

ATTACHMENT D

PLEASE RESPOND ELECTRONICALLY TO CHASE HALE 2ND FLOOR, 602-262-4544



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned
From: Joshua Bednarek
Planning & Development Department Director
Date: May 12, 2023
Subject: **P.H.O. APPLICATION NO. PHO-1-23—Z-7-16-7** – Notice of Pending Actions
by the **Planning Hearing Officer**

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **June 21, 2023**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **May 19, 2023**.

DISTRIBUTION

Mayor's Office (Tony Montola), 11th Floor
City Council (Stephanie Bracken), 11th Floor
Aviation (Jordan D. Feld)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Aaron Conway), 2nd Floor
Light Rail (Joel Carrasco/Special TOD Only)
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Natasha Hughes), 16th Floor
Public Transit (Michael Pierce)
Street Transportation Department (Maja Brkovic, Josh Rogers, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Mailen Pankiewicz), 5th Floor
Street Transportation - Floodplain Management (Kristina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Joshua Bednarek, Tricia Gomes), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Byron Easton, Chase Hales), 2nd Floor
Village Planner (Nayeli Sanchez Luna, Estrella Village)
Village Planning Committee Chair (Lisa M. Perez, Estrella Village)



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-1-23--Z-7-16

Council District: 7

Request For: Stipulation Modification

Reason for Request: Request to modify Stipulation 1 regarding general conformance with the site plan and elevations date stamped April 28, 2016.. Request to modify Stipulation 2 regarding required revisions to the elevations date stamped February 18, 2016..

Owner	Applicant	Representative
3125 West Land Development LLC 2136 West Brentree Drive Phoenix AZ 85009 (602) 725-8880 gbbarno@aol.com	Gary Barno 26715 North 24th Avenue Phoenix AZ 85085 (480) 272-0880 gbbarno@aol.com	Colin Kenyon, Presence Design Pllc 115 East Campo Desierto Road Tempe AZ 85281 P: (480) 695-8602 F: presencedesign.cdk@outlook.com

Property Location: Approximately 300 feet west of the northwest corner of 31st Avenue and Yuma Street

Zoning Map: F-6 Quarter Section: 8-21 APN: 105-11-010C Acreage: 1.26
 Village: Estrella
 Last Hearing: CC HEARING
 Previous Opposition: No
 Date of Original City Council Action: 07/01/2016
 Previous PHO Actions: _____
 Zoning Vested: C-3
 Supplemental Map No.: _____
 Planning Staff: 075891

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning.mailbox@phoenix.gov or visit our website at <http://phoenix.gov/pdd/licensetimes.html>.

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

Fee	Fee Waived	Fee Date	Receipt	Purpose
\$1,080.00	\$0.00	04/18/2023	23-0029418	Original Filing Fee

Signature of Applicant: _____ DATE: _____

Hearing Results

Planning Hearing Officer	Planning Commission	City Council
Date: <u>06/21/2023 1000 AM</u>	Date: _____	Date: _____
Appealed?: _____	Appealed?: _____	Appealed?: _____
Action: _____	Action: _____	Action: _____

04 May 2023

City of Phoenix
Attn: Planning Hearing Officer
200 W. Washington Street, 2nd Floor
Phoenix, AZ 85003

Request: Modification and/or waiver for Stipulations one and two pursuant to old case number Z-7-16-7; and new case number ZA-35-23-7. On the site located at 3130 West Yuma Street in Phoenix, Arizona.

To the Planning Hearing Officer:

We are requesting a determine if any changes or modifications to the stipulations in case Z-7-16-7 will be necessary under the current development proposal ZA-35-23-7 prior to submittal of Preliminary Plan [PRLM].

Proposal:

Our proposal is to modify The Site Plan and Elevation Drawings approved at the rezoning hearing case Z-7-16-7; showing a 14, 690 SF structure for warehouse use. We now are proposing a 2,025 SF structure for vehicle dealership office with service bay building and outdoor display and parking.



Stipulations #1. The development shall be in general conformance with the site plan and elevations date ~~stamped 28 April 2016~~, as modified by the following stipulations and approved by the Planning and Development Department.

The development shall be in general conformance with the site plan SP 1.01, elevations SP1.04 and SP1.05 date stamped 01 April 2023, as modified by the following stipulations and approved by the Planning and Development Department.

Reason: Market place changes in this area of City.

Request: is approval of proposed new site plan adjustments.

~~*Stipulations #2.* The elevations date stamped 18 February 2016 shall be revised to provide architectural treatment such as banding, offsets, pop outs, accent materials, or detailing to break up building mass along the south elevation, as approved by the Planning and Development Department.~~

Stipulation to be removed

Reason: new Elevation adjustments made in stipulation 1

SITE DATA:

- This project is located at 3130 W YUMA ST, Phoenix, AZ 85009
- APN: 105-11-010C; QS Q8-21; District 07
- Legal Description: THE SOUTH HALF OF LOT 6, FOUR BOY EIGHTY, ACCORDING TO BOOK 20 OF MAPS, PAGE 30, RECORDS OF MARICOPA COUNTY, ARIZONA
- Village: Estrella
- Zoning Category: This 49,541 sq ft. 1.14-acre property is zoned Commercial C-3 District—General Commercial.
- General Plan Description: Commercial



- Plan Number 2208707
- Plan Type: PAPP
- Plan Type Description: PREAPPLICATION REVIEW
- Project Number: 22-3581
- Plan Review Issue Date: 28 November, 2022

Rezoning History

On April, 2016, the Phoenix City Council voted to approve Case Number Z-7-16-7. The approval was for a rezoning of the Site from a 1.76-acre site located approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street from R-3 (Multifamily Residential) to C-3 (General Commercial) to allow office and warehouse uses.

The rezoning was approved upon the condition that the following six overall site stipulations were met:

Stipulations:

1. The development shall be in general conformance with the site plan and elevations date stamped April 28, 2016, as modified by the following stipulations and approved by the Planning and Development Department.
2. The elevations date stamped February 18, 2016 shall be revised to provide Architectural treatment such as banding, offsets, popouts, accent materials, or detailing to break up building mass along the south elevation, as approved by the Planning and Development Department.
3. A minimum landscape setback of 15-feet shall be provided along the west property line, as approved by the Planning and Development Department.



4. On-site lighting shall not exceed a maximum of six feet in height within twenty feet of a residential zoning district as approved or modified by the Planning and Development Department.

5. Outdoor storage shall not exceed 8-feet in height within 25-feet of a residential zoning district.

6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

Use Permit History

On 10 January 2023, a Use Permit was requested to allow a car dealership at 3120 West Yuma St., a use permitted by Section 624. Commercial C-3 District of the Zoning Ordinance, as the use does not cause an adverse impact on adjacent property or properties in the area. The ZA hearing, case # ZA-35-23-7, we had on 09 March 2023 was continued to 20 April 2023, 9:00am. Hearing officer said we did not need a use permit and ask us to pull the request.

IN CLOSING

The site plan adjustment is minor and lower impact on the property and the neighboring properties with very little impact on the City's infrastructure as project size is reduced. The project design will continue meets all zoning requirements.

Sincerely,

David II Kenyon

Principal Architect Presence Design

ORDINANCE G-6189

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCELS DESCRIBED HEREIN (CASE Z-7-16-7) FROM R-3 (MULTIFAMILY RESIDENCE DISTRICT) TO C-3 (GENERAL COMMERCIAL) WITH ALL UNDERLYING USES.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as

follows:

SECTION 1. The zoning of approximately 1.76 acres of property, located approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street, in a portion of Section 14, Township 1 North, Range 2 East, as described more specifically in Attachment "A", is hereby changed from "R-3" (Multifamily Residence District) to "C-3" (General Commercial).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Attachment "B".

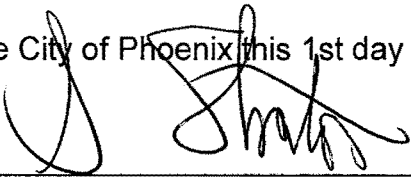
SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations,

violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

- Mod 1.** The development shall be in general conformance with the site plan and elevations date stamped April 28, 2016, as modified by the following stipulations and approved by the Planning and Development Department.
- Del 2.** The elevations date stamped February 18, 2016, shall be revised to provide architectural treatment such as banding, offsets, popouts, accent materials, or detailing to break up building mass along the south elevation, as approved by the Planning and Development Department.
- 3. A minimum landscape setback of 15-feet shall be provided along the west property line, as approved by the Planning and Development Department.
- 4. On-site lighting shall not exceed a maximum of six feet in height within twenty feet of a residential zoning district as approved or modified by the Planning and Development Department.
- 5. Outdoor storage shall not exceed 8-feet in height within 25-feet of a residential zoning district.
- 6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

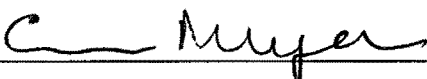
SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 1st day of July, 2016.

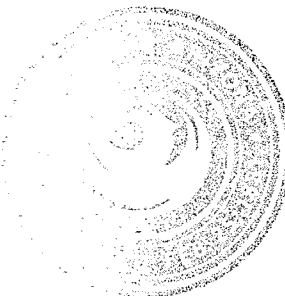


MAYOR

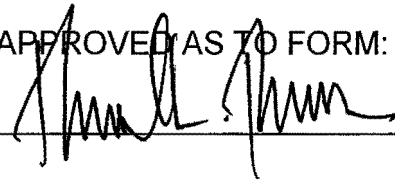
ATTEST:



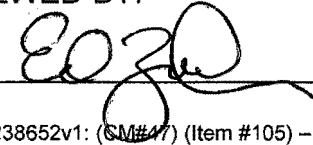
City Clerk



APPROVED AS TO FORM:


Acting City Attorney pm!

REVIEWED BY:


City Manager

PL:tml:1238652v1: (SM#47) (Item #105) - 7/1/16

Attachments:

A - Legal Description (1 Page)

B - Ordinance Location Map (1 Page)

ATTACHMENT A

LEGAL DESCRIPTION FOR Z-7-16-7

Parcel No. 1: 105-11-010-A

Section, Township, Range: 14 1N 2E

The West half of the South half of Lot 6, FOUR BOY EIGHTY, according to Book 20 of Maps, Page 30, records of Maricopa County, Arizona.

Parcel No. 2: 105-11-010-B

Section, Township, Range: 14 1N 2E

The East half of the South half of Lot 6, FOUR BOY EIGHTY, according to Book 20 of Maps, Page 30, records of Maricopa County, Arizona.

Parcel No. 3: 105-11-015-C

Section, Township, Range: 14 1N 2E

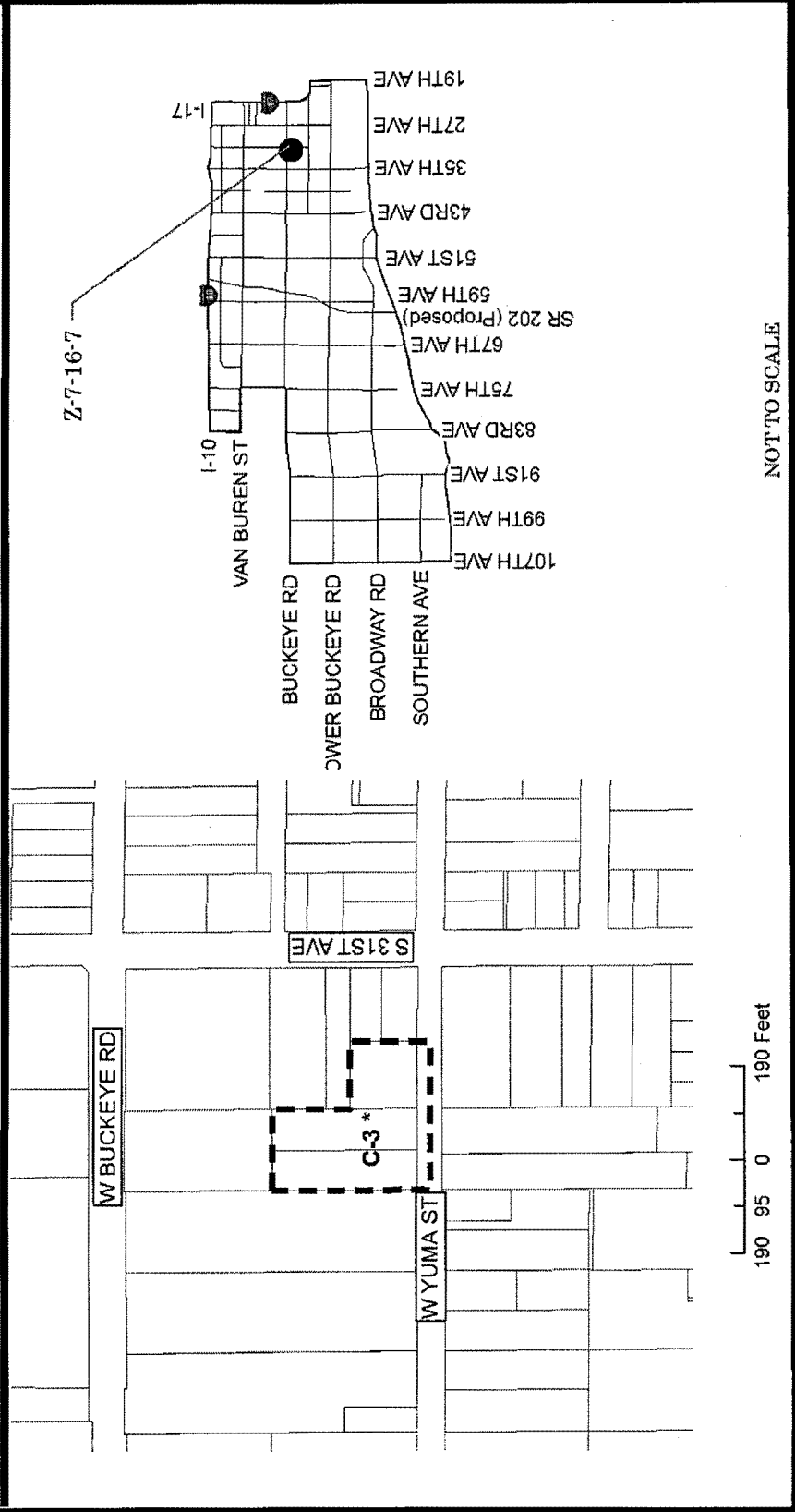
Lot 9, FOUR BOY EIGHTY, according to Book 20 of Maps, page 30, records of Maricopa County, Arizona; Except the East 152.00 feet thereof.

ATTACHMENT B

ORDINANCE LOCATION MAP

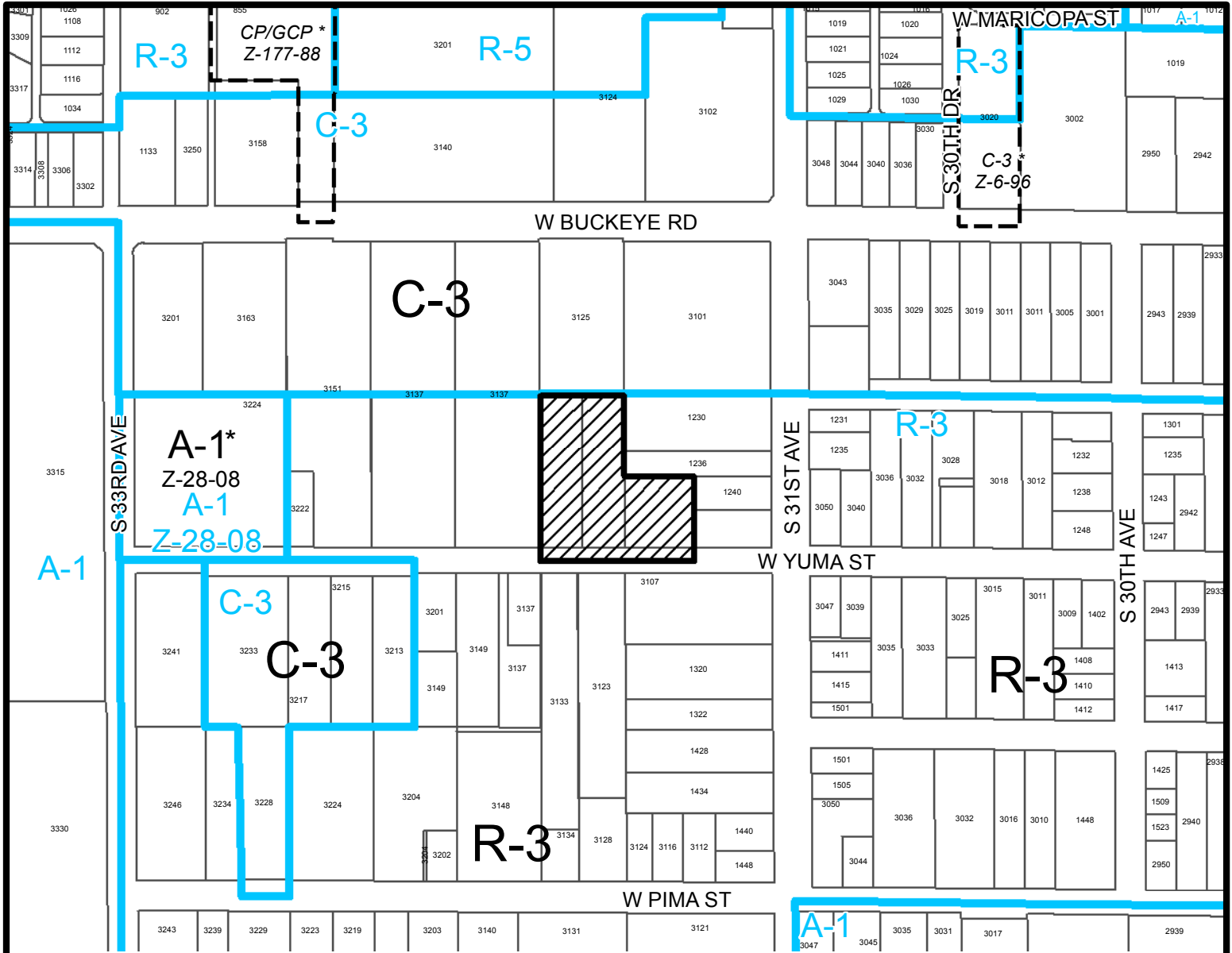
Zoning Case Number: Z-7-16-7
Zoning Overlay: N/A
Planning Village: Estrella

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: ■■■■■



Drawn Date: 6/2/2016

R:\IS_Team\Core_Functions\Zoning\SuppMaps_OrdMaps\2016 Ord\7_1_16\Z-7-16-7.mxd



Feet

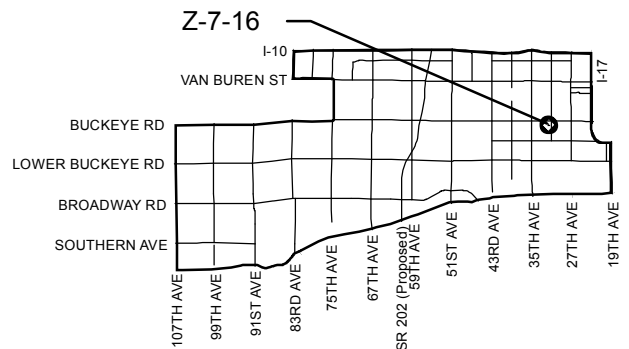


ESTRELLA VILLAGE
CITY COUNCIL DISTRICT: 7



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: **Gary Barno**

APPLICATION NO. **Z-7-16** DATE: **3/10/16**
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.
1.76 Acres

AERIAL PHOTO & QUARTER SEC. NO. **QS 8-21** ZONING MAP **F-6**

REQUESTED CHANGE:
FROM: **R-3 (1.76 a.c.)**
TO: **C-3 (1.76 a.c.)**

MULTIPLES PERMITTED	CONVENTIONAL OPTION	* UNITS P.R.D. OPTION
R-3	25	30
C-3	25	30

* Maximum Units Allowed with P.R.D. Bonus



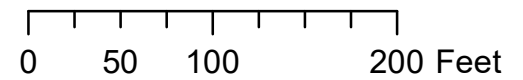
Maricopa County Assessor's Office

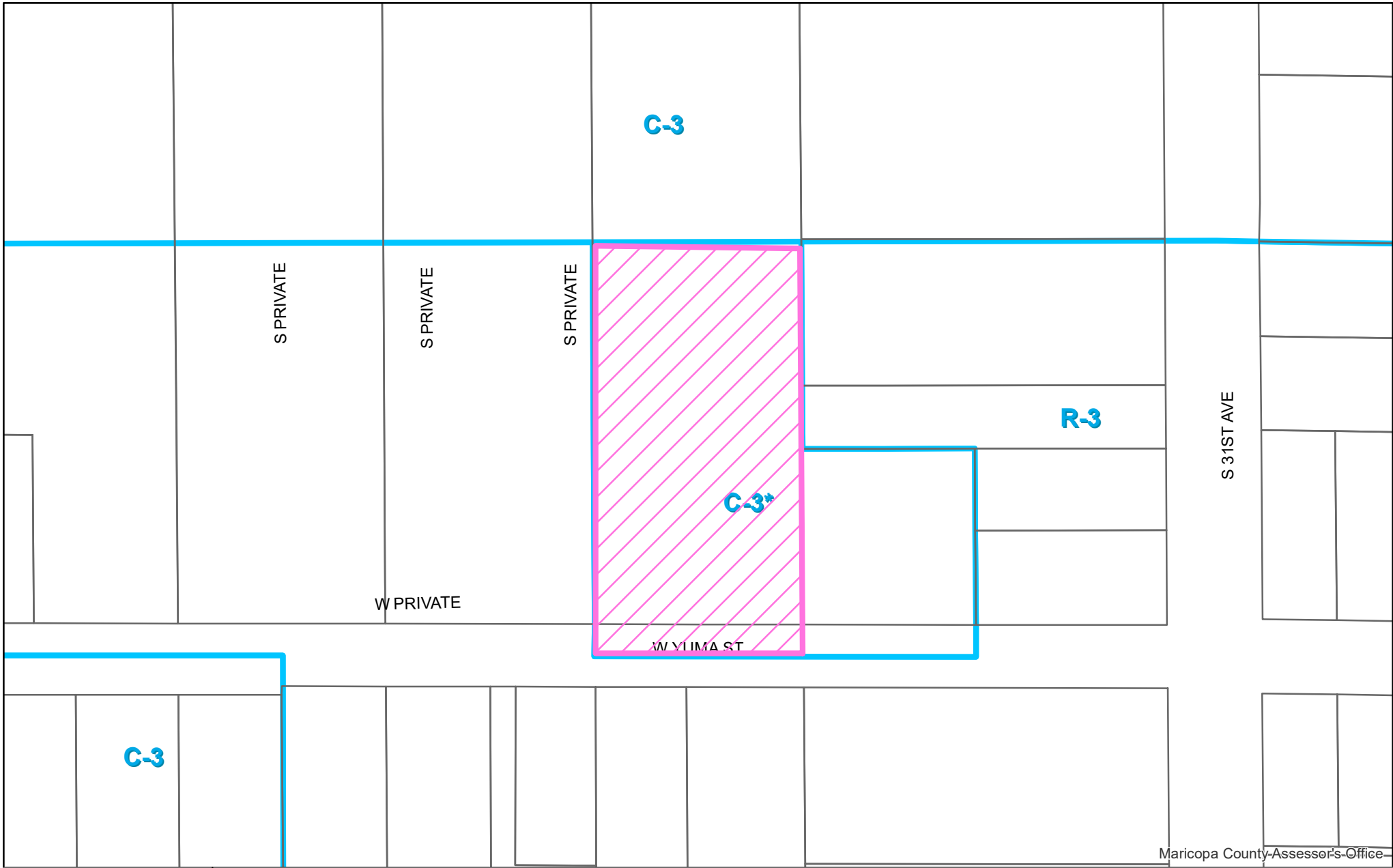
PHO-1-23--Z-7-16-1

Property Location: Approximately 300 feet west of the northwest corner of 31st Avenue and Yuma Street



Planning & Development Department





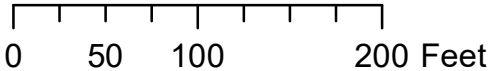
Maricopa County Assessor's Office

PHO-1-23--Z-7-16-1

Property Location: Approximately 300 feet west of the northwest corner of 31st Avenue and Yuma Street



Planning & Development Department



This drawing is the property of Presence Design PLLC and is limited to the original use for which it was prepared. Changes, reproduction, or assigning to any third party of this drawing for any other use is not permitted without written consent © 2023

ADA Notes:

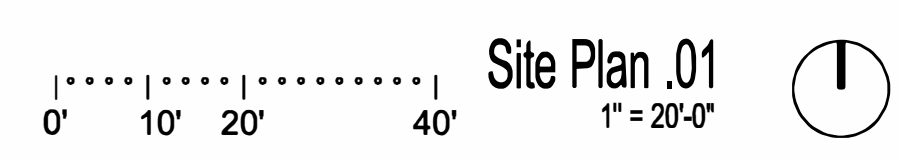
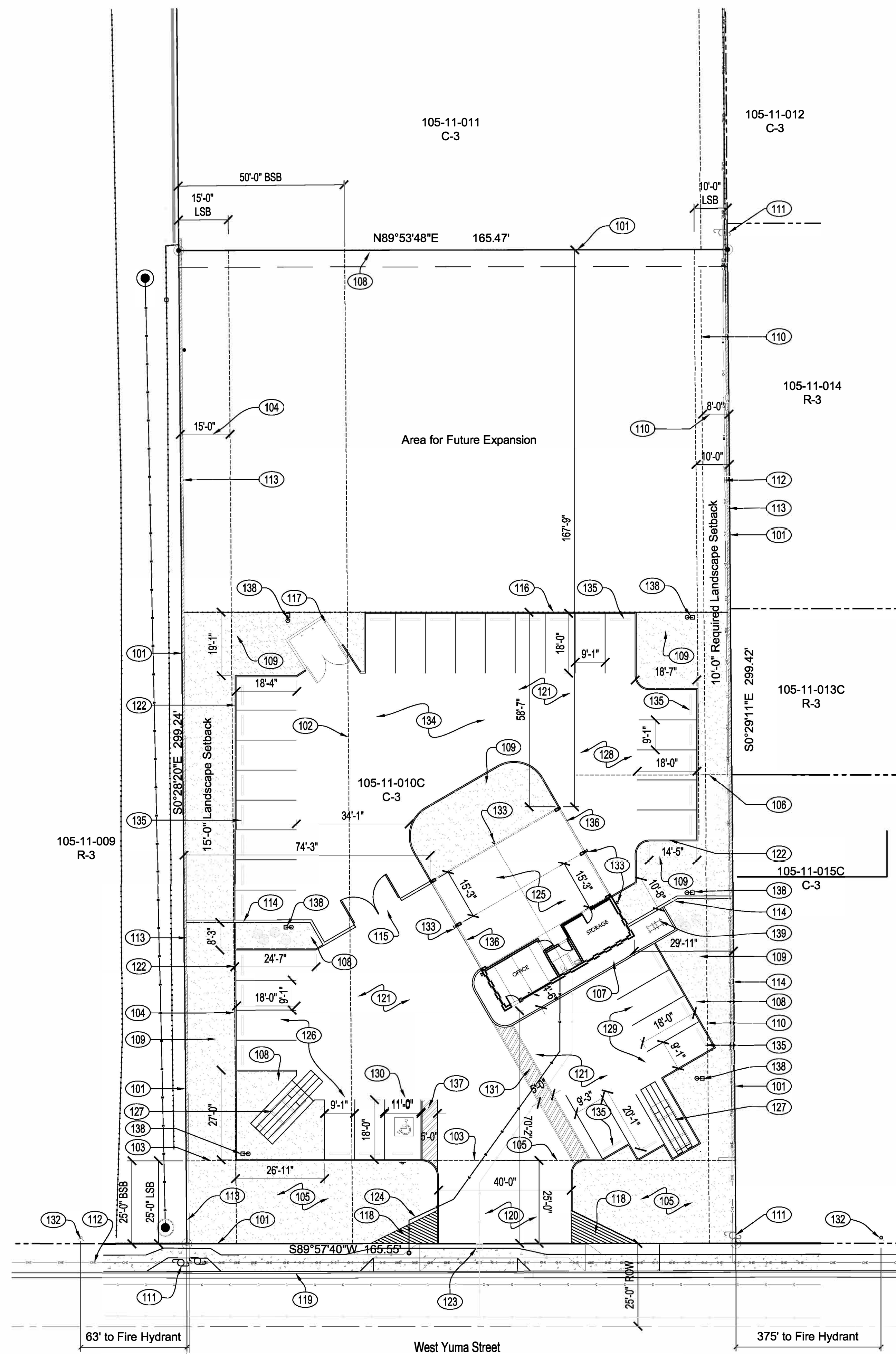
- Existing accessible spaces shall be painted to meet City of Phoenix code requirements.
- Accessible spaces shall be striped on all sides, unless bordered by curb.
- All ramps must meet ADA Accessibility Guidelines (ADAAG) Standards; 2% max cross slopes and 12:1 max longitudinal slopes.

Special Planning Notes

- This project will require lot ties. (see Key Note 122)
- At the west lot line a 15'-0" landscape setback is required per zoning case Z-7-16-7. (see keynote 131)
- Site plan must be in general conformance with zoning case Z-7-16-7 01 July 2016 stipulations.
 - The development shall be in general conformance with the site plan and elevations date stamped April 28, 2016, as modified by the following stipulations and approved by the Planning and Development Department.
 - The elevations date stamped February 18, 2016, shall be revised to provide architectural treatment such as banding, offsets, popouts, accent materials, or detailing to break up building mass along the south elevation, as approved by the Planning and Development Department.
 - A minimum landscape setback of 15-feet shall be provided along the west property line, as approved by the Planning and Development Department.
 - On-site lighting shall not exceed a maximum of six feet in height within twenty feet of a residential zoning district as approved or modified by the Planning and Development Department.
 - Outdoor storage shall not exceed 8-feet in height within 25-feet of a residential zoning district.
 - The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

Keynotes

- Property line.
- Required 50'-0" Building setback Line.
- Required 25'-0" Building set back Line.
- Required 15'-0" landscape setback line per item 3.3 Z-7-16-7.
- 25'-0" Landscape set back, with landscaping to meet City standards. Per Section 624 E.4 E
- End of Required 10' required landscape setback along R-3.
- Front Building Landscape area.
- Parking landscape area.
- Decomposed granite & landscaped retention Basin.
- 8'-0" Electrical Easement
- Existing power pole.
- Existing overhead power line.
- Existing 8'-0" CMU wall.
- New 6'-0" screen CMU Wall per Section 507 TAB A.II.A.7 (See detail .01 on sheet PA1.02)
- 6'-0" high Non-view Pro-Glide Metal Welded Mesh Gate per Section 507 TAB A.II.A.7 (See detail .09 on sheet PA1.02)
- 4'-0" high Non-View New Mesh metal Panel fence per Section 507 TAB A.II.A.7 (See Detail .02 on sheet PA1.02)
- New trash enclosure to meet COP Standards. (See detail .03 on sheet PA1.02)
- 10' x 20' visibility triangle. (see Special Planning Note #5).
- Existing curb, gutter, and sidewalk. (See detail .06 on sheet PA1.02) (Replace if broken or out of grade. Upgrade to ADA standards.
- 40'-0" Wide Existing access point driveway. To be removed and replaced per city standards.)
- Dust proof parking surface.
- Dust proof surface edge.
- Existing Water Meter
- Sewer Tap for single Rest Room (Location to be determined)
- Main Metal building with work bays, sales office and a rest room.
- Vehicle Inventory front row sales.
- Vehicle metal highlight Platform.
- Pre-sales vehicle inspection area.
- Customer parking.
- ADA parking. With reserved sign per city standard section 7.06. (See detail .04 on sheet PA1.02)
- 5'-0" Wide concrete access to public way
- Existing Fire Hydrant per fire department 507.5.1.
- Building wall lights to meet City standards see S.P.N. 5.
- Sales lot
- Precast Concrete curb bumper (See Detail .08 on sheet PA1.02)
- Building's Roll-up Door
- 5'-0" wide access isle per Section 702G .2
- Pole mounted exterior lighting - max. 15' high typical, per Section 507 TAB A.II.A.8.3. (per detail .07/PA 1.02)
- Required Bicycle parking two spots. (per detail .05/PA1.02)



Proposed Conceptual Site Plan

Project Data

PARCEL NUMBER:
105-11-010C

LEGAL DESCRIPTION
Parcel Lot #: 105-11-010-A
Section, Township, Range: 14 1N 2E
The West half of the South half of Lot 6, FOUR BOY EIGHT, a subdivision recorded in Book 20 of Maps, Page 30, records of Maricopa County, Arizona.
Parcel Lot #: 105-11-010-B
Section, Township, Range: 14 1N 2E
The East half of the South half Lot 6, FOUR BOY EIGHT, a subdivision recorded in Book 20 of Maps, Page 30, records of Maricopa County, Arizona

NEW LEGAL DESCRIPTION
THE SOUTH HALF OF LOT 6, FOUR BOY EIGHTY, ACCORDING TO THE FINAL PLAT RECORDED IN BOOK 20 OF MAPS, PAGE 30 IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA.

PROJECT ADDRESS: 3130 West Yuma Street, Phoenix, Arizona 85009

ZONING: C-3
(Rezoned R-3 to C-3 Case# Z-7-16-7 (01 July 2016) Zoning Ordinance # G-6189)

SITE AREA: Gross: 53,681 sq. ft. or 1.24 acres; Net 49,542 sq ft or 1.14 acres (Lot area per ALTA/NSPA 30 September 2019)

BUILDING AREA : Proposed Building: 2,025.0 sf

LOT COVERAGE
Allowable: 50% Proposed: 2,025 / 49,542 = 4%

CONSTRUCTION TYPE : VB

FIRE SPRINKLERS: Non Sprinkled

BUILDING HEIGHT
Allowable - 30'-0" (2 stories) Proposed - 24'-0" (1 story)

BUILDING SETBACKS

Street (North Side):	Required	Provided
West Side: R-3	25 feet	25 feet
East Side: R-3	50 feet	50 feet
East Side: C-3	50 feet	50 feet
Rear Side: C-3	0 feet	0 feet
Rear Side: C-3	0 feet	26 feet

LANDSCAPE SETBACKS

Street:	Required	Provided
West Side: R-3	25 feet	25 feet
East Side: R-3	15 feet	15 feet
East Side: C-3	10 feet	10 feet
Rear Side: C-3	0 feet	5 feet
Rear Side: C-3	0 feet	0 feet

REQUIRED PARKING LANDSCAPE

Parking	Required	Provided
1 Space per 300s.f. Office & covered sale area	1	1 Space
1 Space per 10,000 s.f. of outdoor display	2	2 Spaces
1 Space per 3 employees & 1 Space for each bay	2	2 Spaces
Accessible Parking (2% of required parking)	1	1 Space
Total	6	6 Spaces

Flood Zone: Located flood insurance rate map as Zone X (Community number 040051 effective 16 October 2013)

Site Plan Notes

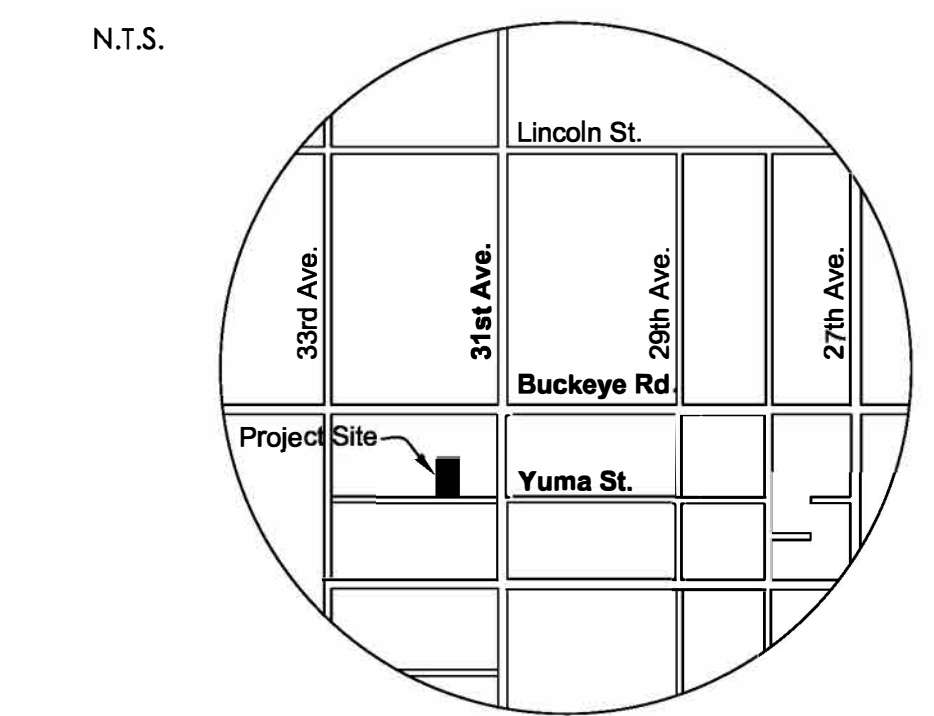
- Development and use of this site will conform with all applicable codes and ordinances.
- All new or relocated utilities will be placed underground.
- Structures and landscaping within a triangle measured back 10' from the property line and 20' along the property line on each side of the driveways entrances will be maintained at a maximum height of 3'.
- Structures and landscaping within a triangle measuring 33' x 33' along the property lines will be maintained at a maximum height of 3'.
- Any lighting will be placed so as to direct light away from adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor, or vibration will be emitted at any level exceeding the general level of noise, odor, or vibration emitted by uses in the area outside of the site.
- Owners of property adjacent to public rights-of-way will have the responsibility for maintaining all landscaping located within the rights-of-way, in accordance with approved plans.
- All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
- All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical or electrical equipment from eye level adjacent to all public streets.
- Barbed, razor, or concertina wire (or similar) shall not be used on this site where visible from public streets or adjacent residential areas.
- All signage requires separate reviews, approvals, and permits. No signs are approved per this plan.
- This project is located in the City of Phoenix water service area and has been designated as having an assured water supply
- These drawings are the property of the architect and may not be changed or reproduced without the written consent of the David Kenyon Architect.

Sheet Index

- PA 1.01 Preliminary Site Plan
- PA 1.02 Site Details
- PA 1.03 Context Plan
- PA 1.04 Elevations
- PA 1.05 Elevations



Vicinity Map



Project Description

NEW STRUCTURE FOR VEHICLE DEALERSHIP OFFICE & SERVICE BAY BUILDING WITH OUTDOOR DISPLAY & PARKING. The actual sale of the vehicle displayed will be completed by a registered retail sales dealership.

Project Directory

ARCHITECT
Presence Design PLLC Contact: Colin Kenyon
115 E. Campo Desierto Road, Tempe, Arizona 85281
Tel: 480-695-0877 Email: presencedesign.cdk@outlook.com

OWNER
3125 West Land Development LLC Contact: Gary Barro
2136 W. Bent Tree Drive, Phoenix, Arizona 85009
Tel: 602 725 8880 Email: GBBARNO@AOL.COM

SURVEYOR
Extreme Land Surveying, Michael Jennings
8701 E Vista Bonita Dr., Suite 210, Scottsdale, AZ 85255
Tel: (602) 574-6171 Email: 3kjennings@gmail.com

Governing Building Codes

2018 City of Phoenix Building Construction Codes
On June 6, 2018, the Phoenix City Council approved the adoption of the 2018 Phoenix Building Construction Code (PBCC).

Amendments were approved in the following order: Code Committee(s), Development Advisory Board (DAB) Technical Subcommittee or DAB Administrative Subcommittee, full Development Advisory Board (DAB), Downtown, Aviation, Economy, and Innovation (DAEI) Subcommittee and the Formal City Council.

2018 International Building Code (IBC)
2018 International Mechanical Code (IMC)
2018 International Plumbing Code (IPC)
2018 International Fuel Gas Code (IFGC)
2018 International Energy Conservation Code (IECC)
2017 National Electrical Code (NEC)
2018 Phoenix Fire Code

ADA Codes are referenced in the 2018 International Building Code, as well as ICC A117.1-2009 and the 2010 ADA Standards for Accessible Design.

City Approval

5' x 5' AREA RESERVED FOR PLAN APPROVAL STAMPS

PRML: 2010441
PRLC 200119
PAPP: 2208707
KNV# 22-3581
SDEV# 220510

Zoning Case Number(s): Rezoned R-3 to C-3 Case# Z-7-16
Zoning Stipulations: Zoning Ordinance # G-6189
ADDR: 220526

CITY OF PHOENIX

APR 1 8 2023

Planning & Development
Department

5' x 5' AREA RESERVED FOR PLAN APPROVAL STAMPS

Site Plan

YUMA STREET CAR DEALERSHIP

3130 W YUMA ST, Phoenix, AZ 85009

PRESENCE DESIGN

Phoenix, AZ

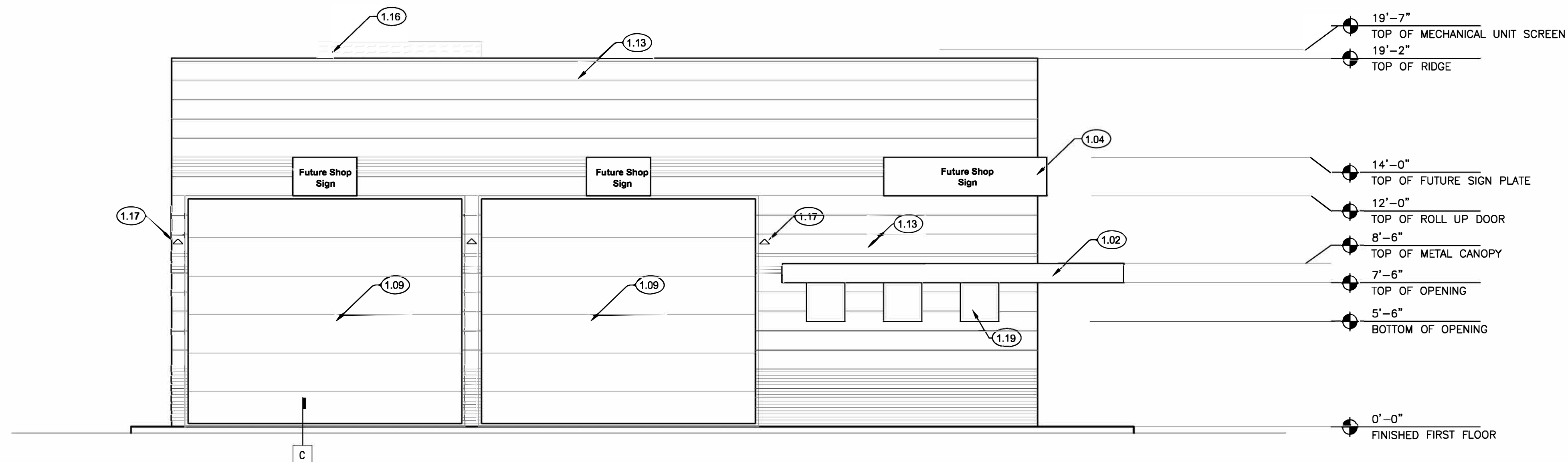
3130 W YUMA ST, Phoenix, AZ 85009

Use Permit Request
PD 2209.04

SP 1.01

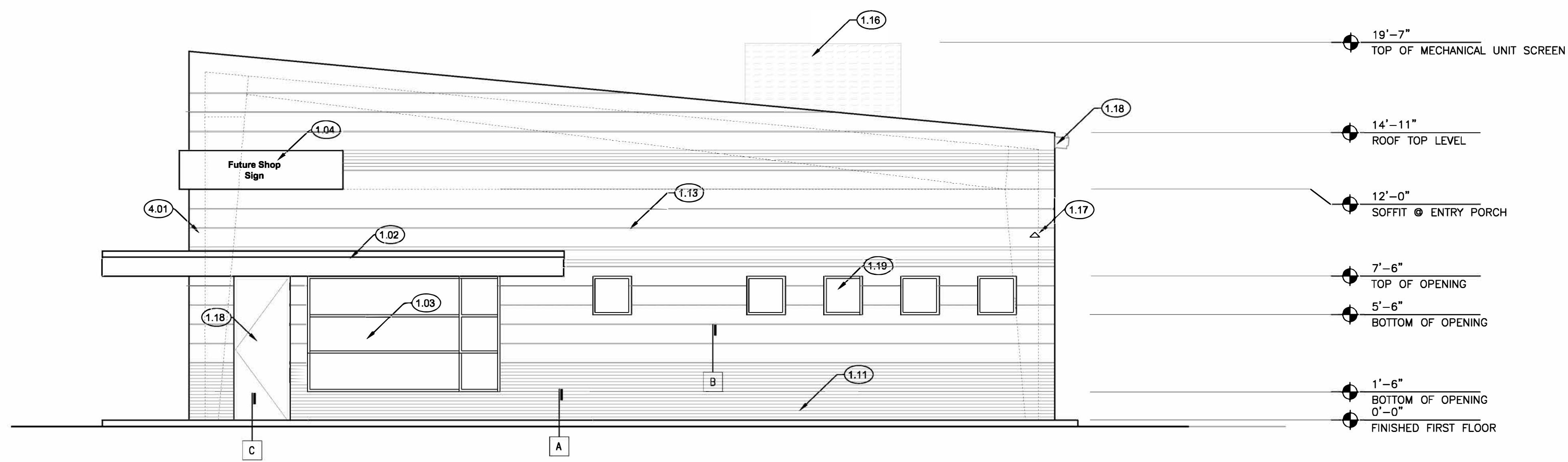
Hearing Date: June 21, 2023

This drawing is the property of Presence Design PLLC and is limited to the original use for which it was prepared. Changes, reproduction, or assigning to any third party of this drawing for any other use is not permitted without written consent © 2023



South West Elevation .02

Scale: 1/4" = 1'-0"
0 1/4' 5' 10'



South East Elevation .01

Scale: 1/4" = 1'-0"
0 1/4' 5' 10'

Paint panel colors

- A Panel Mx 1.0 Spartan bronze
- B Panel Mx 6.0 Antique bronze
- C Door metal trim Dunn Edwards DE 511 dry creek

Keynotes

- 1.01 Metal Entrance Canopy.
- 1.02 24" X 24" Window openings with non-reflective double pane glass
- 1.03 Future signage not in project. (sign permit required under separate permit)
- 1.04 (2) 3'-0" x 7'-0" Double hollow metal SES doors (Full louver vent per SES requirements)
- 1.05 3'-0" x 7'-0" hollow metal riser room door.
- 1.06 12'-0" x 12'-0" overhead doors
- 1.07 Hollow metal window frame
- 1.08 Base metal wall panel
- 1.09 Flat metal wall panel
- 1.10 Metal wall panel
- 1.11 Standing seam Moran metal roof
- 1.12 10" building street number.
- 1.13 Screened roof mounted HVAC unit height to match (see detail .04 / PA2.2)
- 1.14 Exterior wall surface down-Lighting (per Section 507 Tab A)
- 1.15 Eave Gutter Standard F2005

City Approval

5" x 5" AREA RESERVED FOR PLAN APPROVAL STAMPS

PRML: 2010441
 PRLC 200119
 PAPP: 2208707
 KVA# 22-3581
 SDEV# 220510
 Zoning Case Number(s): Rezoned R-3 to C-3 Case# Z-7-16
 Zoning Stipulations: Zoning Ordinance # G-6189
 ADDR: 220526

CITY OF PHOENIX

APR 16 2023

Planning & Development
Department

5" x 5" AREA RESERVED FOR PLAN APPROVAL STAMPS

Elevations

YUMA STREET GAR DEALERSHIP

3130 W YUMA ST, Phoenix, AZ 85009

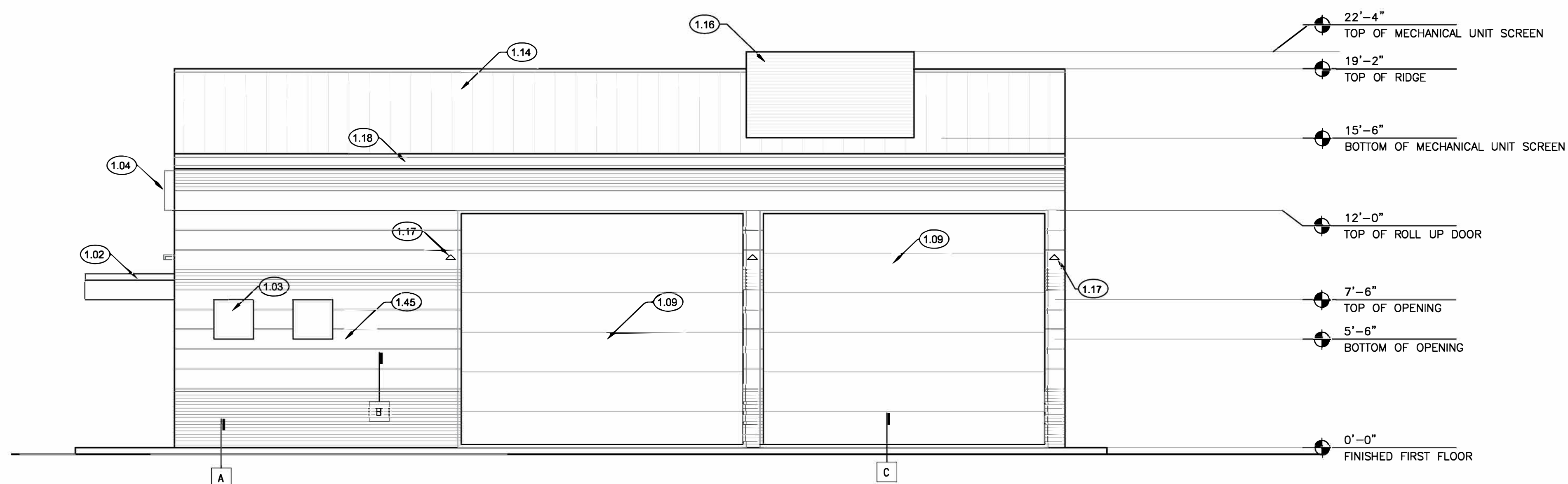


PRESENCE DESIGN
Phoenix, AZ

AUTH
CHK

Use Permit Request
PD 2209.04
01 April 2023
SP 1.04
Hearing Date: June 21, 2023

This drawing is the property of Presence Design PLLC and is limited to the original use for which it was prepared. Changes, reproduction, or assigning to any third party of this drawing for any other use is not permitted without written consent © 2023



North East Elevation .02

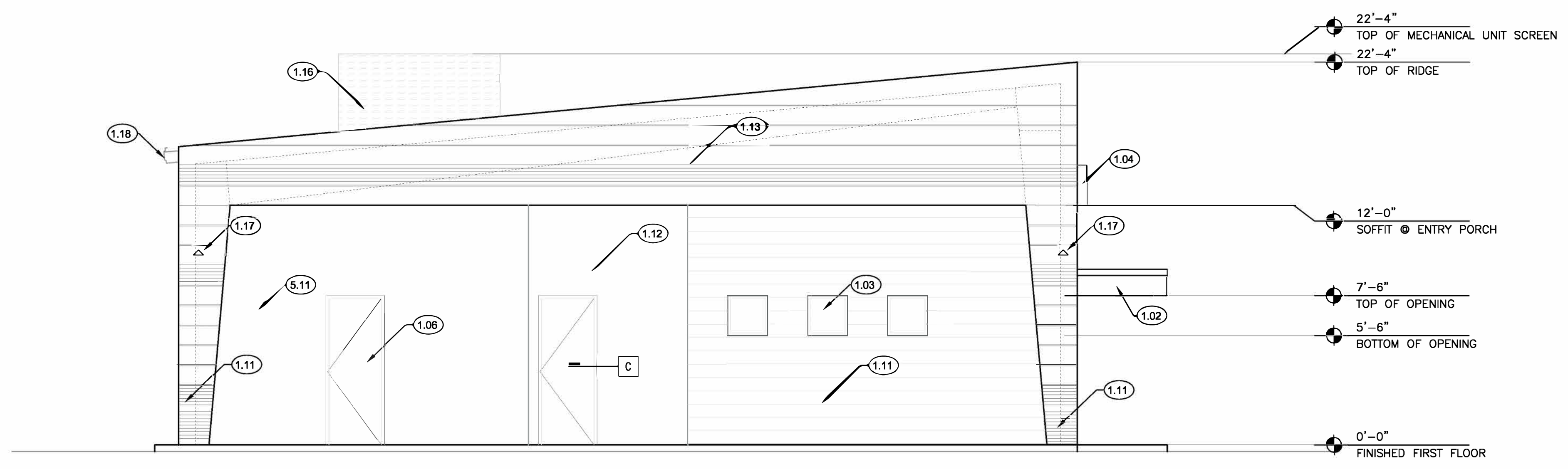
Scale: 1/4" = 1'-0"
0 1/4' 5' 10'

Paint panel colors

- A Panel Mx 1.0 Spartan bronze
- B Panel Mx 6.0 Antique bronze
- C Door metal trim Dunn Edwards DE 511 dry creek

Keynotes

- 1.01
- 1.02 Metal Entrance Canopy.
- 1.03 24" X 24" Window openings with non-reflective double pane glass
- 1.04 Future signage not in project. (sign permit required under separate permit)
- 1.05 Roof beyond.
- 1.06 (2) 3'-0" x 7'-0" Double hollow metal SES doors (Full louver vent per SES requirements)
- 1.07 3'-0" x 7'-0" hollow metal riser room door.
- 1.08 3'-0" x 6'-8" hollow metal doors.
- 1.09 12'-0" x 12'-0" overhead doors
- 1.10 Hollow metal window frame
- 1.11 Base metal wall panel
- 1.12 Flat metal wall panel
- 1.13 Metal wall panel
- 1.14 Standing seam Moran metal roof
- 1.15 10" building street number.
- 1.16 Screened roof mounted HVAC unit height to match (see detail .04 / PA2.2)
- 1.17 Exterior wall surface down-Lighting (per Section 507 Tab A)
- 1.18 Eave Gutter Standard F2005



North West Elevation .01

Scale: 1/4" = 1'-0"
0 1/4' 5' 10'

City Approval

5" x 5" AREA RESERVED FOR PLAN APPROVAL STAMPS

5" x 5" AREA RESERVED FOR PLAN APPROVAL STAMPS

PRML: 2010441
 PRLC 200119
 PAPP: 2208707
 KVA# 22-3581
 SDEV# 220510
 Zoning Case Number(s): Rezoned R-3 to C-3 Case# Z-16
 Zoning Stipulations: Zoning Ordinance # G-6189
 ADDR: 220526

CITY OF PHOENIX

APR 18 2023

Planning & Development
Department

Elevations

YUMA STREET GAR DEALERSHIP

3130 W YUMA ST, Phoenix, AZ 85009



PRESENCE DESIGN
Phoenix, AZ

AUTH
CHK

01 April 2023 Use Permit Request PD 2209.04

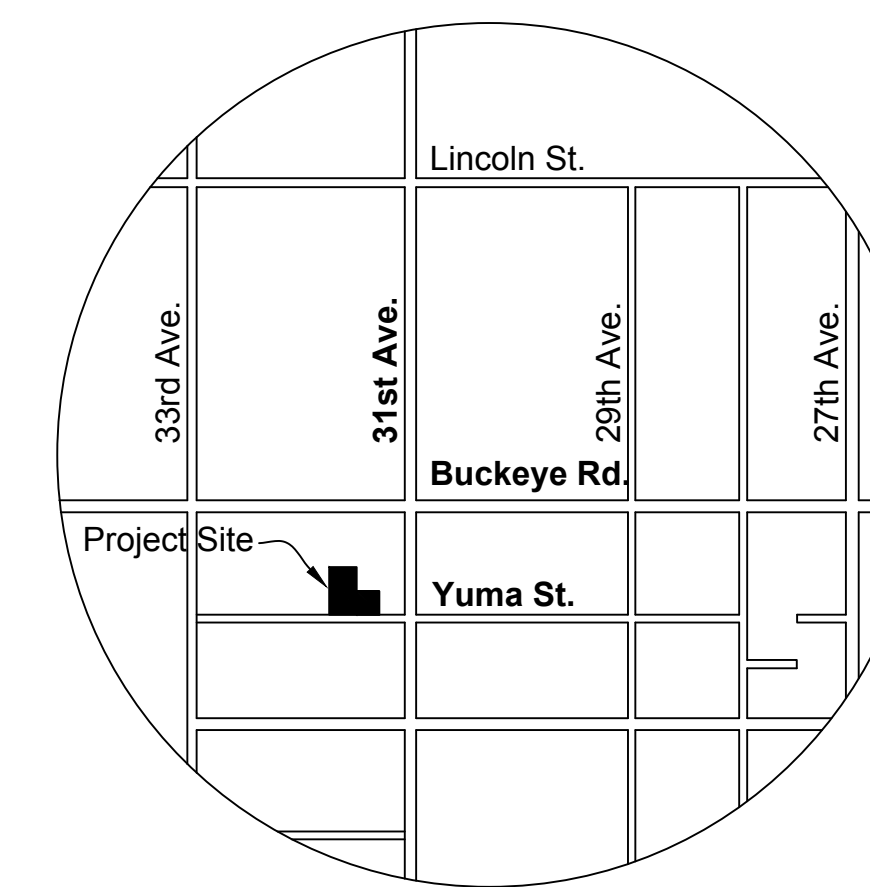
SP 1.05

Hearing Date: June 21, 2023



This drawing is the property of David H. Kenyon Architect and is limited to the original use for which it was prepared. Changes, reproduction, or assigning to any third party of this drawing for any other use is not permitted without written consent of dlk © 2016

Vicinity Map
N.T.S.



Project Description

Change zoning from R-3 to C-3 to follow City General Plan.

Project Data

PARCEL NUMBER(S):
105-11-010 A; 105-11-010 B; 105-11-015C

LEGAL DESCRIPTION

Parcel Lot #: 105-11-010-A
The West half of the South half Lot 6, FOUR BOY EIGHT, a subdivision recorded in Book 20 of Maps, Page 30, records of Maricopa County, Arizona.

Parcel Lot #: 105-11-010-B
The East half of the South half Lot 6, FOUR BOY EIGHT, a subdivision recorded in Book 20 of Maps, Page 30, records of Maricopa County, Arizona.

Parcel Lot #: 105-11-015C
Lot 9, FOUR BOY EIGHTY, according to Book 20 of Maps, page 30, records of Maricopa County, Arizona. Except the East 152.00 feet thereof.

PROJECT ADDRESS

3120 W Yuma St
Phoenix, AZ. 85009

ZONING:

Existing R-3 proposed C-3

SITE AREA:

Gross: 70,172 sq. ft. or 1.6 acres
Net: 48,650 sq. ft. or 1.12 acres

BUILDING AREA

Proposed Building - 14,690 sf

LOT COVERAGE

Allowable - 50%
Proposed - 14,690 / 48,650 = 30%

BUILDING HEIGHT

Allowable - 30'-0" (4 stories)
Proposed - 24'-0" (1 story)

BUILDING SETBACKS

	Required	Provided
Street:	25 feet	25 feet
West Side R-3	50 feet	50 feet
East Side R-3	50 feet	50 feet
Rear: 105-11-010-AB: C-3	0 feet	0 feet
Rear: 105-11-015-C: R-3	50 feet	50 feet

LANDSCAPE SETBACKS

	Required	Provided
Street:	25 feet	25 feet
West Side R-3	10 feet	13 feet
East Side R-3	10 feet	10 feet
Rear of 105-11-010-AB: C-3	0 feet	0 feet
Rear: 105-11-015-C: R-3	10 feet	10 feet

Parking

	Required	Provided
Office-(1/300 sq. ft.)	4 cars	13 cars
Warehouse-(1/1000 sq. ft.)	13 cars	14 cars
Accessible Parking	2 cars	2 cars
Total Parking	19 cars	29 cars

Project Directory

ARCHITECT
Kenyon Architectural Studio
Contact: Dave Kenyon*
115 E. Campo Desierto Rd.
Tempe, Arizona 85281
Tel: 480 695-8602

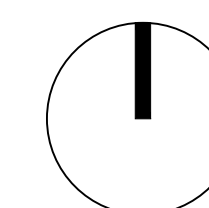
OWNER
3125 West Land Development LLC
Gary Banyo
2136 W. Bentree Dr.
Phoenix, Arizona 85085
Tel: 602 725 8880

Zoning Change Request
R-3 to C-3

3120 W Yuma St
Phoenix, AZ. 85009

Date: 1/15/2016
Drawn by: ADB
Checked by: DLK

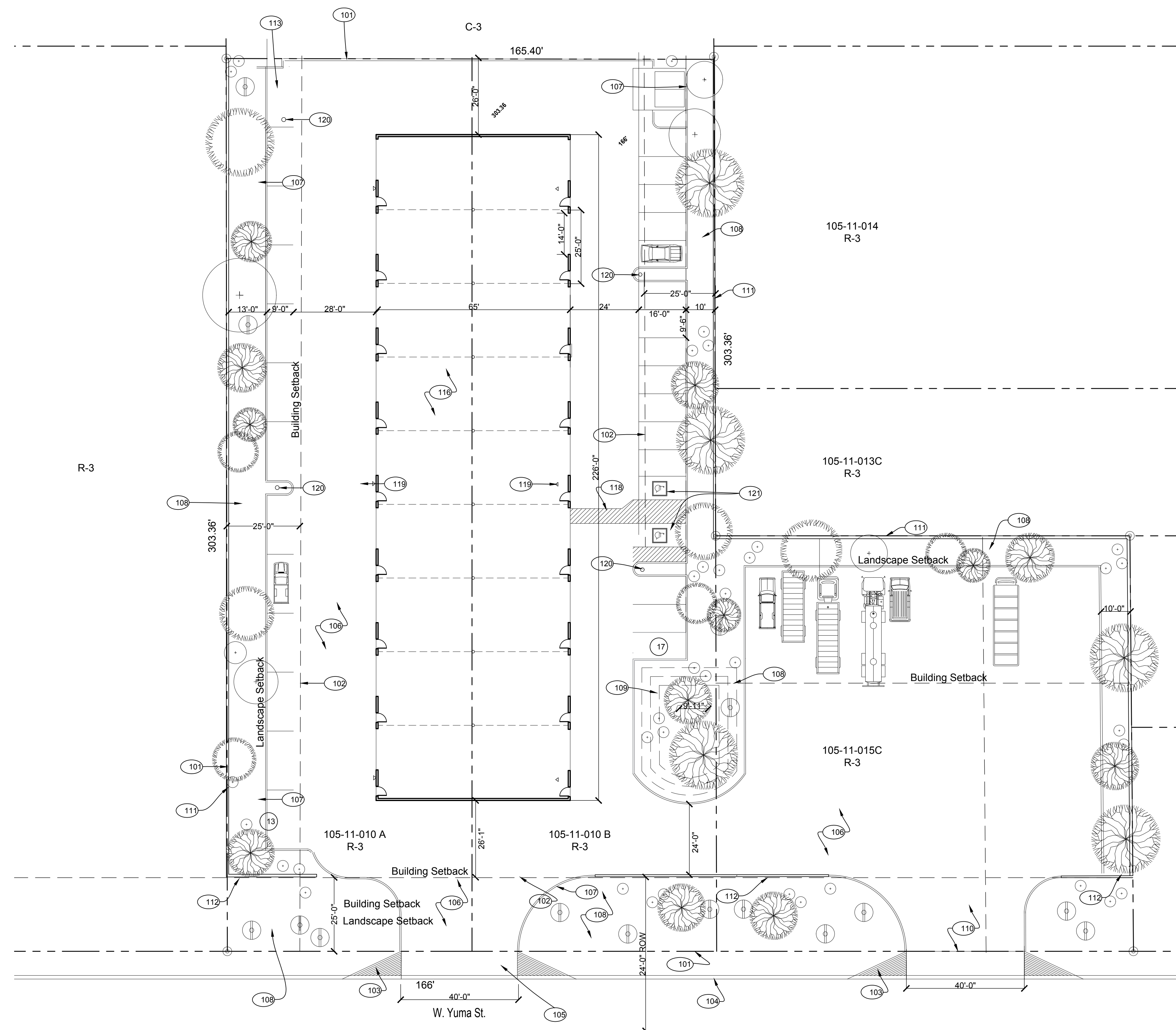
Scale: as noted



A0.1

Proposed Site Plan & Data

Job # 1516.06



Site Plan Notes

1. Development and use of this site will conform with all applicable codes and ordinances.
2. This project is located in the City of Phoenix water service area and has been designated as having an assured water supply.
3. All new or relocated utilities will be placed underground.
4. All signage requires separate approvals and permits.
5. Any lighting will be placed so as to direct light away from the adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor, or vibration will be emitted so that it exceeds the general level of noise, odor, or vibration emitted by uses outside the site.
6. Owners of property adjacent to public rights-of-way will have the responsibility for maintaining all landscaping within the rights-of-way in accordance with approved plans.
7. All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
8. All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical equipment from eye level adjacent to all public streets.

Governing Building Codes

All construction shall comply with the following codes and amendments:

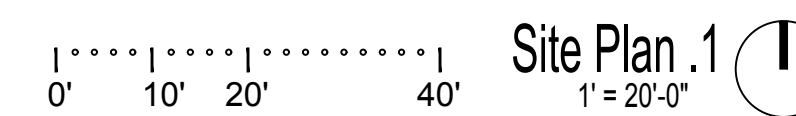
- 2012 International Building Code
- 2012 International Mechanical Code
- 2011 Uniform Plumbing Code
- 2011 National Electrical Code
- 2011 International Fire Code

Special Notes

1. Where required by the fire code official painted curbs and approved signs or other approved notices shall be provided and maintained for the fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The marking of fire lanes shall be in accordance with Section 503.3. Signs or notices shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
2. The fire dept. connection (FDC) is to be located per COP Fire Code Section 508.4.4.8. This is on the address/approach side of the building, within 50' if an approved roadway or driveway and within 200' of an approved fire hydrant. See Section 912 for further info. Location of FDC will be approved through fire sprinkler or underground fire line plans.

Sheet Index

- A0.1 Proposed Site Plan and Data
- A0.3 Aerial Site Map
- A1.1 Proposed Floor Plan
- A2.1 Proposed Elevation



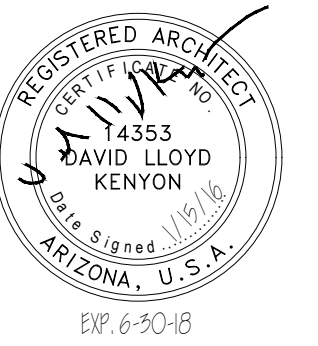
Keynotes

- | | |
|--|---|
| 101 Property line. | 110 New driveway built to city requirements |
| 102 Building setback line. | 111 New 6'-0" CMU wall. |
| 103 10' x 20' visibility triangle (see S.P.N. #9). | 112 New 3'-0" visual screen wall (see detail 9/A6.1). |
| 104 Existing curb, gutter, and no sidewalk. Replace if broken or out of grade. | 113 New trash enclosure (see detail 10/A6.1) |
| 105 Existing access point driveway. Revise as needed per city standards. | 115 Blank |
| 106 Asphalt paved parking. | 116 New building footprint. |
| 107 Provide 6" curb around all parking, maneuvering, and aisles. | 118 Accessible path of travel to sidewalk. |
| 108 Landscaping per City of Phoenix requirements. | 119 Building mounted exterior lighting - max. 15' high |
| 109 Retention Basin. | 120 Pole mounted exterior lighting - max. 15' high (see detail 8/A6.1). |
| | 121 Accessible parking space per city standards |

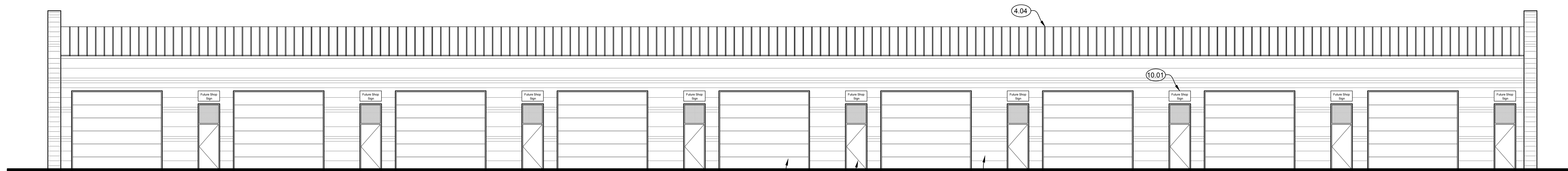
CITY OF PHOENIX

FEB 18 2016

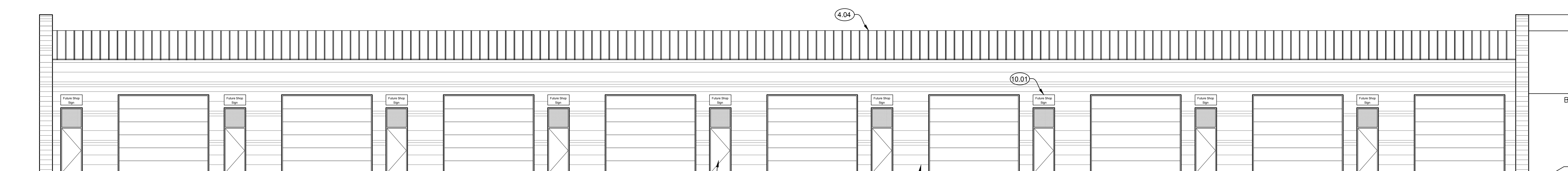
Planning & Development
Department



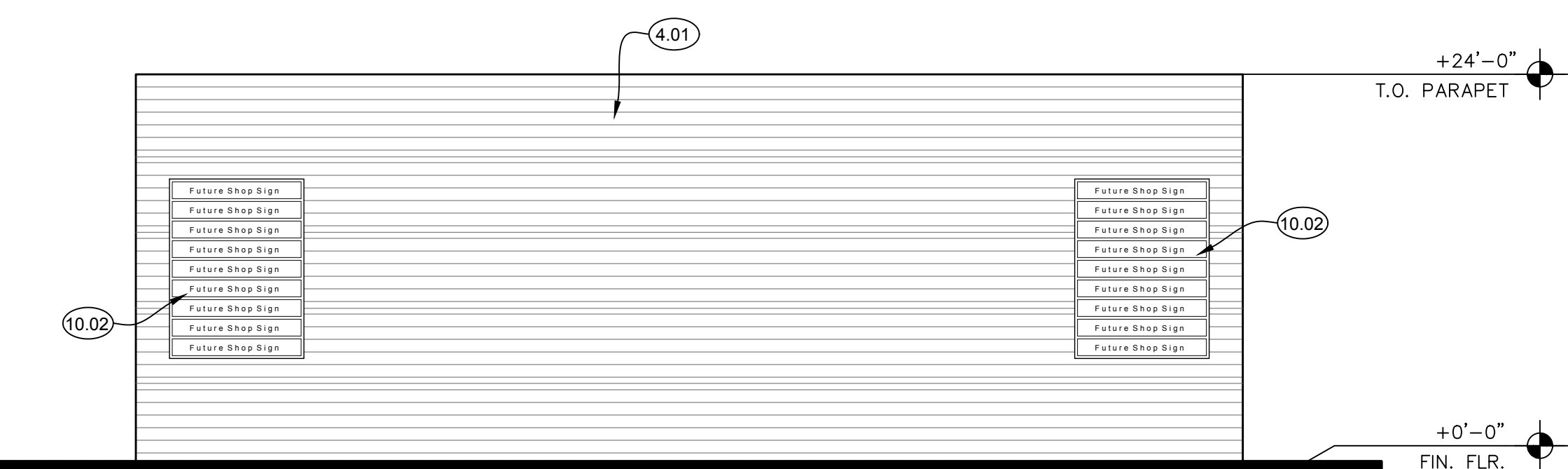
This drawing is the property of David II Kenyon architect and is limited to the original use for which it was prepared. Changes, reproduction, or assigning to any third party of this drawing for any other use is not permitted without written consent of dlk © 2016



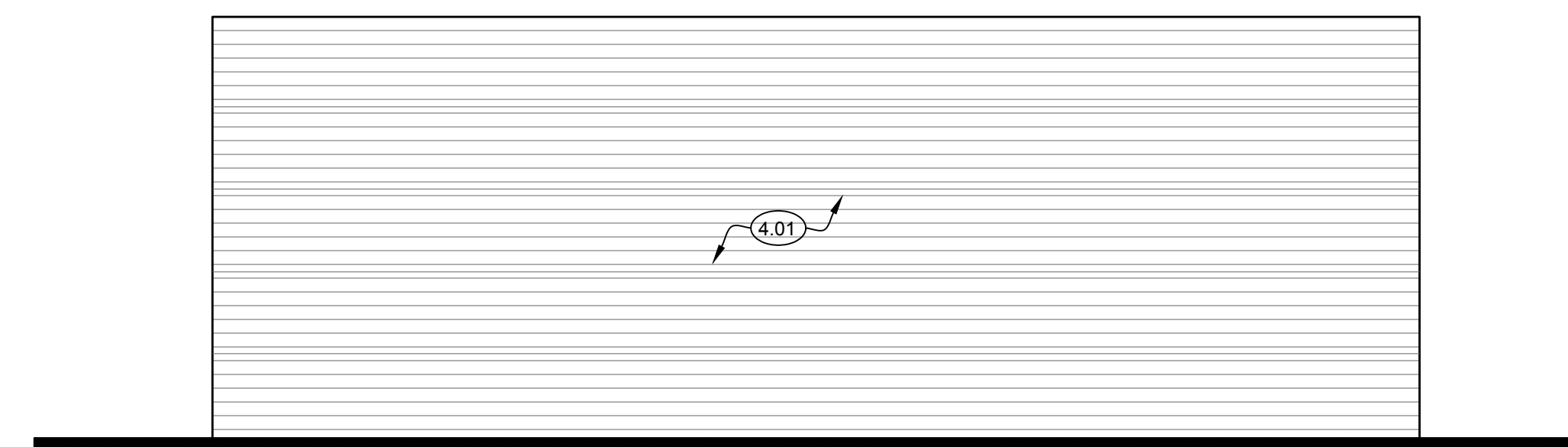
East Elevation .1



West Elevation .2



South (Street) Elevation .4



North Elevation .3

Keynotes

- 4.01 Smooth and Split face CMU wall.
- 4.02 Metal building skeleton
- 4.03 Metal wall panels.
- 4.04 Metal sloped roof panels.
- 6.01 Metal Man door.
- 6.02 Metal bay roll up door.
- 10.01 Building suite signage
- 10.02 Suite signage

+24'-0"
T.O. PARAPET
TOP OF ROOF
Zoning Change Request
R-3 to C-3
+10'-0"
BOTT. OF CEILING
3120 W Yuma St
Phoenix, AZ. 85009
+0'-0"
FIN. FLR.

Date: 1/15/16
Drawn by: CDK
Checked by: DLK

Scale: 1/8" = 1'-0"

CITY OF PHOENIX

FEB 18 2016

**Planning & Development
Department**

A1.2

Elevations

Job # 1516.06

July 1, 2016

by adopting Rezoning Application Z-19-16-4 for the WU T6:7 MT (Walkable Urban Code Transect T6:7 Midtown Transit Oriented Development District) zoning district located at the northeast corner of Central Avenue and Indianola Avenue to allow multifamily residential.

ITEM 105

DISTRICT 7

**ORDINANCE G-6189 -
AMEND CITY CODE -
REZONING APPLICATION
Z-7-16-7 – APPROXIMATELY
150 FEET WEST OF THE
NORTHWEST CORNER OF
31ST AVENUE AND YUMA
STREET**

The Council heard request to authorize the City Manager to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, by adopting Rezoning Application Z-7-16-7 for the C-3 (General Commercial) zoning district located approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street to allow for Office Warehouse.

ITEM 106

DISTRICT 7

**ORDINANCE G-6190 -
AMEND CITY CODE -
REZONING APPLICATION
Z-16-16-7 – APPROXIMATELY
720 FEET NORTH OF THE
NORTHWEST CORNER OF
71ST AVENUE AND
ROOSEVELT STREET**

The Council heard request to authorize the City Manager to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, by adopting Rezoning Application Z-16-16-7 for the A-1 (Light Industrial) zoning district located approximately 720 feet north of the northwest corner of 71st Avenue and Roosevelt Street to allow for Light Industrial uses including manufacturing and storage.

Mr. Shane Allfman submitted a comment card in favor of Item 106; however, he did not wish to speak.

Planning Commission Minutes for June 2, 2016

Item #: 9
Application #: Z-7-16-7
From: R-3
To: C-3
Acreage: 1.76
Location: Approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street
Proposal: Office warehouse
Applicant: Gary Barno
Owner: 3125 West Land Development, LLC
Representative: David Kenyon, Kenyon Architectural Studio

Mr. Xandon Keating presented Z-7-16-7, a request to rezone 1.76 acres located approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street from R-3 to C-3 to allow for office and warehouse uses. The Estrella Village Planning Committee recommended approval 8-0 per staff stipulations. Staff recommended approval per the recommendation of the Estrella Village Planning Committee.

Commissioner Heck made a MOTION to approve Z-7-16-7 as recommended by the Estrella Village Planning Committee.

Commissioner Winger SECONDED.

There being no further discussion, Chairwoman Katsenes called for a vote and the MOTION PASSED 789-0. (Davis and Whitaker absent)

* * *

Stipulations:

1. The development shall be in general conformance with the site plan and elevations date stamped April 28, 2016, as modified by the following stipulations and approved by the Planning and Development Department.
2. The elevations date stamped February 18, 2016 shall be revised to provide architectural treatment such as banding, offsets, popouts, accent materials, or detailing to break up building mass along the south elevation, as approved by the Planning and Development Department.
3. A minimum landscape setback of 15-feet shall be provided along the west property line, as approved by the Planning and Development Department.
4. On-site lighting shall not exceed a maximum of six feet in height within twenty feet of a residential zoning district as approved or modified by the Planning and

Development Department.

5. Outdoor storage shall not exceed 8-feet in height within 25-feet of a residential zoning district.
6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

and improve access to Kuban Park. He provided an overview of the public hearings required to move forward with the purchase.

Ms. Peggy Eastburn stated that the purchase would benefit both the Murphy School District and the surrounding community. She agreed that parking at the existing School District facility was difficult and that there is inadequate access to Kuban Park from Buckeye Road. She noted that Roosevelt School District Superintendent Dr. Marvene Lobato was aware of the proposal and approved. She asked if the parcel west of the subject site was also for sale. **Mr. Cucinotta** stated that the Murphy School District is not interested in the parcel at this time.

5. **Z-7-16-7**: Presentation, discussion, and possible recommendation regarding a request to rezone approximately 1.76 acres located approximately 150 feet west of the northwest corner of 31st Avenue and Yuma Street from R-3 to C-3. Presentation by David Kenyon, Kenyon Architectural Studio.

Mr. Adam Stranieri provided an overview of the request including a General Plan Land Use Map, zoning map, and aerial photographs of the subject property. He noted that the surrounding area contained diverse land uses and entitlements and indicated the uses of surrounding properties. He noted that the property was vacant and blighted and had contributed to safety problems in the community. He provided an overview of the proposed site plan and elevations, highlighting development standards and the site layout. He explained how the proposal aligned with General Plan Core Values and goals and presented findings regarding the case. He provided an overview of recommended staff stipulations.

Mr. Benjamin Wiesinger asked for clarification of the notification procedures for rezoning cases. **Mr. Stranieri** noted that property owners within a 600-foot radius and registered neighborhood associations within a 1-mile radius must be notified.

Ms. Peggy Eastburn provided context for the surrounding area by discussing the history of ownership and land uses for multiple properties along Yuma Street. She stated that the neighborhood was unique in Phoenix in that it combined residential, commercial, and industrial uses in a single community. She explained that the residents in the area enjoy the diversity of land uses in their area.

Mr. Tomas Robles asked whether additional streetlights could be installed along Yuma Street. **Ms. Eastburn** responded that streetlight installation was not typically addressed in a rezoning request.

Mr. David Kenyon, of Kenyon and Associates, stated that the owner of the liquor store and abandoned mobile home park adjacent to the property to the north was in support of the request.

Ms. Lisa Perez asked whether the applicants had distributed notification materials in Spanish. **Mr. Kenyon** responded that they had not. **Ms. Perez** expressed concern that without Spanish language notification materials, many residents in the surrounding area may not have been able to understand the notification materials

or the proposal. She asked staff to reconsider the notification requirements applied to rezoning cases. **Mr. Kenyon** noted that he had also held a neighborhood meeting and that no one had attended.

MOTION

Mr. Benjamin Wiesinger motioned, with a second from **Mr. Kevin Danzeisen**, to recommend approval of the request subject to staff stipulations.

VOTE

8-0 Motion to recommend approval of the request subject to staff stipulations passes unanimously.

6. **Z-16-16-7: Presentation, discussion, and possible recommendation regarding a request to rezone approximately 16.29 acres located approximately 720 feet north of the northwest corner of 71st Avenue and Roosevelt Street from CP/GCP to A-1. Presentation by William Lally, Tiffany & Bosco PA.**

Mr. Adam Stranieri provided an overview of the request including a General Plan Land Use Map, zoning map, and aerial photographs of the subject property. He noted that the property is adjacent to A-1 zoned properties on its east and west perimeters. He noted that transportation, logistics, industrial, and similar uses were located in the surrounding area. He noted that the property was rezoned to CP/GCP in Rezoning Case No. Z-89-98 and had experienced difficulty attracting tenants to the site due to the use restrictions of this zoning designation. He explained that the applicant did not intend to redevelop the site and would retain the existing buildings. He noted that owners would provide façade improvements. He explained how the proposal aligned with General Plan Core Values and goals and presented findings regarding the case. He provided an overview of recommended staff stipulations.

Mr. Benjamin Wiesinger asked what types of tenants the property currently has. **Mr. Shane Alleman**, with Tiffany & Bosco, PA, noted that current tenants are primarily commercial users but that the site contains many vacancies. He noted that a variety of users interested in the site had been unable to locate there due to use restrictions related to the current zoning. He noted Lumber Liquidators, Essex, Westar, and Ferguson as examples of firms that had been interested in the site and ultimately moved elsewhere.

Mr. Alleman commented that the surrounding area is becoming a strong industrial center and noted that Phoenix should work to retain these uses and avoid their relocation to Tolleson, Goodyear, and other neighboring municipalities. He noted that the request would result in the creation of new jobs in the Estrella Village. He explained that the vacant property south of the subject site was also rezoned in Case No. Z-89-98 and had failed to develop. He noted that this property constituted Phase II of the proposal and that use restrictions of the CP/GCP zoning district had made it difficult to develop this parcel.