

ATTACHMENT E



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

ADDENDUM A

Staff Report Z-56-23-7

January 4, 2024

Laveen <u>Village Planning Committee</u> Meeting Date:	December 11, 2023
<u>Planning Commission</u> Hearing Date:	January 4, 2023
Request From:	County <u>RU-43</u> (Pending <u>S-1</u>) (One Acre Per Dwelling Unit, Pending Ranch or Farm Residence) (18.96 acres)
Request To:	<u>R1-6</u> (Single-Family Residence District) (18.96 acres)
Proposal:	Single-family residential
Location:	Southwest corner of the 78th Avenue and Alta Vista Road alignments
Owner/Applicant:	Laveen Land Holdings, LLC
Representative:	Jordan Rose, Rose Law Group, PC
Staff Recommendation:	Approval, subject to stipulations

On December 11, 2023, the Laveen Village Planning Committee (VPC) heard this request and recommended denial as filed, the approval of R1-8 with additional stipulations by a vote of 6-1.

The VPC recommended adding Stipulation No. 2 to ensure that future elevations and landscape plans are presented to the Laveen VPC through the Planning Hearing Officer (PHO) public hearing process. The VPC recommended adding Stipulation Nos. 3 and 4 to limit the density allowed within the development and increase the minimum lot width. Furthermore, Stipulation No. 13 was added to ensure funding for future improvements to Alta Vista Road.

Staff provided a memo to the Planning Commission on January 2, 2024 in response to the VPC recommended stipulations. Staff recommended modifying the language for Stipulation No. 2 to use the City's standard stipulation language for a PHO public hearing and deleting Stipulation No. 5 regarding the number of lots since Stipulation No. 3 was added to limit to 4.5 dwelling units per acre (85 lots). The Street Transportation Department reviewed the additional stipulation related to Alta Vista Road and recommended the deletion of the stipulation as the City cannot legally take money from roadways that are not in the City of Phoenix jurisdiction.

During the Laveen Village Planning Committee meeting on December 11, 2023, the applicant presented an updated site plan with an increased percentage of open space. The applicant submitted this revised site plan on December 20, 2023 and the landscape plan on January 4, 2024 (attached as exhibits).

The revised site plan reduces the number of lots to 95 (originally 98) and increases the open space to 18 percent. In addition, the landscape plan depicts all the proposed open space areas within the proposal. Per the revised site plan, the applicant has requested to increase the minimum open space provided on the site. Therefore, staff is recommending a modification to increase the minimum open space from 12 percent to 18 percent. Also, it should be noted that the applicant's revised plan depicts 95 lots, however the stipulations as recommended below limit the site to 85 lots. The site plan will need to be revised prior to preliminary site plan approval if the stipulations below are ultimately approved.

Staff recommends approval per the modified stipulations in **bold** font below:

1. All building elevations shall contain architectural features that reflect modern farmhouse architecture including, but not limited to, detailing such as pitched roofs, variation in window size, overhang canopies and exterior accent materials such as board and batten siding, shiplap paneling, brick veneer, wooden shutters, and carriage style garage doors, as approved by the Planning and Development Department.
2. THE ~~FUTURE~~ CONCEPTUAL ELEVATIONS AND LANDSCAPE PLANS SHALL ~~GO~~ BE REVIEWED AND APPROVED BY THE PLANNING HEARING OFFICER THROUGH THE ~~PHO~~ PUBLIC HEARING PROCESS FOR STIPULATION MODIFICATION PRIOR TO PRELIMINARY SITE PLAN APPROVAL. THIS IS A LEGISLATIVE REVIEW FOR CONCEPTUAL PURPOSES ONLY. SPECIFIC DEVELOPMENT STANDARDS AND REQUIREMENTS MAY BE DETERMINED BY THE PLANNING HEARING OFFICER AND THE PLANNING AND DEVELOPMENT DEPARTMENT.
3. THE MAXIMUM DENSITY SHALL BE 4.5 DWELLING UNITS PER ACRE.
4. THE MINIMUM LOT WIDTH SHALL BE 50 FEET.
- ~~2. The project shall not exceed 98 lots.~~
- ~~5.~~
- ~~3.~~ A minimum of ~~42%~~ **18%** of the gross site area shall be retained as open space.
- ~~6.~~
- 5.

- ~~4.~~ A minimum 22-foot garage setback for front-loaded garages, measured from
~~7.~~ the back of sidewalk, shall be provided for each home in the development, as
~~6.~~ approved by the Planning and Development Department.
- ~~5.~~ A minimum of 10% of the required shrubs, shall be a milkweed or other native
~~8.~~ nectar species, and shall be planted in groups of three or more, as approved
~~7.~~ by the Planning and Development Department.
- ~~6.~~ A minimum of two green infrastructure (GI) techniques for stormwater
~~9.~~ management shall be implemented per the Greater Phoenix Metro Green
~~8.~~ Infrastructure and Low Impact Development Details for Alternative
Stormwater Management, as approved or modified by the Planning and
Development Department.
- ~~7.~~ Prior to final site plan approval, the property owner shall record documents
~~10.~~ that disclose to purchasers of property or tenants within the development(s)
~~9.~~ the existence and operational characteristics of nearby existing ranchettes
and animal privilege private properties that may cause adverse noise, odors,
dust, and other externalities. The form and content of such documents shall
be reviewed and approved by the City prior to recordation. This disclosure
shall also be provided in the leasing documents in a section titled
“nuisances”.
- ~~8.~~ A minimum 50-foot of right-of-way shall be dedicated for all local public
~~11.~~ streets within the development.
~~10.~~
- ~~9.~~ All street improvements to Alta Vista Road and 78th Avenue are outside of
~~12.~~ Phoenix City Limits and shall be reviewed and approved by Maricopa County.
~~11.~~ Documentation of the county review and approval shall be provided
concurrently with the Preliminary Site Plan submittal.
- ~~13.~~ ~~FUNDING SHALL BE RESERVED FOR FUTURE RIGHT OF WAY
IMPROVEMENTS ALONG ALTA VISTA ROAD.~~
- ~~10.~~ A shared-use-path easement shall be dedicated and constructed on the
~~14.~~ northwest portion of the property, as approved by the Parks and Recreation
~~12.~~ and Planning and Development Departments.
- ~~14.~~ Pedestrian connections from the subdivision to the Salt River and the shared-
~~15.~~ use-path, consisting of an enhanced treatment of decorative pavement and
~~13.~~ landscaping to a gated access point, shall be constructed as approved by the
Planning and Development Department.
- ~~12.~~ All streets within and adjacent to the development shall be constructed with

- ~~46.~~ paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands,
~~14.~~ landscaping and other incidentals as per plans approved by the Planning and
Development Department. All improvements shall comply with all ADA
accessibility standards.
- ~~43.~~ If determined necessary by the Phoenix Archaeology Office, the applicant
~~17.~~ shall conduct Phase I data testing and submit an archaeological survey
~~15.~~ report of the development area for review and approval by the City
Archaeologist prior to clearing and grubbing, landscape salvage, and/or
grading approval.
- ~~44.~~ If Phase I data testing is required, and if, upon review of the results from the
~~48.~~ Phase I data testing, the City Archaeologist, in consultation with a qualified
~~16.~~ archaeologist, determines such data recovery excavations are necessary, the
applicant shall conduct Phase II archaeological data recovery excavations.
- ~~45.~~ In the event archaeological materials are encountered during construction,
~~49.~~ the developer shall immediately cease all ground-disturbing activities within a
~~17.~~ 33-foot radius of the discovery, notify the City Archaeologist, and allow time
for the Archaeology Office to properly assess the materials.
- ~~46.~~ Prior to preliminary site plan approval, the landowner shall execute a
~~20.~~ Proposition 207 waiver of claims form. The waiver shall be recorded with the
~~18.~~ Maricopa County Recorder's Office and delivered to the City to be included in
the rezoning application file for record.

Exhibits

Conceptual Site Plan date stamped December 20, 2023 (4 pages)

Conceptual Landscape Plan date stamped January 4, 2024 (2 pages)

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:
THE SOUTH 800 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY ARIZONA.

PARCEL NO. 2:
A 10 FOOT WIDENESS/EASEMENT OVER THE EAST HALF OF THE SOUTHWEST QUARTER GILA AND SALT RIVER BASE AND MERIDIAN MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTH 600.00 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 35; THENCE SOUTH 89 DEGREES 47 MINUTES WEST ALONG THE NORTH LINE OF THE SAID SECTION A DISTANCE OF 60.87 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 47 MINUTES 28 SECONDS WEST A DISTANCE OF 10.00 FEET;

THENCE DEPARTING ALONG SAID SOUTH LINE, NORTH 00 DEGREES 52 MINUTES 34 SECONDS WEST A DISTANCE OF 645.50 FEET TO THE BEGINNING OF A TANGENT CURVE, CONVALE TO THE SOUTHWEST CORNER OF A 100.00' X 100.00' QUARTER;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 47 MINUTES 28 SECONDS WEST A DISTANCE OF 10.00 FEET;

THENCE DEPARTING ALONG SAID SOUTH LINE, NORTH 00 DEGREES 52 MINUTES 34 SECONDS WEST A DISTANCE OF 645.50 FEET TO THE BEGINNING OF A TANGENT CURVE, CONVALE TO THE SOUTHWEST CORNER OF A 100.00' X 100.00' QUARTER;

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RE-ZONE SITE PLAN FOR LAVEEN 20

A PLANNED RESIDENTIAL SUBDIVISION SUBJECT TO SINGLE FAMILY DESIGN REVIEW

LOCATED IN A PORTION OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

PAMELA HORTON
104-84-008

MARYRUE CARDENAS
104-84-008

HUMBERTO CARDENAS
104-84-008

LYLE GOODMAN/STACEY DAVIS
104-84-008

DARIN HANSON
104-84-008

JONAH HANSON
104-84-008

BRUIDO CERNA/ELIA DORA
104-84-008

APOLLO ROAD

ST. KATERI DRIVE

75TH GLEN

77TH GLEN

LOCAL STREET

RE-ZONE SITE PLAN

RE-ZONE LEGEND:

RE-ZONE SITE PLAN

INDEX OF SHEETS

COVER SHEET

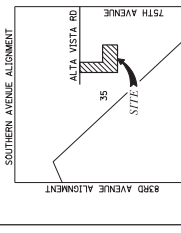
RE-ZONE SITE PLAN

SECTIONS

KVA #22-545

PAPP #Z200950

OS# 1-10 & 2-10



APPLICANT:
LAVERN AND HOLDINGS, LLC
4327 N. 75TH PLACE
PHOENIX, AZ 85018
CONTACT: ANDREW ENMARK
EMAIL: ANDREW@LAVERNAND.COM
PHONE: (480) 528-9122

ENGINEER:
3ENGINEERING
6370 E. THOMAS ROAD, SUITE 200
PHOENIX, AZ 85018
CONTACT: MATTHEW J. MARSHALL, P.E.
PHONE: (602) 334-4397
EMAIL: MATT@3ENGINEERING.COM

VICINITY MAP:
N.T.S.

PROJECT DESCRIPTION:
THIS PROJECT IS PROPOSED AS A DETACHED SINGLE-FAMILY RESIDENTIAL DEVELOPMENT WITH A LOT AREA OF 48,300 SQ. FT. AND A TOTAL OF 195 LOTS WITH PUBLIC ROADWAYS, PUBLIC WATER, AND PUBLIC SEWER. PROJECT IS ZONED R1-6 PRD.

BENCHMARK:
THE BENCHMARK IS THE 1971 LINE OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. RECORDS OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

BASE OF BEARING:
THE BASE OF BEARING FOR THE 1971 LINE OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, IS 117° 44' 16.64".

FLOODPLAIN INFORMATION:
FIRM 0401522190M
FIRM DATE: 11/11/2015
SUFFIX: M 11/11/2015
FIRM ZONE: X-SHADED
BASE FLOOD ELEV: N/A
ASSESSORS PARCEL NO.:
APN 104-84-0088 & 104-84-0089

UTILITIES:
TELEPHONE - CENTURY LINK/CX
GAS - SOUTHWEST GAS COMPANY
ELECTRIC - COX COMMUNICATIONS
CABLE TV - COX COMMUNICATIONS
WATER - CITY OF PHOENIX
SEWER - CITY OF PHOENIX
REFUSE - CITY OF PHOENIX

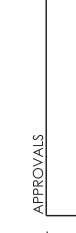
ADDRESS:
NO ADDRESS AVAILABLE

SITE DATA (R1-6 PRD USE):
GROSS AREA - 18.03 ACRES
SIDE SETBACK - 16.03 ACRES
GROSS AREA - 5.27 (DU/AC)
30' (0-51.00')
MAX. BLDG. HEIGHT - 20' SHEET 2
LOT DETAIL

AREA OF LOTS SPACE:
11.97 ACRES (19,367 GROSS)
AREA OF OPEN SPACE - 6.86 ACRES (11,733 GROSS)
TOTAL LOT COVERABLE - 18.83 ACRES (31,100 GROSS)
TOTAL LOT COVERED - 18.83 ACRES (31,100 GROSS)
TOTAL LOT COVERED - 40% + 10% FOR SHADE ZONING

MAXIMUM LOT COVERAGE (PRD OPTION):
GROSS AREA - 18.03 ACRES
NET AREA - 16.56 ACRES
AVERAGE AREA/LOT NET/95 - 6,686.23 SF
40% + 10% SHADE - 2,673.43 SF
40% + 10% SHADE - 688.53 SF

APPROVALS:
(1) 10' TO LIVABLE SPACE OR SIDE LOADED FROM BACK OF SERIAL
(2) SIDE SETBACK ESTABLISHED BY RC SECTION 302.
(3) REAR SETBACK ESTABLISHED BY RC SECTION 302.
(4) PERMETER SETBACK - PERMETER STREET: 15' IN ADDITION TO 15' AVG. LANDSCAPE SETBACK.

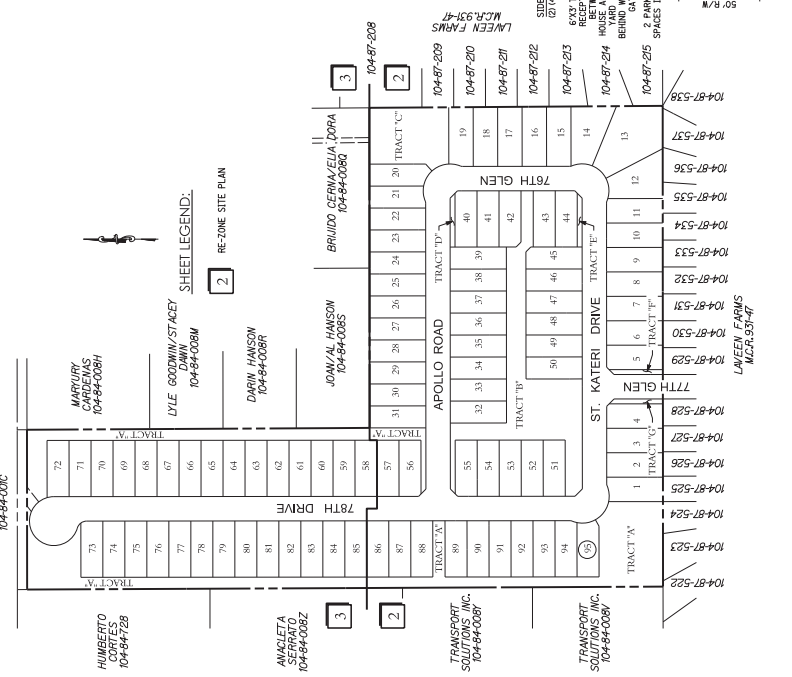


TYPICAL LOT LAYOUT - 45' MIN. - R1-6 AREA (R1-6 PRD USE)

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
P001	COVER SHEET
P002-03	RE-ZONE SITE PLAN
P004	SECTIONS

KVA #22-545
PAPP #Z200950
OS# 1-10 & 2-10



LEGEND:
PROPERTY / BOUNDARY LINE
EXISTING CONTOUR ELEVATION
EXISTING ELEVATION
PROPOSED GROUND ELEVATION
DIRECTION OF FLOW & SLOPE
PROPOSED GRADE BREAK
PROPOSED PAD ELEVATION
PROPOSED CATCH BASIN
PROPOSED DRYWELL
TAPPING SLEEVE & VALVE
PUBLIC UTILITY EASEMENT
BACK OF CURB
LANDSCAPE
CURB & GUTTER
EXISTING LIGHT POLE

RE-ZONE LEGEND:
RE-ZONE SITE PLAN

INDICATES EX. ELECTRIC TRANSFORMER
EXISTING ELECTRIC BOX
EXISTING WATER METER
EX. BACKFLOW PREVENTER VALVE
EXISTING BURIED TELEPHONE CONDUIT
EXISTING BURIED ELECTRIC CONDUIT
EXISTING WATER LINE/VALVE & SIZE
EXISTING FIRE HYDRANT
PROPOSED WATER LINE & SIZE
PROPOSED SEWER
PROPOSED MANHOLE
PROPOSED HYDRANT
PROPOSED VALVE
PROPOSED MONUMENT
SUBDIVISION CORNER
SIDEWALK
RIGHT-OF-WAY

RE-ZONE SITE PLAN

STORM WATER DESIGN CALCULATIONS FOR THE SITE ARE SHOWN HEREIN, REFER TO THE SPECIFICATIONS FOR STORM DRAINAGE SYSTEM LAYOUT. THE SITE IS REQUIRED TO DISPOSE OF ALL STORM WATER THROUGH DRYWELL SYSTEMS.

MISCELLANEOUS NOTES:
RETAINING WALLS TO BE DETERMINED AT FINAL DESIGN.
STREET LIGHTS TO BE DETERMINED AT FINAL DESIGN.
NATIVE PLANT INVENTORY TO BE COMPLETED DURING FINAL DESIGN.

CITY OF PHOENIX
DEC 30 2023
Planning & Development Department

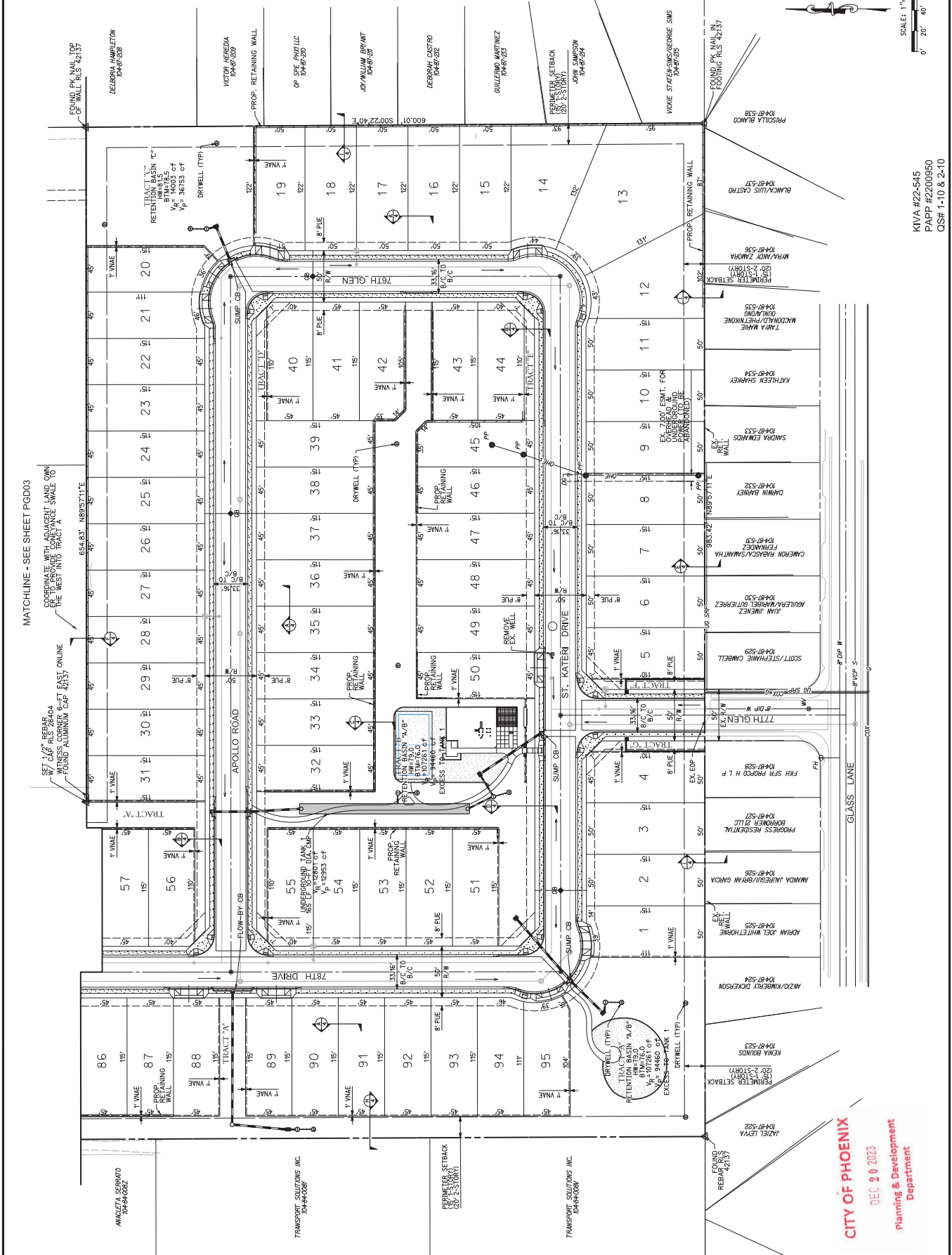
Elevation	Average Area	TOTAL	TOTAL
76.5	18800	CF	0.00
77	29500	22350	0.51
78	34555	30228	5278
79	40610	TOTAL	9468

Elevation	Average Area	TOTAL	TOTAL
76.5	8685	CF	0.00
77.5	11335	10510	0.24
78.5	14950	14025	3675
81.3	14950	TOTAL	3675

Diameter	Height	TOTAL	TOTAL
10	78.5	65	1295
		CF	12801
		TOTAL:	1295

Sub-Area	Area	C-Value	P	Volume	Volume
A	3,026	0.75	2.45	5,054	1.3
B	3,742	0.75	2.45	5,016	1.5
C	9,449	0.75	2.45	1,003	0.9
Total	10,225			11,073	3.7

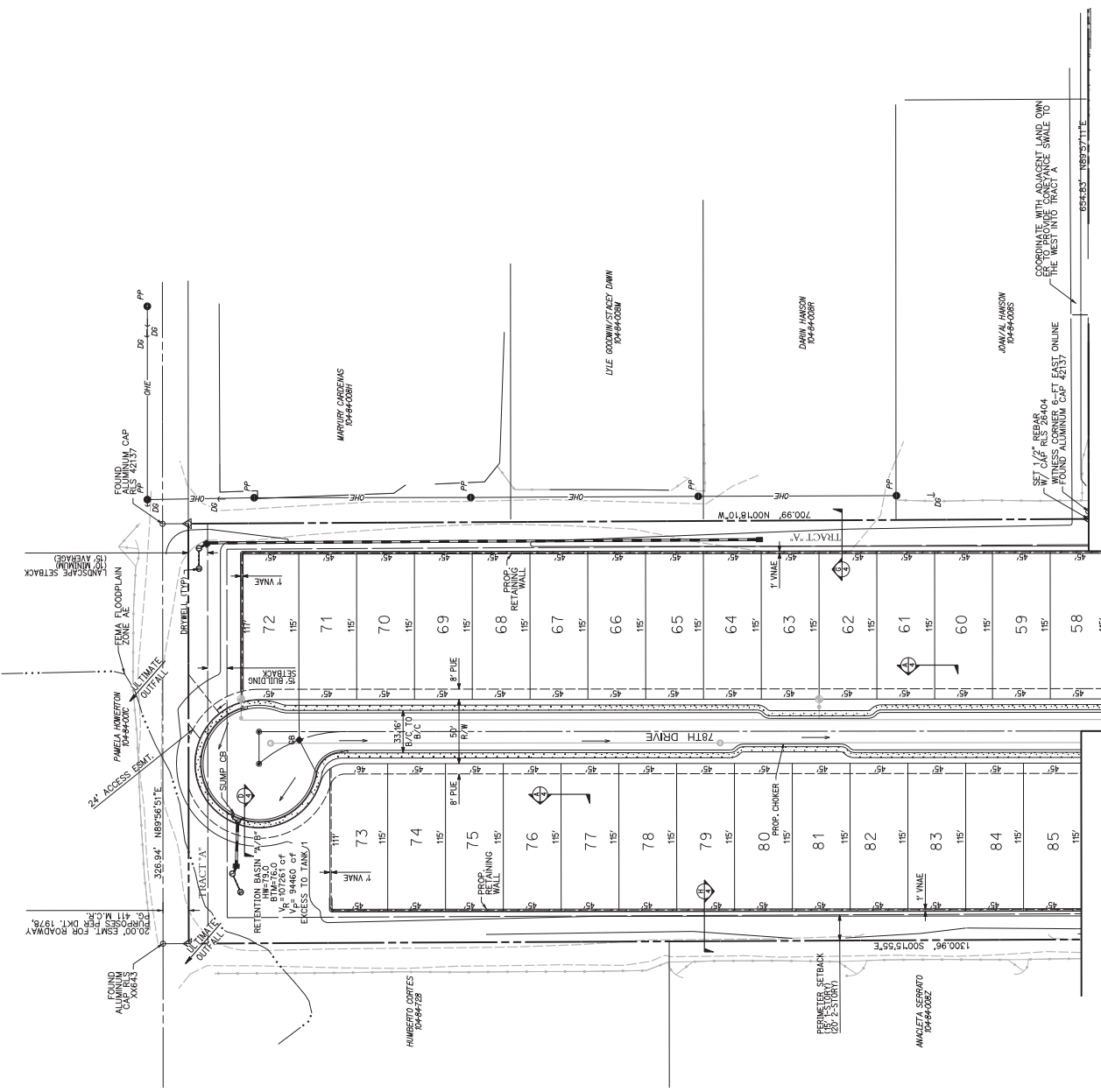
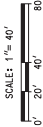
LAVEN 20
 LAVEN, ARIZONA 85339
 RE-ZONE SITE PLAN



CITY OF PHOENIX
 DEC 20 2023
 Planning & Development
 Department

KVA #22-545
 PAPP #2200950
 OS# 1-10 & 2-10

MATCHLINE - SEE SHEET PGD02



3e engineering
 civil engineering
 surveying

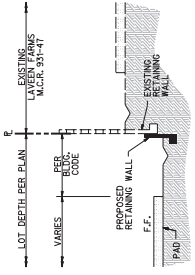
1000 N. CENTRAL AVENUE, SUITE 1000
 PHOENIX, ARIZONA 85004
 TEL: 602.441.1111
 FAX: 602.441.1112
 WWW.3EENGINEERING.COM

DATE: 08/15/2023
 PROJECT NO.: 5247
 SHEET NO.: RSP03
 OF 4

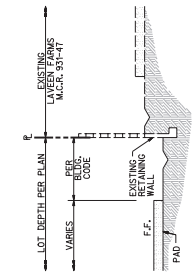


LAVEEN 20
 LAVEEN, ARIZONA 85339
 RE-ZONE SITE PLAN

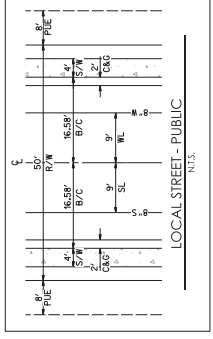




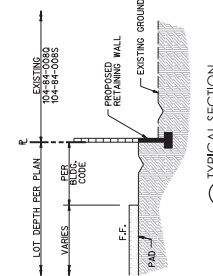
A TYPICAL SECTION
 N.T.S.



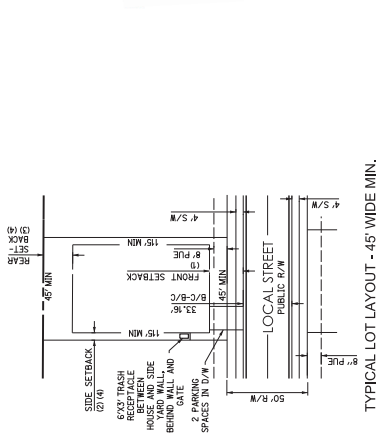
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 N.T.S.



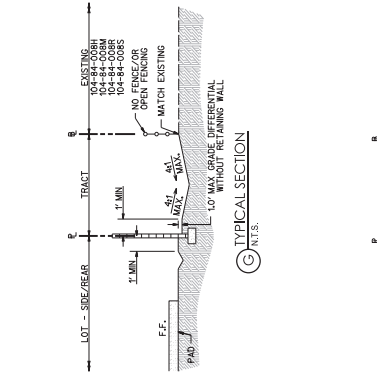
C TYPICAL SECTION
 N.T.S.



D TYPICAL SECTION
 N.T.S.



E TYPICAL SECTION
 N.T.S.



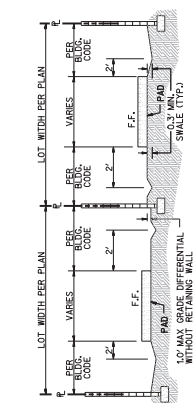
F TYPICAL SECTION
 N.T.S.

- TYPICAL LOT LAYOUT - 45' WIDE MIN. - R1-6 AREA (R1-6 PRD USE)**
- 10' TO LIVABLE SPACE OR SIDE LOADED GARAGE 22' TO FRONT FACING GARAGE FROM BACK OF SIDEWALK.
 - SIDE SETBACK ESTABLISHED BY IRC SECTION 302.
 - REAR SETBACK ESTABLISHED BY IRC SECTION 302.
 - PERMETER SETBACKS
 - PERMETER STREET: 15' IN ADDITION TO 15' AVG. PROPERTY LINE REAR: 15' (1 STORY), 20' (2-5 STORY) PROPERTY LINE SIDE: 10' (1 STORY), 15' (2-5 STORY)

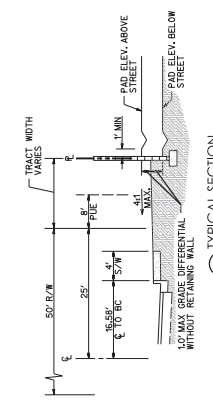
APPROVALS

CITY OF PHOENIX
 DEC 20 2023
 Planning & Development
 Department

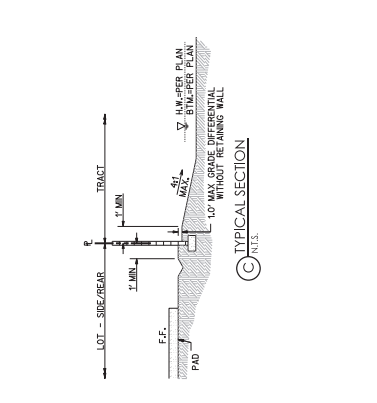
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 OS# 1-10 & 2-10



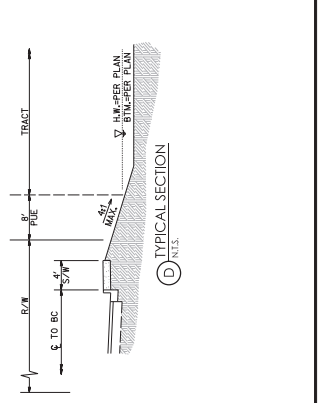
A TYPICAL SECTION
 N.T.S.



B TYPICAL SECTION
 N.T.S.



C TYPICAL SECTION
 N.T.S.



D TYPICAL SECTION
 N.T.S.

L A V E E N 2 0

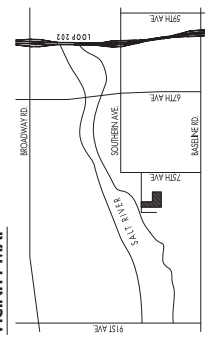
LAVEEN, ARIZONA

PRELIMINARY LANDSCAPE PLAN

CITY OF PHOENIX NOTES:

1. FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES IS PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
2. ALL TREE TYPES, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT (602) 262-2781.
3. ALL SPECIFICATIONS TO CONFORM TO ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
4. ALL RIGHT-OF-WAY AND CITY REQUIRED (PERMETER, RETENTION, AND PARKING) PLANT MATERIAL TO BE IN COMPLIANCE WITH THE CITY OF PHOENIX LANDSCAPE AND IRRIGATION STANDARDS.
5. ALL EXISTING TREES AND SHRUBS IN THE R.O.W. OR WASHES AND DESIGNATED TO REMAIN THAT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE KIND AND SIZE BY THE CONTRACTOR PRIOR TO ANY R.O.W. PLANT RELOCATIONS AT (602) 465-5584.
6. ALL ON-SITE SIDEWALKS SHALL BE A MINIMUM OF 3'-0" WIDE AND HAVE A MAXIMUM SLOPE OF 1:20 WITH THE MAX. GROSS SLOPE OF 1:40. SIDEWALKS SHALL BE MAINTAINED AND REPAIRED PURSUANT TO THE AMERICAN WITH DISABILITIES ACT STDS.
7. WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.
8. ALL WALLS SHALL BE SUBJECT TO CHANGE. FINAL APPROVED PLANT LIST AND/OR THE SONORAN PRESERVE EDGE TREATMENT GUIDELINES (WHICHEVER IS MORE RESTRICTIVE).
9. ALL WASHES SHALL BE MAINTAINED AND REPAIRED PURSUANT TO THE AMERICAN WITH DISABILITIES ACT STDS.
10. ALL SWALE CHANNELS ARE TO HAVE 1" - 3" COARSE LANDSCAPE ROCK OR OTHER APPROVED STONE MATERIAL INSTALLED TO PROTECT THE CHANNELS FROM DAMAGE.
11. ALL BENCH CONTOUR INTERVALS ARE AT 1'-0". SLOPES NOT TO EXCEED 4:1.
12. ALL TUFF IS TO BE MID-IRON HYBRID SOD OR APPROVED EQUAL.
13. ALL TUFF SHALL BE MAINTAINED AND REPAIRED PURSUANT TO THE AMERICAN WITH DISABILITIES ACT STDS.
14. NO LANDSCAPE IMPROVEMENTS EXIST ON-SITE THAT REQUIRE PROTECTION OR COORDINATION, EXCEPT FOR THE NATURAL WASH CORRIDORS.

VICINITY MAP



DEVELOPER
LAVEN LAND HOLDINGS, LLC
4327 N. 57th Place
Phoenix, AZ 85018
Contact: Andrew Eberk
Email: andrew@lavenllc.com

CIVIL ENGINEER
3 ENGINEERING
1426 N. 2nd Street
Suite 204, AZ 85004
Phone: 602.392.2257
Contact: Andrew Eberk
Email: andrew@3engineer.com

LANDSCAPE ARCHITECT
collectivA, LLC
1426 N. 2nd Street
Suite 204, AZ 85004
Phone: 602.338.2711
Contact: Jim Smith, R.L.A.
Email: jim@collectivallc.com

**KWA-0000000
SSA-0000000
PAPP-0000000**

PRELIMINARY
NOT FOR
CONSTRUCTION

DESIGNED BY JIM SMITH, R.L.A.

DATE: OCTOBER 15, 2023

NOVEMBER 2023 COLLECTIVE JOB # 45.315

S H E E T
of 2

collectivA
LANDSCAPE ARCHITECTS



WALL LEGEND

[Symbol]	8" BRICK WALL
[Symbol]	METAL BEYERFENCE
[Symbol]	ACENTA COLOR (N-449)
[Symbol]	ACENTA WIRE FENCE (N-447)
[Symbol]	HAZARBLOCK CLUSTER

LANDSCAPE NOTES

1. EXISTING BLOCK WALLS AND LANDSCAPE ON NEIGHBORING PROPERTIES SHALL REMAIN AND NOT TO BE DISTURBED.
2. AGENCY AREA TO CONTAIN SHADE RAMADA, BBQ SEATING, PLAY STRUCTURE, BENCHES, OPENSPACE TURF FIELD AND ENHANCED VEGETATION.
3. ALL LANDSCAPE AREAS TO RECEIVE DECOMPOSED GRANITE ROCK MULCH FOR DUST PROOFING.
4. OPEN LAWN AREA TO RECEIVE PICNIC TABLE, TRASH/RECYCLE AND ENHANCED LANDSCAPE.
5. LAWN AREA FOR VOLLEBALL.
6. TRAIL CONNECTION.
7. HAZARBLOCK CLUSTER.
8. LANDSCAPE DRAINAGE WITH PERIMETER TREES.

NATIVE PLANT SURVEY

THE NATIVE PLANT SURVEY AND SALVAGE PROGRAM WILL BE DEVELOPED WORK IN CONSTRUCTION DOCUMENT SUBMITTAL WORK WILL BE DONE IN ACCORDANCE WITH CITY OF PHOENIX GUIDELINES. SALVAGE PLANTS INCLUDES NATIVE TREES, SAGUARO, CACTUS, AND SMALL CACTUS. PLANTS WILL BE SALVAGED AND HELD WITHIN AN ON-SITE NURSERY AND REPLANTED WITH CORRESPONDING PHASES.

IRRIGATION PLAN

COMMON AREA LANDSCAPE IMPROVEMENTS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED FOR MAXIMUM EFFICIENCY. TREE AND SHRUB AREAS WILL HAVE INDEPENDENT VALVES. THE COST OF IRRIGATION IMPROVEMENTS WILL BE THE RESPONSIBILITY OF PROPERTY OWNER.

MAINTENANCE

ALL LANDSCAPE SHALL BE MAINTAINED BY PROPERTY OWNER.

MASTER PLANT LEGEND

Symbol	Common Name	PLANT SPECS	Remarks
[Symbol]	EVERGREEN ELM	2" C, 11'H x 4" W	SINGLE TRUNK, MATCHED, UPRIGHT GROWTH
[Symbol]	ASH TREE	PHI 4" W	SINGLE TRUNK, MATCHED, UPRIGHT GROWTH
[Symbol]	CHERRY BIRCH	2" C, 11'H x 3" W	SINGLE TRUNK, MATCHED, UPRIGHT GROWTH
[Symbol]	DOGWOOD	PHI 4" W	SINGLE TRUNK, MATCHED, UPRIGHT GROWTH
[Symbol]	AMERICAN HAWK	18" H, 16" W	STRAIGHT, MATCHED HEIGHTS
[Symbol]	ASTERS / GROUNDCOVERS / PERENNIALS		
[Symbol]	MEDIUM GRASSES		
[Symbol]	HAZARBLOCK WALLS		
[Symbol]	HYBRID BERMUDA / SOLO OVERSEED		

CONSENT FOR REPRODUCTION

I CONSENT TO THE REPRODUCTION OF THIS MASTER PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT I WILL MAKE EACH CHANGE ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE CHANGES MADE TO THE PLAN.

DATE: 11/20/2023

JIM SMITH
NAME PRINTED OF COPYRIGHT OWNER

DATE: 11/20/2023

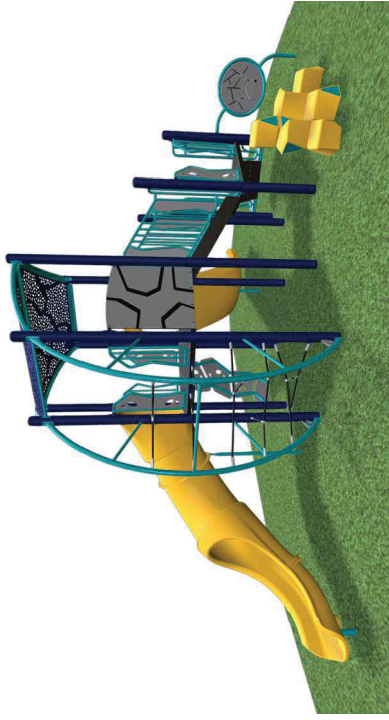
CITY OF PHOENIX
JAN 04 2024
Planning & Development
Department

LANDSCAPE NOTES

- 1 EXISTING BLOCK WALLS AND LANDSCAPE ON NEIGHBORING PROPERTIES SHALL REMAIN AND NOT TO BE DISTURBED.
- 2 AMENITY AREA TO CONTAIN SHADE RAMADA, BKG. SEATING, PLAY STRUCTURE, BENCHES, OPENSOURCE TURF FIELD AND ENHANCED VEGETATION.
- 3 ALL LANDSCAPE AREAS TO RECEIVE DECOMPOSED GRANITE ROCK MULCH FOR DUST PROOFING.
- 4 OPEN LAWN AREA TO RECEIVE PICNIC TABLE, TRASH/RECYCLE AND ENHANCED LANDSCAPE.
- 5 LAWN AREA FOR VOLLEYBALL.
- 6 TRAIL CONNECTION.
- 7 MAILBOX CLUSTER.
- 8 LANDSCAPE ORNANCE WITH PERIMETER TREES.

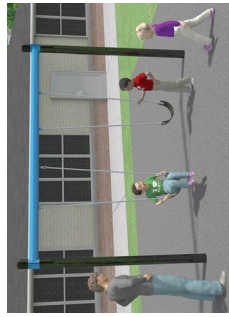


MATCHLINE - SEE PREVIOUS SHEET



PLAY STRUCTURE:
BURKE NUCLEUS NU-3200
(AGES 5-12)

PROPOSED AMENITY AREA



SWING:
BURKE SINGLE POST SWING
(AGES 2-12)



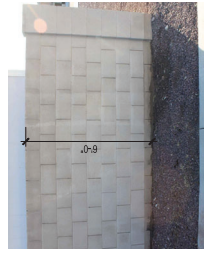
ACCENT COLUMN + FENCE AT PARK



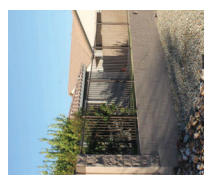
ACCENT COLUMN



STONE WALL + ACCENT COLUMN



FENCE BLOCK WALL



VIEW FENCE



MAILBOX (7 TOTAL)



RAMADA WITH ACCENT COLUMNS AT PARK

CITY OF PHOENIX
JAN 04 2024
Planning & Development
Department

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CONSTRUCTION

KVA-000000
SCA-000000
PAP-000000