

ATTACHMENT A

**THIS IS A DRAFT COPY ONLY AND IS NOT AN OFFICIAL COPY OF THE FINAL,
ADOPTED ORDINANCE**

ORDINANCE G-

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-SP-7-19-5) FROM C-2 (INTERMEDIATE COMMERCIAL) TO C-2 SP (INTERMEDIATE COMMERCIAL, SPECIAL PERMIT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 1.27-acre property located approximately 280 feet west of the northwest corner of 41st Drive and Camelback Road in a portion of Section 15, Township 2 North, Range 2 East, as described more specifically in Exhibit “A”, is hereby changed from “C-2” (Intermediate Commercial) to “C-2 SP” (Intermediate Commercial, Special Permit) to allow for self-storage and all underlying C-2 uses.

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit “B”.

SECTION 3. Due to the site’s specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. Twenty-five percent of the trees in the required landscape setbacks shall be minimum 4-inch caliper and 75 percent of the trees shall be minimum 3-inch caliper. Five 5-gallon shrubs per tree shall be provided, and additional shrubs or live groundcover, shall provide minimum 75 percent live cover at mature size, as approved by the Planning and Development Department.
2. All sidewalks adjacent to public rights-of-way shall be detached with a minimum 5-foot-wide continuous landscape area located between the sidewalk and back of curb; and shall include minimum 5-gallon shrubs with a maximum mature height of 2 feet providing 75 percent live cover, as approved by the Planning and Development Department.
3. The development shall be in general conformance with the elevations date stamped February 7, 2020 with specific regard to the brick veneer facades, as approved by the Planning and Development Department.
4. The developer shall plant shade trees in and around the parking area to provide shade for 25 percent of the parking area at maturity as approved by the Planning and Development Department.
5. The developer shall provide a fully accessible pedestrian path from the sidewalk along Camelback Road through the site connecting to the proposed ADA path on the northwest corner of the site. The path shall make an uninterrupted, accessible pedestrian connection to the Camelback Road sidewalk. The entirety of the path shall be painted or otherwise treated to provide visual delineation from the parking surfaces and drive aisles, as approved by the Planning and Development Department.
6. The developer shall restrict left-turn egress movements from the existing driveway to Camelback Road through signage and/or painted driveway surface. The developer shall coordinate with the Street Transportation Department during the site development permitting process to establish a design that is compatible with the site usage, as approved by the Street Transportation Department.
7. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
8. The right-of-way and bus stop pad along westbound Camelback Road along frontage of APN 145-08-619R shall be retained. Any relocation or modification shall require approval by the Public Transit Department.
9. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials

10. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 20th day of May, 2020.

MAYOR

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

REVIEWED BY:

City Manager

Exhibits:

A – Legal Description (2 Pages)

B – Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR Z-SP-7-19-5

APN 145-08-619R

THE WEST 120 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF TRACT "D", OF CAMELBACK ESTATES WEST, A SUBDIVISION RECORDED AS BOOK 113 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF THE SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15;

MEASURE THENCE NORTH 89 DEGREES 42 MINUTES 05 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, A DISTANCE OF 662.36 FEET;

THENCE NORTH 00 DEGREES 17 MINUTES 55 SECONDS WEST 65.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE SOUTHERLY LINE OF SAID TRACT "D" OF CAMELBACK ESTATES WEST;

THENCE NORTH 206.54 FEET TO A CORNER ON THE NORTHERLY LINE OF SAID TRACT "D" OF CAMELBACK ESTATES WEST;

THENCE EAST ALONG THE NORTHERLY LINE OF SAID TRACT "D" OF CAMELBACK ESTATES WEST, A DISTANCE OF 320.32 FEET TO A POINT 150.00 FEET WESTERLY FROM THE EAST LINE OF SAID TRACT "D";

THENCE SOUTH 00 DEGREES 17 MINUTES 55 SECONDS EAST PARALLEL TO THE SAID EAST LINE OF TRACT "D" 204.87 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID TRACT "D";

THENCE SOUTH 89 DEGREES 42 MINUTES 05 SECONDS WEST ALONG SOUTHERLY LINE OF SAID TRACT "D" OF CAMELBACK ESTATES WEST, 321.39 FEET TO THE TRUE POINT OF BEGINNING.

APN 145-08-619S

THAT PART OF TRACT "D" OF CAMELBACK ESTATES WEST, A SUBDIVISION RECORDED AS BOOK 113 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15;

THENCE NORTH 89 DEGREES 42 MINUTES 05 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, A DISTANCE OF 662.36 FEET;
THENCE NORTH 00 DEGREES 17 MINUTES 55 SECONDS WEST, A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTHERLY LINE OF TRACT "D" OF CAMELBACK ESTATES WEST;

THENCE NORTH 206.54 FEET TO A CORNER ON THE NORTHERLY LINE OF TRACT "D" OF CAMELBACK ESTATES WEST;

THENCE EAST ALONG THE NORTHERLY LINE OF TRACT "D" OF CAMELBACK ESTATES WEST A DISTANCE OF 320.32 FEET TO A POINT 150.00 FEET WESTERLY FROM THE EAST LINE OF SAID TRACT "D";

THENCE SOUTH 00 DEGREES 17 MINUTES 55 SECONDS EAST, PARALLEL TO THE EAST LINE OF TRACT "D" A DISTANCE OF 204.7 FEET TO A POINT ON THE SOUTHERLY LINE OF TRACT "D";

THENCE SOUTH 89 DEGREES 42 MINUTES 05 SECONDS WEST, ALONG THE SOUTHERLY LINE OF SAID TRACT "D" OF CAMELBACK ESTATES WEST, A DISTANCE OF 321.39 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THE EAST 123 FEET; AND

EXCEPT THE WEST 120 FEET THEREOF.

ORDINANCE LOCATION MAP

EXHIBIT B

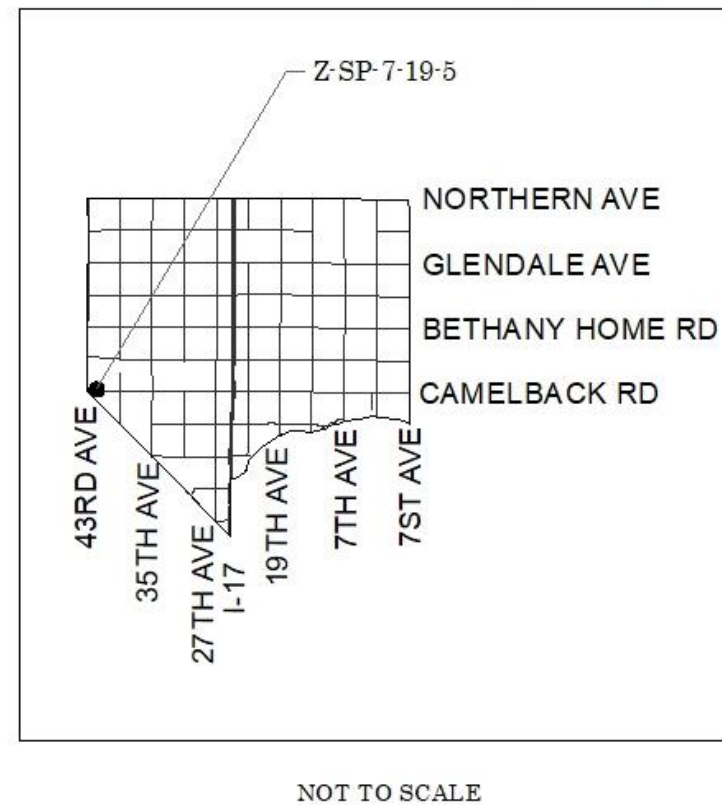
ZONING SUBJECT TO STIPULATIONS: *

SUBJECT AREA: ■ ■ ■ ■ ■

Zoning Case Number: Z-SP-7-19-5

Zoning Overlay: N/A

Planning Village: Alhambra



Drawn Date: 4/3/2020