned PCD, Approved C-2 PCD (Planned Community District, Approved Intermediate Commercial, Planned Community District) that is planned for a multifamily development.

### **APPROVAL AND AMENDMENT HISTORY**

4. The site is the last development phase of the Amberlea PCD, an approximately 400-acre master planned community bounded by McDowell Road to the south, 83rd Avenue to the east, 91st Avenue to the west and a portion to the north that is bounded by Thomas Road on the north, 85th Avenue to the east and 87th Avenue to the west. On September 5, 1984 via Rezoning Case No. Z-190-84 the City Council initially approved the PCD request from R1-6 to PCD (R1-6, R-2, R-3, R-3A, C-O, C-2). This request established the PCD (Approved R-3A PCD) on the subject site and adjacent properties to the north, south and west.

On several occasions, the Phoenix City Council concurred with the recommendation of the Planning Hearing Officer and approved modification of stipulations, subject to stipulations.

Approval of the underlying Approved C-2 zoning on the subject site was approved through Z-190-F-84-7 by the City Council on March 3, 1993.



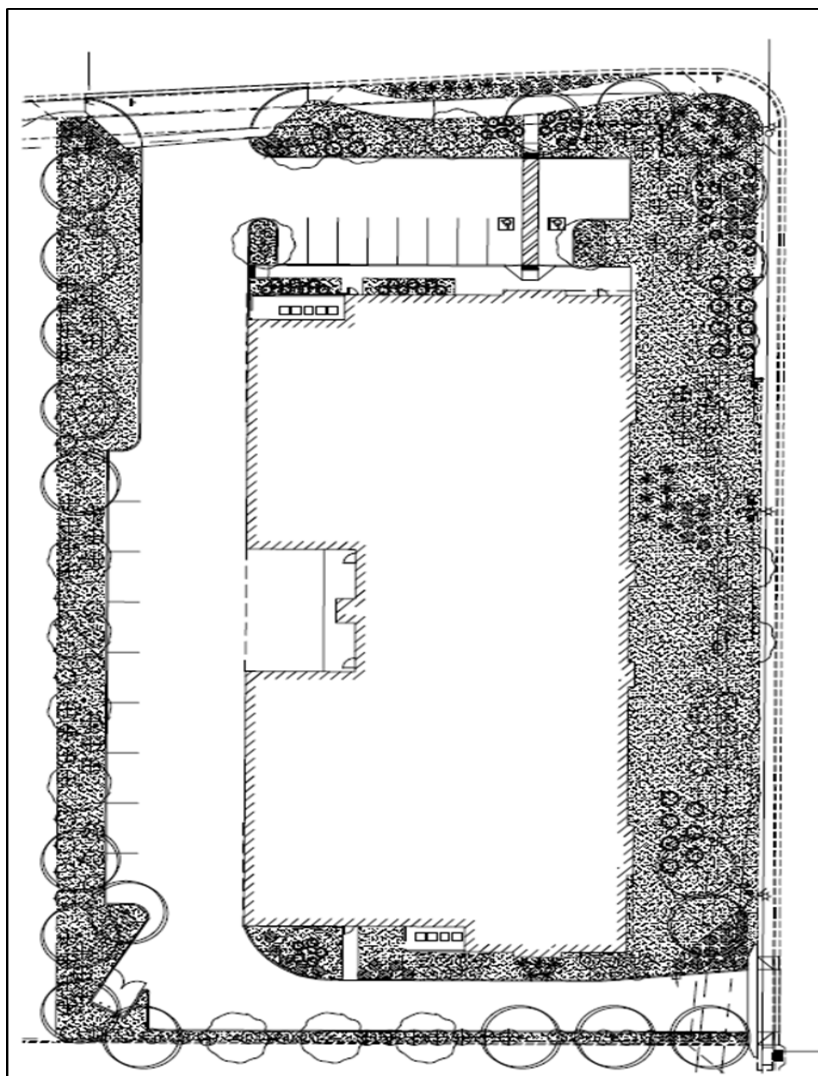
**Source: Amberlea Master Plan, City of Phoenix, Planning & Development Department**

### **PROPOSAL**

5. The conceptual site plan proposes one self-service storage building with exterior roll up doors and a recessed loading dock on the west elevation. The building has direct access off of an arterial street. Parking for the facility is proposed along the west property line as well as a small parking area on the north side of the site.



6. Staff has recommended that a pedestrian path be located on the north side of the site connecting the office entry to the sidewalk. All sidewalks shall be detached and landscaped with minimum 3-inch caliper shade trees planted 20 feet on center on both sides of the sidewalk and 5-gallon shrubs with a maximum mature height of 2-feet providing 75% live cover. A minimum 15-foot landscape setback shall be required along the west property line and shall include large canopy shade trees 20 feet on center or in equivalent groupings as approved by the Planning and Development Department. Twenty-five percent of the trees shall be minimum 4-inch caliper and seventy-five percent of the trees shall be minimum 3-inch caliper in order to provide screening for adjacent residents. Trees will help reduce the urban heat island effect and will provide thermal comfort for users of the site as well as pedestrians passing by. These requirements are addressed in Stipulation Nos. 3, 4 and 5.



**Source: Everett Landscape Architects.**

7. The C-2 zoning district allows a maximum building height of two stories and 30 feet permitted. The C-2 district also permits the City Council to approve a height waiver for up to four stories and 56 feet upon finding that such additional height is not detrimental to adjacent properties or the public welfare in general. The properties to the east across 83rd Avenue, the site to the north and west are zoned R-3A, which allows a height up to 48 feet when setback a minimum distance from the property line. The proposed height of 40 feet is consistent with surrounding heights. Staff is recommending that the maximum building height on the subject site be limited to three stories and 40 feet. This is addressed in Stipulation No 1.

The conceptual building elevations provided depict a variation of colors, materials, recesses and offsets. To ensure the building includes these features, staff is recommending that the site be developed in general conformance to the proposed building elevations. This is addressed in Stipulation No. 2.



## AREA PLANS, OVERLAY DISTRICTS, AND INITIATIVES

### 8. **Tree and Shade Master Plan**

The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. In addition, a vision in the master plan is to raise awareness by leading by example. To accomplish the vision and goal of the policy document, staff is recommending a stipulation for shade trees along the west property line as well as along both sides of the sidewalks, which is addressed in Stipulation Nos. 4 and 5.

### 9. **Comprehensive Bicycle Master Plan**

The Comprehensive Bicycle Master Plan notes that transit works in tandem with walking, bicycling, and automobile use to provide commuters with multiple convenient transportation choices. All Valley Metro buses are equipped with bicycle racks (two-bike or three-bike) and light rail trains have on-board storage hangers for bicycles. Staff has recommended that a minimum of two bicycle racks be provided on site for guests or employees. Section 1307.H., of the Zoning Ordinance requires that the bicycle parking be located near building entrances and the rack installation should be clear of obstacles. Bicycle racks should be an inverted-U design and be incorporated into the site plan. This is addressed in Stipulation No. 6.

### 10. **Complete Streets Guiding Principles**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To support these principles related to pedestrian connectivity and safety, staff has requested that the developer construct a detached sidewalk, with shade trees between the sidewalk and back of curb along 83rd Avenue and Palm Lane. This is addressed in Stipulation No. 4.

### 11. **Reimagine Phoenix Initiative**

As part of the Reimagine Phoenix Initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

## COMMUNITY INPUT SUMMARY

12. At the time this staff report was written, staff has not received any community input.

## INTERDEPARTMENTAL COMMENTS

13. The Phoenix Fire Department has noted that they do not anticipate any problems with this case and that the site and/or buildings shall comply with the Phoenix Fire Code.



14. The City of Phoenix Floodplain Management division of the Public Works Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2180 L of the Flood Insurance Rate Maps (FIRM) dated October 22, 2013.
15. The City of Phoenix Water Services Department has noted the property has existing water and sewer mains that can potentially serve the proposed development. However, there is potential need to up size existing water and sewer infrastructure mains so that any remodels or new buildings will be able to meet domestic and fire code requirements.
16. The Street Transportation Department has indicated that modification of medians will require Street Transportation Department approval, following completion of a traffic engineering analysis and an update to the Amberlea Master Street Plan. In the event Palm Lane medians are not approved to be modified to allow access to the site, both ingress and egress will be provided at the 83rd Avenue driveway. This is addressed in Stipulation No. 7.
17. The Public Transit Department has indicated that the developer shall dedicate right-of-way and reconstruct the bus pad along southbound 83rd Avenue south of Palm Lane. This is addressed in Stipulation No. 8.
18. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 9.

#### OTHER

17. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

#### **Findings**

1. The proposal is compatible with the surrounding land use pattern.
2. As stipulated, the additional height will not have adverse impacts on the surrounding properties.
3. As stipulated, the proposal is consistent with the Tree and Shade Master plan due to the tree lined detached sidewalks on the site.

## **Stipulations**

1. The maximum building height shall not exceed three stories and 40 feet.
2. The building elevations shall be in general conformance with the elevations date stamped July 3, 2019, as approved by the Planning and Development Department.
3. A pedestrian path, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided from the office entry connecting to the bus pad to the east, as approved by the Planning and Development Department.
4. All sidewalks adjacent to public rights-of-way shall be detached with a minimum five-foot-wide continuous landscaped strip area located between the sidewalk and back of curb and shall include minimum 3-inch caliper large canopy shade trees planted a minimum of 20 feet on center or equivalent groupings, and 5-gallon shrubs with a maximum mature height of 2-feet providing 75% live cover, as approved by the Planning and Development Department.
5. A minimum 15-foot landscape setback shall be required along the west property line and shall include large canopy shade trees 20 feet on center or in equivalent groupings as approved by the Planning and Development Department. Twenty-five percent of the trees shall be minimum 4-inch caliper and seventy-five percent of the trees shall be minimum 3-inch caliper, as approved by the Planning and Development Department.
6. A minimum of two inverted-U bicycle racks for employees or visitors shall be provided on site, located near a publicly accessible entrance to the building, and installed per the requirements of Section 1307.H of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
7. Modification of medians will require Street Transportation Department approval, following completion of a traffic engineering analysis and an update to the Amberlea Master Street Plan. In the event that the Palm Lane medians are not approved to be modified to allow access to the site, both ingress and egress will be provided at the 83rd Avenue driveway, as approved by the Streets Transportation Department.
8. Dedicate right-of-way and reconstruct the bus stop pad along southbound 83rd Avenue south of Palm Lane. The bus stop pad shall be constructed according to City of Phoenix Standard Detail P1260 with a minimum depth of 10 feet. The bus stop pad shall be spaced from the intersection of 83rd Avenue and Palm Lane as per City of Phoenix Standard Detail P1258.
9. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33- foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Staff Report: Z-190-H-84-7  
September 3, 2019  
Page 11 of 11

**Writer**

David Simmons  
September 3, 2019

**Team Leader**

Samantha Keating

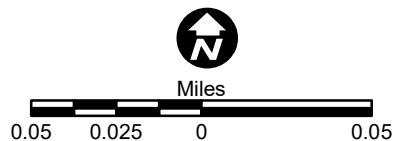
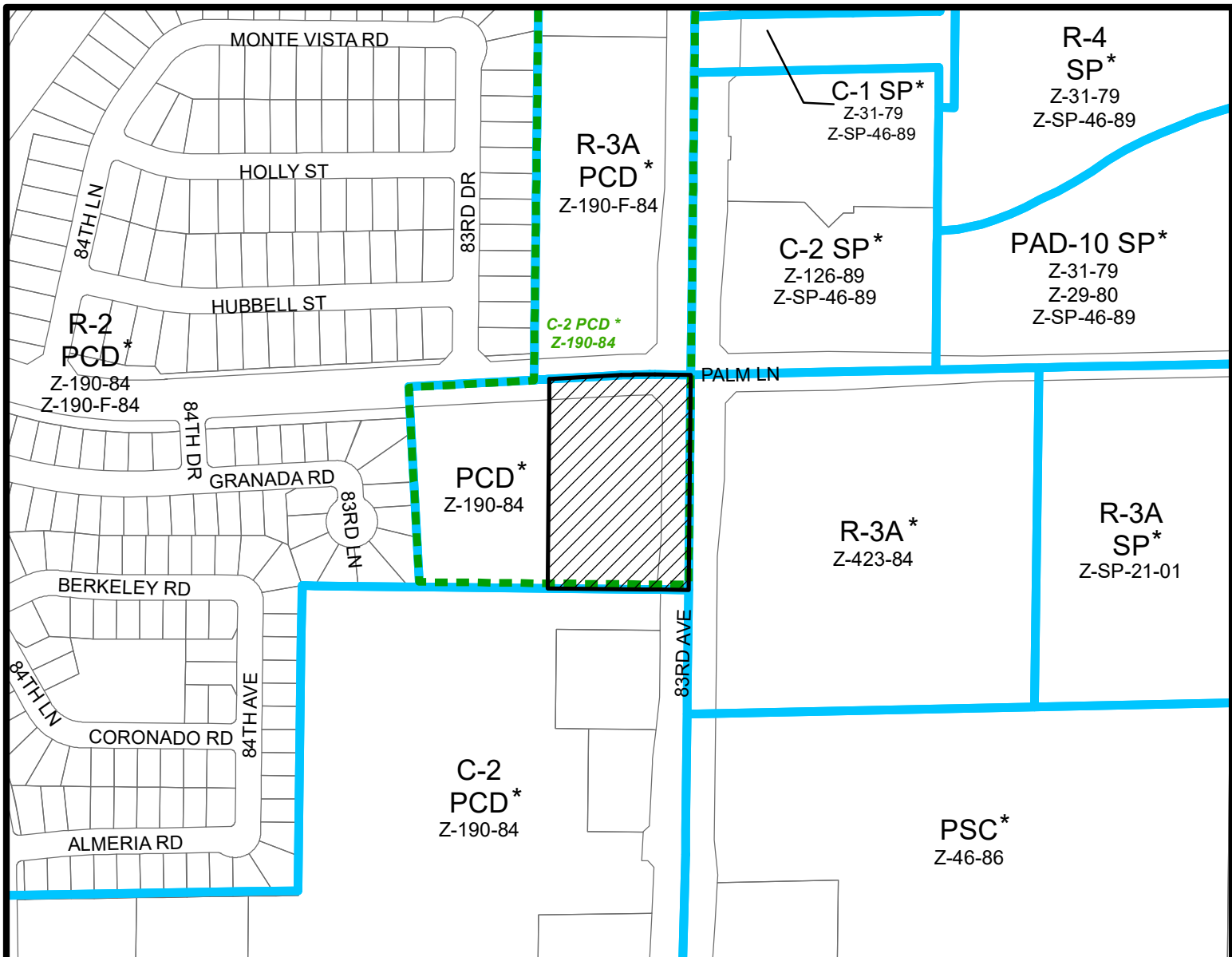
**Exhibits**

Sketch Map

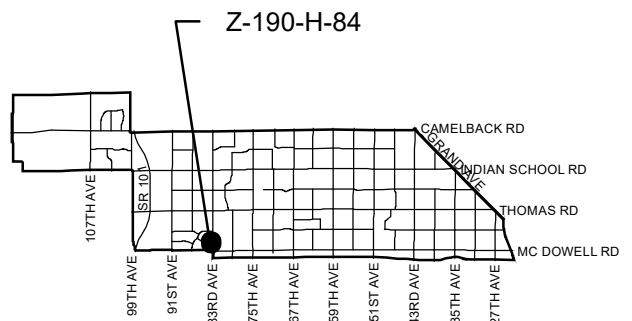
Aerial Map

Conceptual Site Plan, date stamped July 3, 2019

Conceptual Elevations, date stamped July 3, 2019 (2 pages)

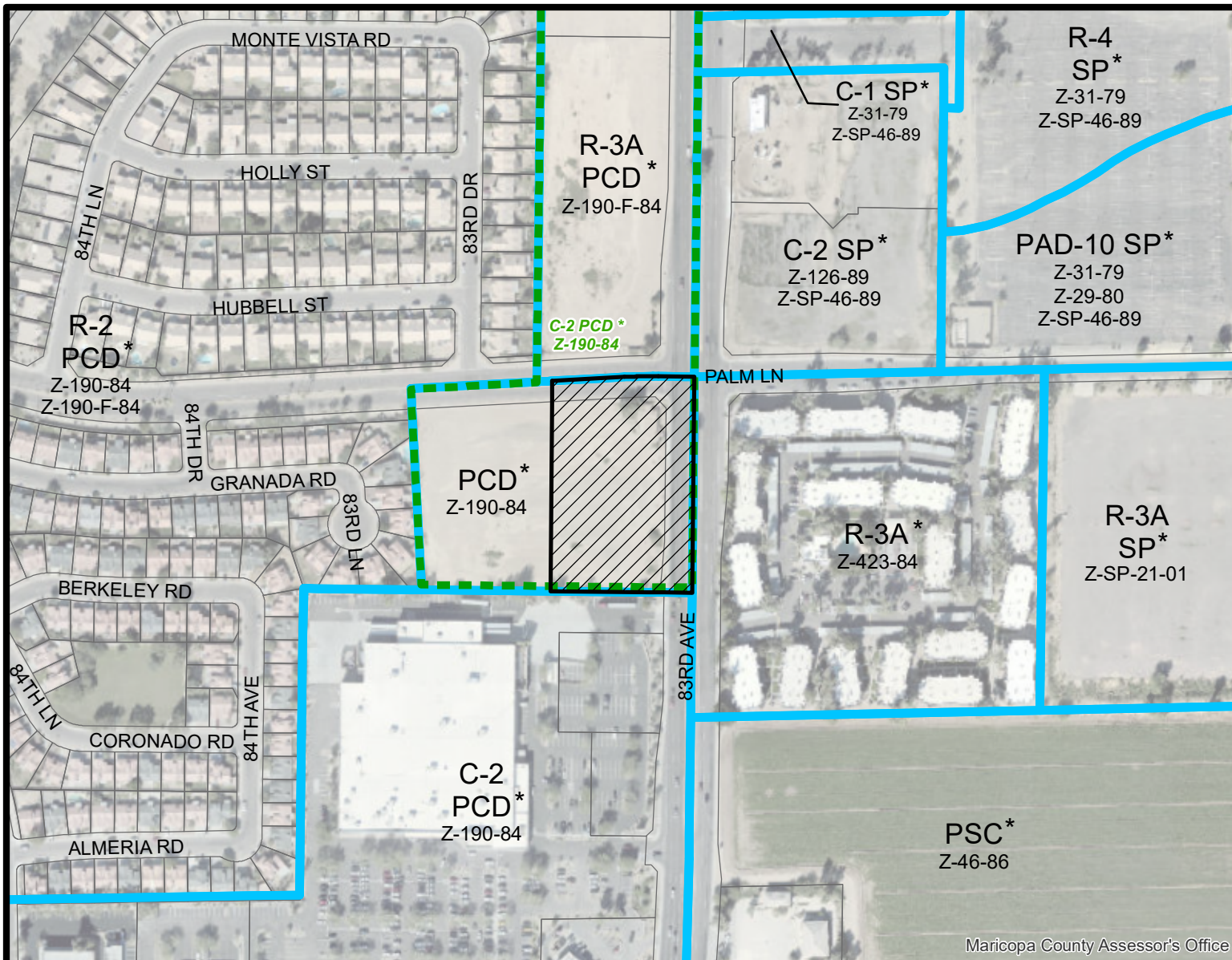


**MARYVALE VILLAGE**  
CITY COUNCIL DISTRICT: 7

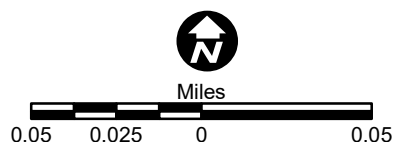


<b>APPLICANT'S NAME:</b> Brian Greathouse, Bruch & Cracchiollo		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-190-H-84		<b>FROM:</b> PCD (Approved C-2 PCD) ( 2.61 a.c.)	
<b>DATE:</b> 8/12/2019 <b>REVISION DATES:</b>		<b>TO:</b> C-2 HGT/WVR SP PCD ( 2.61 a.c.)	
<b>8/21/2019</b>			
<b>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</b>		<b>AERIAL PHOTO &amp; QUARTER SEC. NO.</b>	
<b>2.61 Acres</b>		<b>ZONING MAP</b>	
<b>MULTIPLES PERMITTED</b>		<b>CONVENTIONAL OPTION</b>	
PCD (Approved C-2 PCD)		N/A (38)	
C-2 HGT/WVR SP PCD		38	
<b>* UNITS P.R.D. OPTION</b>		<b>* UNITS P.R.D. OPTION</b>	
N/A (45)		N/A (45)	
45		45	

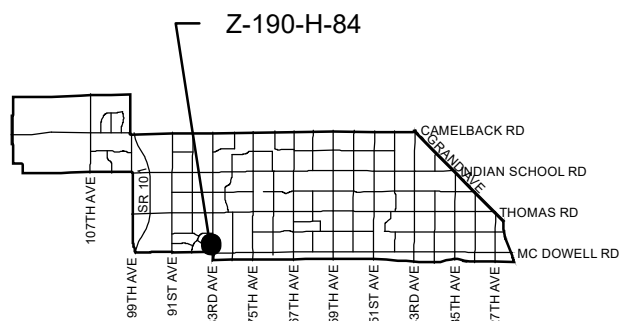
\* Maximum Units Allowed with P.R.D. Bonus



Maricopa County Assessor's Office



**MARYVALE VILLAGE**  
CITY COUNCIL DISTRICT: 7



**APPLICANT'S NAME:** Brian Greathouse, Bruch & Cracchiollo

**APPLICATION NO.** Z-190-H-84

GROSS AREA INCLUDING 1/2 STREET  
AND ALLEY DEDICATION IS APPROX.

**2.61 Acres**

**DATE:** 8/12/2019  
**REVISION DATES:**

8/21/2019

AERIAL PHOTO &  
QUARTER SEC. NO.

**QS 13-8**

ZONING MAP

**G-3**

**REQUESTED CHANGE:**

**FROM:** PCD (Approved C-2 PCD) ( 2.61 a.c.)

**TO:** C-2 HGT/WVR SP PCD ( 2.61 a.c.)

**MULTIPLES PERMITTED**

PCD (Approved C-2 PCD)

C-2 HGT/WVR SP PCD

**CONVENTIONAL OPTION**

N/A (38)

38

**\* UNITS P.R.D. OPTION**

N/A (45)

45

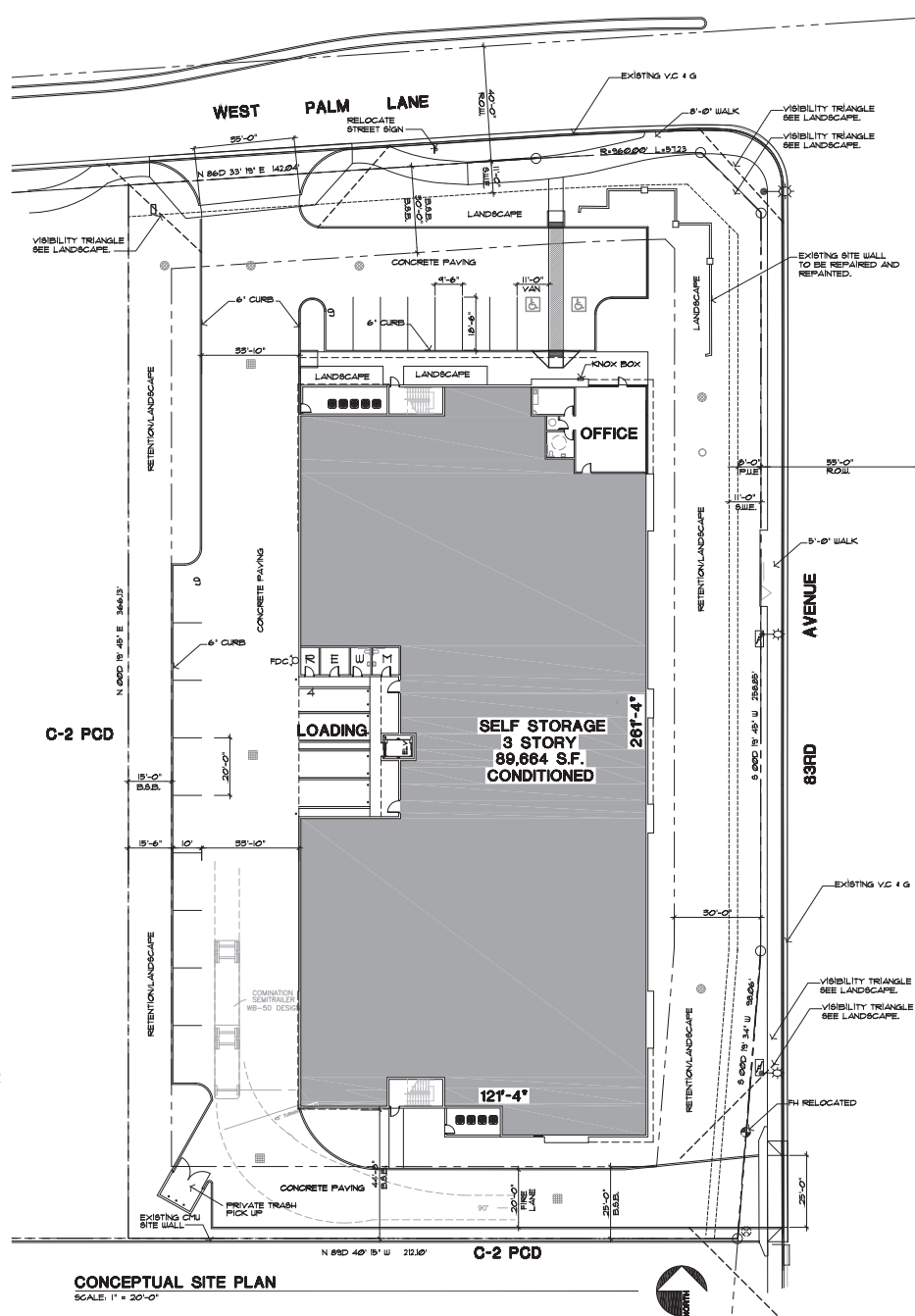
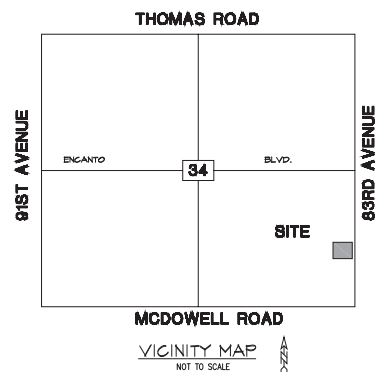
\* Maximum Units Allowed with P.R.D. Bonus



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PRINTED NAME OF COPYRIGHT OWNER .....

- [illegible]



**OWNER**  
FIRST CAPITAL HOLDINGS, LLC  
2042 BUSINESS CENTER DRIVE, SUITE 100  
IRVINE, CA 92612  
(602) 881-8852 ATTN: BROCK DANIELSON

**ARCHITECT**  
ARC SERVICES INC.  
14010 N SUSSEX PL  
FOUNTAIN HILLS, ARIZONA 85268  
(480) 837-0761 ATTN: PHIL GOLLON

GROSS SITE AREA = 113,765 S.F. (2.61 ACRE)  
NET SITE AREA = 81,429 S.F. (1.87 ACRE)  
PROPOSED USE GROUP = S-1 SELF STORAGE FACILITY  
CONSTRUCTION TYPE II-B (AUTOMATIC SPRINKLER SYSTEM)

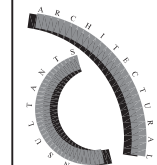
PROPOSED BUILDING HEIGHT: 35'-0" WITH 48"

A portion of Parcel 9, "AMBERLEA" as described in Book 294 of Maps, page 8, Official Records of Maricopa County, Arizona, which is located in the Southeast quarter of Section 34, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, and more particularly described as follows:

THENCE South 44 degrees 44 minutes 47 seconds East, along said right-of-way line, a distance of 29.66 feet returning to the East-Northeast property corner of said Parcel 9 and the POINT OF BEGINNING.

**CITY OF PHOENIX**  
JUL 3 2019  
**Planning & Development  
Department**

68851 Calle Monforte  
Cathedral City, California  
92234  
Phone (480) 734-1687  
Em\_archconcepts52@gmail.com



It reports, plans, specifies and executes computer-aided design, and data, notes and other documents and instruments prepared by the design professional as instruments of service shall remain the property of the design professional. The design professional shall retain all common law, statutory and other



883RD AVENUE AND PALM  
MINI STORAGE  
1820 N 83RD AVE  
PHOENIX, ARIZONA 85035

Title	PRELIMINARY SITE PLAN
Date	03/22/10
Project number	83
Drawn by	RL
Checked by	BS
CAD file	

☒ Design Development  
☐ Progress Const. Docs.  
☐ City Submittal  
☐ Bid Package  
☐ Construction Issue  
☐ Record Drawings

Sheet Number:

SP1





EAST ELEVATION FACING 83RD AVE

SCALE: 3/32" = 1'-0"



WEST ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL SCHEDULE	
MATERIAL	COLOR
MATERIALS	
1. MELROD METAL SLATE TRIM	
2. BONA AREA PER CITY OF PHOENIX STANDARDS	
3. MELROD METAL SLATE TRIM	
4. ALUMINUM TRIMMED WINDOW SYSTEM	
5. MELROD METAL SLATE TRIM	
6. CHANNEL STEEL LINING	
7. MELROD METAL SLATE TRIM	
8. DECORATIVE LIGHT FIXTURE ON RECESSED MELROD FLAT PANEL	
9. MELROD METAL ANGLE TRIM	
10. 2" EIFS ON METAL FRAMING	
11. MELROD METAL MULTICOLOR ACCENT TRIM	
12. MELROD METAL CORNER METAL PANEL	
13. MELROD METAL DOWNPOUT TO GUTTER	
14. COLORED GLASS WINDOW	
15. MELROD METAL INSULATED METAL ROOF	
16. MELROD METAL INSULATED METAL PANEL IN 15 RAISE JOINTS	
17. CLEAR INSULATED GLASS	
18. 8'x8'x1/8" SMOOTH CHIMNEY PANT	
19. 8'x8'x1/8" JANUS INTERNATIONAL ROLL UP DOOR W/ALUMINUM	
COLORS	
A. MELROD METAL REGAL BLUE	
B. MELROD METAL COGNAC RED	
C. MELROD METAL COGNAC RED	
D. JANUS INTERNATIONAL PAINTS RED	
E. JANUS INTERNATIONAL SAFETY YELLOW (INTERIOR DOORS)	
F. AUTUMN GLEAM W/ TINT (DARK EQUINOX)	
G. CLEAR ANODIZED ALUMINUM FINISH	
H. CLEAR INSULATED GLASS	
I. COLORED GLASS (RED)	
J. FACTORY BLACK	
ALL PAINTS ARE GAN EQUINOX A-1000 NOTED 'PER MANUFACTURER' ALL SIGNAGE BY SEPARATE PERMIT	

CITY OF PHOENIX  
JUL 3 2019  
Planning & Development  
Department