### **Attachment B**



### Staff Report Z-34-22-1 August 9, 2022

**Deer Valley Village Planning Committee** August 11, 2022

**Meeting Date:** 

Planning Commission Hearing Date: September 1, 2022

Request From: Ind. Pk. (Industrial Park District) (22.46

acres)

Request To: R-3A (Multifamily Residence District) (22.46

acres)

Proposed Use: Multifamily residential

**Location:** Approximately 600 feet south of the

southwest corner of 19th Avenue and Rose

Garden Lane

Owner: TCA Plaza 1, LLC and TCA Plaza II, LLC

Applicant: Mack Real Estate Group

**Representative:** Jason Morris/Benjamin Tate, Withey Morris,

PLC

**Staff Recommendation:** Approval, subject to stipulations

	General Pla	n Conformity	
General Plan Land Use Ma	ap Designation	Current Industrial Proposed (GPA-D Residential 15+ dv	V-2-22-1) velling units per acre
	19th Avenue	Major Arterial	65-foot west half street
Street Map Classification	Monona Drive	Local Street	30-foot south half street
	21st Avenue	Local Street	33-foot east half street

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent

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### **General Plan Conformity**

### negative impact(s) on the residential properties.

The requested R-3A zoning district will result in development that is sensitive to the scale and character of the surrounding area. This section of 19th Avenue contains a mix of higher-intensity commercial and commerce park uses, and multifamily development. As stipulated, the development would incorporate standards to avoid negative impacts on the adjacent single-family residences to the west, including a height limit, increased setbacks, and enhanced landscaping.

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.

The requested R-3A zoning district would allow redevelopment of an underused site into a multifamily residential community that is compatible with the surrounding area and respectful of local conditions. The proposed development is located along a mixed-use corridor and as stipulated, incorporates setbacks and enhanced landscaping around the perimeter to enhance compatibility with the surrounding area.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

As stipulated, the proposal will shade the sidewalk on 19th Avenue and Monona Drive, provide enhanced landscaping standards within the perimeter of the development, and provide additional shading within the surface parking lots. This will help to provide shade for pedestrians in and around the community and to mitigate the urban heat island effect by covering hard surfaces, thus cooling the micro-climate around the vicinity.

### Applicable Plans, Overlays, and Initiatives

Tree and Shade Master Plan: See Background Item No. 6.

Complete Streets Guiding Principles: See Background Item No. 7.

Comprehensive Bicycle Master Plan: See Background Item No. 8.

**Zero Waste PHX:** See Background Item No. 9.

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### Housing Phoenix: See Background Item No. 10.

Sı	rrounding Land Uses and Zon	ing
	Land Use	<u>Zoning</u>
On Site	Vacant office building	Ind. Pk.
North	Commerce park uses	CP/GCP
South	Vacant and self-service storage facility  Ind. Pk. and C-2	
East (across 19th Avenue) Commercial uses Ind.		Ind. Pk. and C-O
West	Single-family residential	R1-8 and R-2

	Multifamily Residence Distr Residential Development O	
<u>Standards</u>	Requirements	Provisions on the Proposed site Plan
Gross Acreage	-	22.46 acres
Total Maximum Number of Units	519 units, up to 593 with bonus	438 units (Met)
Maximum Density	23.1 dwelling units per acre, up to 26.4 with bonus	19.50 dwelling units per acre (Met)
Maximum Lot Coverage	45 percent	Not specified
Maximum Building Height	3 stories or 40 feet for 150 feet; 1 foot increase in height for 5 feet of additional building setback, up to 48 feet and 4 stories	3 stories and 33 feet (Met)

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### R-3A - Multifamily Residence District (Planned Residential Development Option) Provisions on the **Standards** Requirements **Proposed site Plan** Minimum Perimeter Setbacks Adjacent to public street 20 feet 19th Avenue: 20 feet (Met) Monona Drive: 20 feet (Met) 21st Avenue: 20 feet (Met) 15 feet North: 20 feet (Met) Adjacent to property line West: 30 feet (Met) South: 15 feet (Met) Minimum Perimeter Landscape Setbacks Adjacent to public street 20 feet 19th Avenue: 20 feet (Met) Monona Drive: 20 feet (Met) 21st Avenue: 20 feet (Met) Adjacent to property line 5 feet North: 20 feet (Met) West: 30 feet (Met) South: 15 feet (Met) 5 percent 7.7 percent (Met) Minimum Open space Minimum Parking 680 spaces required 682 spaces (Met) 1.3 spaces per efficiency unit; 1.5 spaces per 1 or 2 bedroom unit; 2 spaces per 3 or more bedroom unit; 1.0 spaces per unit

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of less than 600 square	
feet	
392 1-, 2-bedroom units	
46 3-bedroom units	

### Background/Issues/Analysis

### SUBJECT SITE

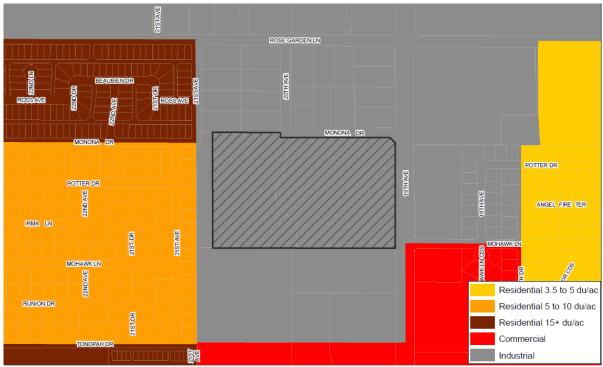
 This request is to rezone 22.46 acres located approximately 600 feet south of the southwest corner of 19th Avenue and Rose Garden Lane from Ind. Pk. (Industrial Park District) to R-3A (Multifamily Residence District) for a multifamily residential development. The site currently contains an office building, built in 2002, accessory parking, and vacant land.

### GENERAL PLAN LAND USE MAP DESIGNATIONS

2. The subject site is designated as Industrial on the General Plan Land Use Map. The properties to the north, east, and south are also designated as Industrial. To the west, the General Plan Land Use Map designation is Residential 10 to 15 dwelling units per acre and Residential 15+ dwelling units per acre.

The applicant is proposing a minor General Plan Amendment (GPA-DV-2-22-1), which would change the designation of the subject site from Industrial to Residential 15+ dwelling units per acre. The proposed zoning district is consistent with the proposed General Plan Land Use Map designation.

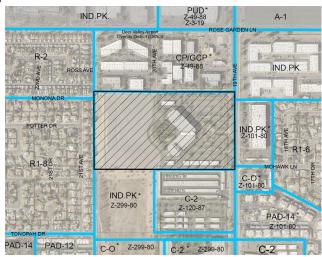
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General Plan Land Use Map, Source: Planning and Development Department

### SURROUNDING LAND USES AND ZONING

3. Properties to the north, east and south all contain commercial zoning, including CP/GCP, C-2, Ind. Pk., and C-O with commercial uses. To the west of the subject site are two single-family residential neighborhoods within R1-8 and R-2 districts.



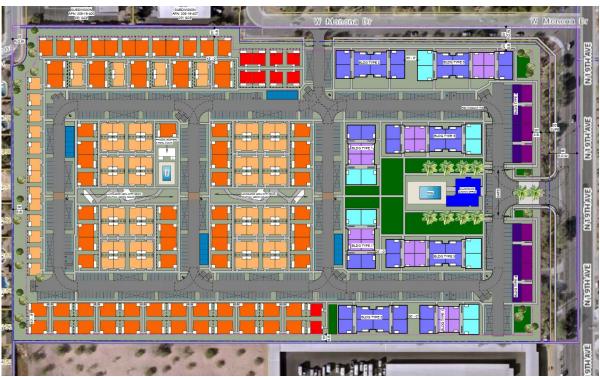
Zoning Aerial Map, Source: Planning and Development Department

### **PROPOSAL**

### 4. Site Plan

The proposal is to develop a multifamily residential community, containing 438

dwelling units. The site plan, attached as an exhibit, depicts a variety of building types, including one- and two-story detached and semi-detached homes primarily in the western portion and three-story apartment buildings in the eastern portion, closer to 19th Avenue. Vehicular access is shown from a driveway on 19th Avenue and a secondary driveway on Monona Drive. The common open spaces on the site total approximately 7.7 percent of the gross area and include a central lawn with active amenities in the eastern half of the site and a linear open space with passive recreation elements running through the western portion of the site. The existing detached sidewalk along 19th Avenue will be retained as part of this proposal and a shared-use path will be built within an easement dedicated by the developer along 19th Avenue, as required by Stipulation No. 9.



Conceptual Site Plan, Source: Synectic Design

Staff recommends general conformance to this site plan (Stipulation No. 1) to ensure that the site develops as proposed. The site plan depicts appropriate street access, additional landscape setbacks adjacent to the existing residential uses, appropriate orientation of buildings and drive aisles. Development intensity is focused on the eastern portion of the site, closer to the major arterial of 19th Avenue.

In order to minimize impacts to the single-family residential neighborhood to the west, the proposal will be a maximum of one story and 20 feet in height within 100

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feet of the west property line, as required by Stipulation No. 3. To provide additional landscape buffering between the surrounding uses and increase tree coverage around the site, Stipulation No. 5 requires enhanced landscaping, including 50 percent two-inch caliper and 50 percent three-inch caliper trees planted 20 feet on center, in the perimeter setbacks. Additionally, the landscape setback on the west property edge is 30 feet, providing an additional buffer between the neighborhood to the west. In order to enhance the open space component of the proposal, there will be a minimum of five active and passive recreational elements in the common open space area, as required in Stipulation No. 4.

### 5. Elevations

The conceptual building elevations depict several one- and two-story detached and semi-detached homes, along with three-story apartment buildings. Staff recommends Stipulation No. 2, requiring all buildings to contain architectural embellishments and detailing, to promote visual interest of the development.





Conceptual Building Elevations, Source: Synectic Design

### STUDIES AND POLICIES

### 6. Tree and Shade Master Plan

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. Staff is

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recommending the following stipulations designed to provide enhanced shade on the site.

- Fifty percent two-inch caliper and 50 percent three-inch caliper trees within the required landscape setbacks (Stipulation No. 5);
- Landscaping in surface parking areas to achieve 25 percent shade at maturity (Stipulation No. 6);
- The sidewalks along 19th Avenue and Monona Drive shall be shaded to provide a minimum of 75 percent shade (Stipulation No. 10).

### 7. Complete Streets Guiding Principles

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The proposed project will maintain the existing detached sidewalk on 19th Avenue, which will be shaded to a minimum of 75 percent (Stipulation No. 10), creating a high-quality pedestrian environment. Additionally, staff recommends the following stipulations to advance the Complete Streets Guiding Principles:

- Visually contrasted pedestrian walkways within the development where they cross drive aisles (Stipulation No. 7);
- Bicycle parking, consistent with the Walkable Urban (WU) Code standards, to be provided in a secure location, in addition to guest bicycle parking at a minimum rate of 0.05 spaces per unit to be located near the clubhouse or distributed throughout the site (Stipulation No. 8);
- A shared use path, constructed within an easement to be dedicated by the developer, along 19th Avenue, constructed according to MAG standards (Stipulation No. 9).

### 8. Comprehensive Bicycle Master Plan

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the project will provide bicycle parking spaces, consistent with the requirements of the Walkable Urban (WU) Code, and provide guest bicycle parking at a minimum rate of 0.05 spaces per unit to be located near the clubhouse or distributed throughout the site. This is addressed in Stipulation No. 8.

### 9. Zero Waste PHX

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and

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expand its recycling and other waste diversion programs. The application did not address recycling services.

### 10. Housing Phoenix

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant land in a more sustainable fashion.

### COMMUNITY INPUT SUMMARY

11. As of the writing of this report, staff has received three letters in opposition to this case. Concerns include traffic, property values, preserving views, and crime.

### INTERDEPARTMENTAL COMMENTS

- 12. The Street Transportation Department commented that the developer shall construct a knuckle design at the corner of 20th Avenue and Monona Drive, no vehicular access shall be provided to 21st Avenue, and that the developer shall construct the adjacent streets, including meeting ADA accessibility standards. These are addressed in Stipulation Nos. 11 through 13.
- 13. The Water Services Department commented that the property has existing water and sewer mains that can potentially serve the development. In addition, the Water Services Department commented that capacity is a dynamic condition that can change over time due to a variety of factors.
- 14. The Aviation Department commented that the property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Deer Valley Airport (DVT) to future owners or tenants of the property. This is addressed in Stipulation No. 14.
- 15. The Parks and Recreation Department commented that a shared use path easement and a shared use path constructed within the easement is required along 19th Avenue. This is addressed in Stipulation No. 9.
- 16. The Fire Department commented that there were no anticipated problems with the referenced case and that the fire code will require water supply to meet fire flow

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standards and marking the fire apparatus access road.

### OTHER

- 17. The site has not been identified as being archeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 15.
- 18. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to preliminary site plan approval. This is addressed in Stipulation No. 16.
- 19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

### Findings

- 1. The requested R-3A zoning district is consistent with the proposed General Plan Land Use Map designation of Residential 15+ dwelling units per acre.
- 2. As stipulated, the proposed development will include development standards including height limits, increased setbacks adjacent to existing residential properties, enhanced landscaping and shade, and open space requirements, that mitigate impacts to surrounding properties.
- 3. As stipulated, the proposed development enhances connectivity in the immediate vicinity by improving adjacent roadways, creating a public shared use path, and providing shaded detached sidewalks.

### **Stipulations**

- 1. The development shall be in general conformance with the conceptual site plan date stamped July 21, 2022, as modified by the following stipulations and approved by the Planning and Development Department.
- 2. All building elevations shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or

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overhang canopies, as approved by the Planning and Development Department.

- 3. The development shall be limited to 1 story and 20 feet in height within 100 feet of the west property line.
- 4. The common open space areas shall provide a minimum of 5 active or passive recreational elements, located throughout the property, as generally shown on the site plan date stamped July 21, 2022. Recreational elements meeting this requirement shall include, but are not limited to, swimming pools, playground sets, ramadas, dog parks, fire pits, and barbeque areas; and shall not include lawn or turf areas, as approved by the Planning and Development Department.
- 5. The perimeter setbacks on all sides of the site shall be landscaped and shall include minimum 50 percent 2-inch caliper and minimum 50 percent 3-inch caliper trees planted 20 feet on center or in equivalent groupings, as approved by the planning and development department.
- 6. All uncovered surface parking lot areas shall be landscaped with minimum 2-inch caliper drought-tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25 percent shade at maturity, as approved by Planning and Development Department.
- 7. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrasts parking and drive aisle surfaces, as approved by the Planning and Development Department.
- 8. The developer shall provide secured bicycle parking per Section 1307 of the Zoning Ordinance. In addition, inverted U- and/or artistic bicycle racks shall be provided for guests, with a minimum of 0.05 spaces per unit, located near the clubhouse or distributed throughout the site and installed per the requirements of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department.
- 9. A 20-foot-wide shared use path easement (SUPE) shall be provided along 19th Avenue and a minimum 10-foot-wide shared use path (SUP) shall be constructed within the easement in accordance with the MAG supplemental detail and as approved by the Planning and Development Department. Where conflicts or restrictions exist, the developer shall work with the Site Planning section on an alternate design through the technical appeal process.
- 10. The sidewalks along 19th Avenue and Monona Drive shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide a minimum of 75 percent

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shade, as approved or modified by the Planning and Development Department.

- 11. The developer shall construct a knuckle design at the corner of 20th Avenue and Monona Drive connecting the roadway and sidewalk, as approved by the Planning and Development Department.
- 12. No vehicular access shall be provided to 21st Avenue along Monona Drive.
- 13. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- 14. The property owner shall record documents that disclose the existence, and operational characteristics of Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
- 15. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
- 16. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

### Writer

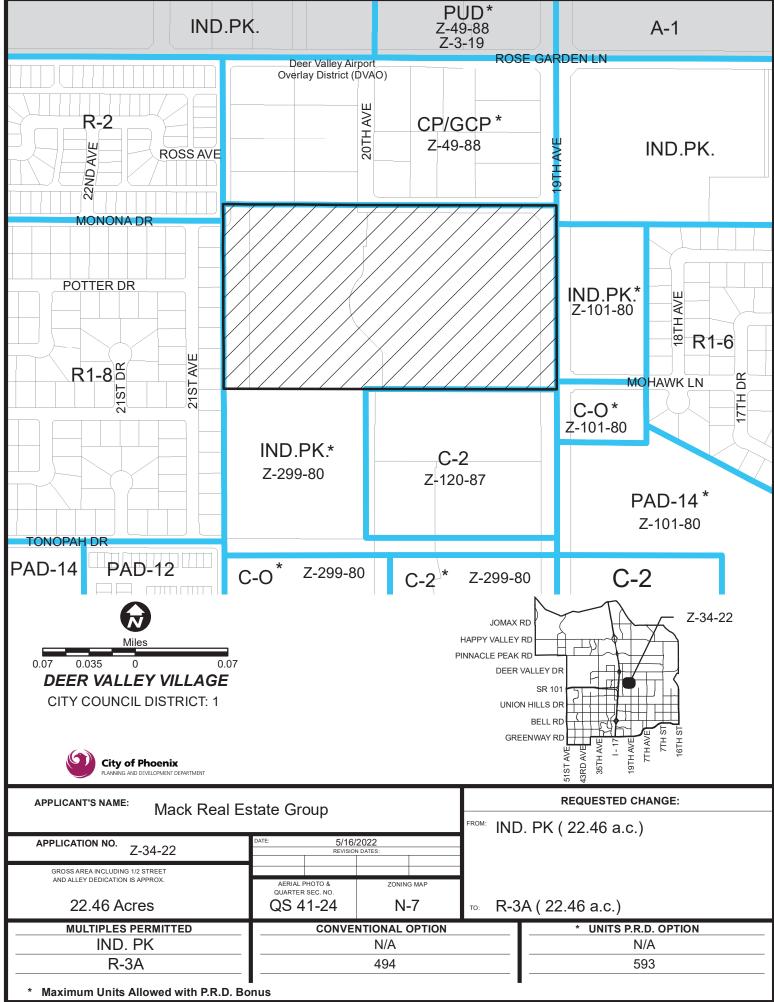
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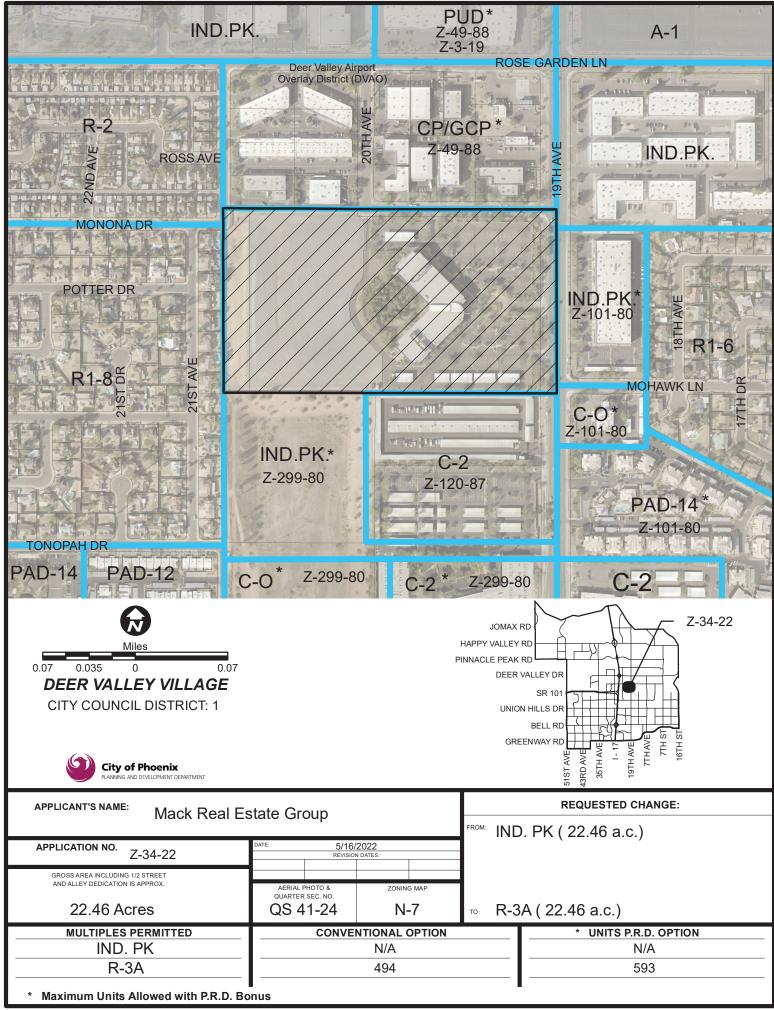
### **Team Leader**

Racelle Escolar

### **Exhibits**

Zoning sketch map
Aerial sketch map
Conceptual Site Plan date stamped July 21, 2022
Conceptual Building Elevations date stamped April 27, 2022 (10 pages)
Community Correspondence (3 pages)







































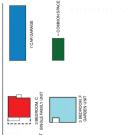












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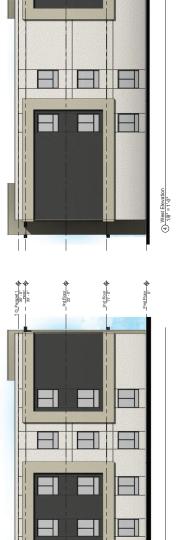
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SHEET KEYED NOTES

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	(	DESCRIPTION GLASS MFR TBD	GLASS	
	è	COLOR	CLEAR	

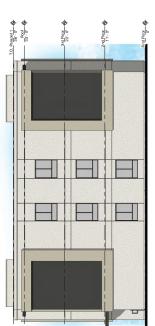
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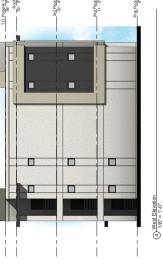


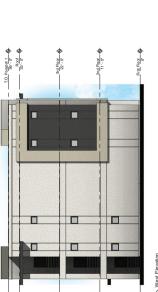




SHEET KEYED NOTES

1/8" = 1'-0"





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SHEET KEYED NOTES

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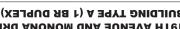
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Phase: CD Drawn By: ANS, BP, CS

# A3.2A EXTERIOR ELEVATIONS



## 19TH AVENUE AND MONONA DRIVE SFR BUILDING TYPE A (1 BR DUPLEX)

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N202 N304 N204

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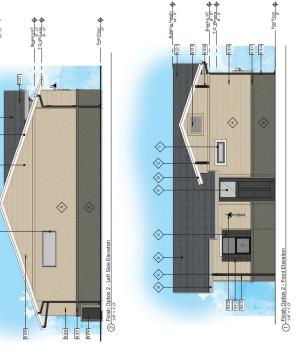
SHEET KEYED NOTES

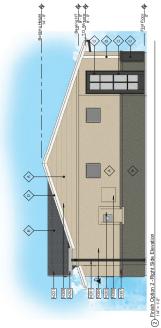
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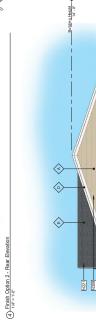
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TERIOR FINISH LEGEND	DESCRIPTION STUCCO, FINE SAND FINISH NAFT SIDINAL, PANTED FINISH SHEFWIN WILLIAMS SWN AS RELAKED KHAKI	INDEXT STUCCO, COURSE SAND FINISH MARE SHERMIN, MILLIAMS ASHE SWEZOT THUNDEROUS	DOORS, SHUTTERS, & ACCENTS SHERMIN-MILLIAMS SW7069 IRON ORE	DESCRIPTION WINDOWS, OCULIANS, & EAVES MPR SHEWMY-WILLIAMS FINISH SW7004 SNOW BOUND	DESCRIPTION FLAT CONCRETE ROOF TILE  NET BASIS OF DESIGNE, EAGLE ROOFING  FINSH PRODUCTS; PROFILE - GOLDEN  EAGLE - WEST - LURWEIGHT,
RIOR FINIS	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH
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## 19TH AVENUE AND MONONA DRIVE SFR BUILDING TYPE A-D (1 BR DUPLEX)

N304 N304

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(4) Finish Option 2 - Back Elevation

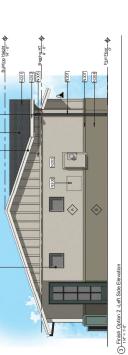
	_					
DESCRIPTION STUCCO, FINE SAND FINISH NFR BOARD & BATTEN, PAINTED	SHERWIN-WILLIAMS SW1015 SKYLINE STEEL	STLOCO, COURSE SAND FINISH SHERMIN-WILLIAMS SW8165 CONNECTED GRAY	DOORS & SHUTTERS SHERMIN-WILLIAMS SW0047 STUDIO BLUE GREEN	DESCRIPTION WINDOWS, COLUMNS, & EAVES MPR SHERMIN-WILLIAMS FINISH SWYOOL SNOW BOUND	ACCENTS SHERMIN-WILLIAMS SW7069 IRON ORE	FLAT COMCRETE ROOF TILE BASIS OF DE SIGN: EAGLE ROOFING PRODUCTS: PROFILE - GOLDEN CAGLE, WEIGHT - LIGHT WEIGHT, CAGLE, WEIGHT - LIGHT WEIGHT, CAGLES AND CHARDOWILE
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	♦	DESCRIPTION MFR FINISH	STUCC BOARD SHERW SW1015
	<b>®</b>	DESCRIPTION MFR FINISH	STUCCC SHERM SW6165
	(	DESCRIPTION	DOORS

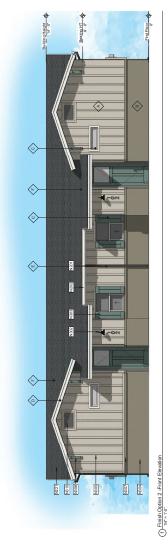
	EXE	RIOR FINIS	EXTERIOR FINISH LEGEND	
	<b>⊗</b>	DESCRIPTION MFR FINISH	DESCRIPTION STUCCO, FINE SAND FINISH MPR BOARD & BATTITED FINISH SHERWIN-WILLIAMS SWYOTS SKYTUNE STEEL	
	<b></b>	DESCRIPTION MFR FINISH	STUCCO, COURSE SAND FINISH SHERMIN/MILIDAMS SWEI 65 CONNECTED GRAY	
	<b></b>	DESCRIPTION MFR FINISH	DOORS & SHUTTERS SHERMINAMLIAMS SWOO47 STUDIO BLUE GREEN	
Building Height. 4	<b></b>	DESCRIPTION MFR FINISH	DESCRIPTION WINDOWS, COLUMNS, & EAVES MPR SHERWIN-WILLIAMS FINISH SW7004 SNOW BOLUID	
	₩	DESCRIPTION ACCENTS MFR SHERMIN FINISH SW7009 IR	MER SHERWIN-WILLIAMS WEN SW7069 IRON ORE	
Boaring HT *	<b>&amp;</b>	DESCRIPTION MFR FINISH	FLAT COMCRETE ROOF TILE  ROOSING OF DESIGNE, EASLE PROOFING  PRODUCTS; PROFILE - GOLDEN  EAGLE, WEGHT - LIGHTWEIGHT,  COLOR - DARK CHARGOAL*	ENE

# Building Height.





Pinish Option 2 -Right Side Elevation



# SHEET KEYED NOTES

	3 AND DRAINAGE		
SHEET KEYED NOTES	N201 DOWNSPOUT, COORDINATE LOCATION WITH GRADING AND DRAINAGE PLAN, PROVIDE RIPRAP OR SPLASH BLOCK	N202 GUTTER (TYP)	NAME OF TAXABLE ASSESSMENT OF ASSESSMENT OF TAXABLE PARTY
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Building Height

Bearing HT N202

A3.2B
EXTERIOR ELEVATOR

# 19TH AVE & MONONA DRIVE SFR BUILDING TYPE B (2 BR)

# SHEET KEYED NOTES

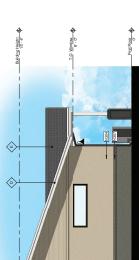
N201	DOWNSPOUT, COORDINATE LOCATION WITH GRADING AND DRAWAGE PLAN, PROVIDE RIP/RAP OR SPLASH BLOCK
N202	N202 GUTTER (TYP)
NOON	NOOR ELECTRIC METERIDANEL LOCATION

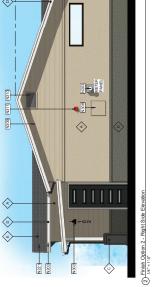
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# EXTERIOR ELEVATION GENERAL NOTES 1. SEE SITE PLANS FOR ADDITIONAL INFORMATION, BUILDIN ORDER NATION AND, OR MIRRORING, ORIENTATION SHOW

(4) Finish Option 2 - Back Elevation







	EXE	RIOR FINE	EXTERIOR FINISH LEGEND
	4	DESCRIPTION	DESCRIPTION STUCCO, FINE SAND FINISH MFR SIDING, PAINTED
	>	HINSH	SHERMIN-WILLIAMS SW6149 RELAXED KHAKI
	١ ،	DESCRIPTION	DESCRIPTION STUCCO, COURSE SAND FINISH
	<b></b>	HINSH	SMEZOT THUNDEROUS
		DESCRIPTION	DESCRIPTION DOORS, SHUTTERS, & ACCENTS
	€	MFR	SHERWIN-WILLIAMS
	⊳	HINISH	SW7069 IRON ORE
		DESCRIPTION	DESCRIPTION WINDOWS, COLUMNS, & EAVES
	4	MFR	MFR SHERWIN-WILLIAMS
	∢	FINISH	FINISH SW7004 SNOW BOUND
_		DESCRIPTION	DESCRIPTION PLAT CONCRETE ROOF TILE
		MFR	MFR BASIS OF DESIGN: EAGLE ROOFING
	(4)	FINISH	PRODUCTS: PROFILE - GOLDEN
	>		EAGLE, WEIGHT - LIGHTWEIGHT,
			COLOR - DARK CHARCOAL



N201	N201 DOWNSPOUT. COORDINATE LOCATION WITH GRADING AND DRAINAGE PLAN. PROVIDE RIP/RAP OR SPLASH BLOCK	
N202	N202 GUTTER (TYP)	
N203	N203 ELECTRIC METER/PANEL LOCATION	

UNDERGAYMENT (TYP)
WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE IRON
ORE COMPLIANT (TYP)
SHUTTERS (TYP)
STUCCO FINISH SYSTEM (TYP)

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(3) Finish Option 2 - Left Side Elevation 1/4" = 1:-0"

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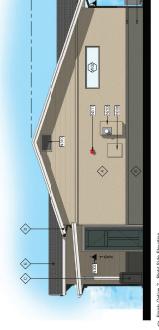
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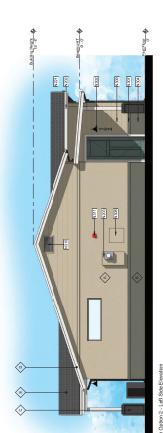
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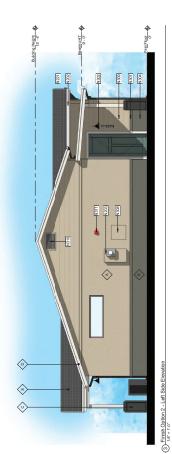
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< <p>♦</p>	DESCRIPTION MFR FINISH	DESCRIPTION STUCCO, FINE SAND FINSH MFR SIDNAL, SANTED FINISH SHERWIN WILLIAMS SWN 149 RELAXED KHAKO
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<b></b>	DESCRIPTION MFR FINISH	DOORS, SHUTTERS, & ACCENTS SHERMIN WILLIAMS SW7089 IRON ORE
<b>\oint </b>	DESCRIPTION MFR FINISH	DESCRIPTION WINDOWS, COLLMNS, & EAVES MPR SHEWINKWINILANS FINISH SW7004 SNOW BOLIND
	DESCRIPTION MFR FINISH	FLAT CONCRETE ROOF TILE ASSO OF DESCRIPE, EAGLE BOYENS PRODUCTS: PROFILE - GOLDEN EAGLE WEIGHT - LIGHTWEIGHT.

# 19TH AVE & MONONA DRIVE SFR BUILDING TYPE B-D (2 BR DUPLEX)











Building Height

SUBMITTAL
N309 HORIZONTAL SIDING SYSTEM (TYP)
N310 GABLE ("ENT (TYP)
N311 FIRE ALAM RELL COCURS ONLY AT BU)
SPRINKLERS INSTALED. SEE FIRE RATI
DEFERRED SUBMITTAL.

N204 

(4) Finish Option 2 - Back Elevation

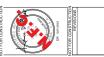
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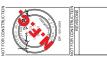
ANS, BP, CS

A3.2C EXTENDED ELEVATOR















## 19TH AVENUE & MONONA DRIVE SFR BLDG TYPE B (2 BR)

SHEET KEYED NOTES

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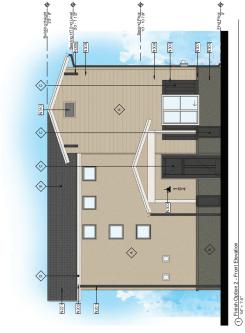
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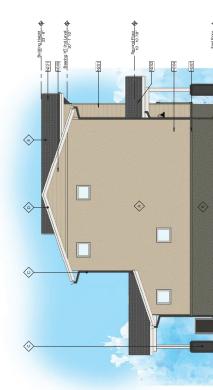
THEREFELD CAV, OMMERTING SETON SETO

	DESCRIPTION	STUCCO, FINE SAND FINISH
◈	FINISH	SIDING, PAINTED SHERWIN-WILLIAMS SW8149 PELAXED KHAKI
<b>®</b>	DESCRIPTION MFR FINISH	STUCCO, COURSE SAND FINISH SHEWN N.MILLIAMS SWEZO I THUNDEROUS
<b></b>	DESCRIPTION MFR FINISH	DOORS, SHUTTERS, & ACCENTS SHERWIN-WILLIAMS SW7009 IRON ORE
<b>\oint </b>	DESCRIPTION MFR FINISH	WINDOWS, COLLIMNS, & EAVES SHEWIN-WILLIAMS SW7004 SNOW BOUND
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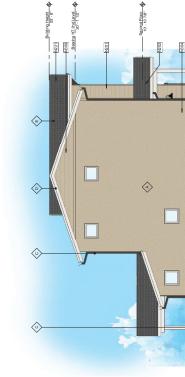
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	DESCRIPTION	DESCRIPTION STUCCO, FINE SAND FINI
<	MFR	SIDING, PAINTED
>	FINISH	SHERWIN-WILLIAMS
		SW6149 RELAXED KHAKI
	DESCRIPTION	STUCCO, COURSE SAND
4	MFR	SHERWIN-WILLIAMS
>	FINISH	SW6201 THUNDEROUS
	DESCRIPTION	DOORS, SHUTTERS, & AC
•		Octable to the contract of







(2) Finish Option 2 - Left Side Elevation











N202 SV - 1 1/2





O (S BR DUPLEX)	1-:
DNONA DRIVE SFR	) [

SHEE	SHEET KEYED NOTES
N201	DOWNSPOUT, COORDINATE LOCATION WITH GRADING AND DISANAGE PLAN, PROVIDE RIPPAP OR SPLASH BLOCK
N202	GUTTER (TYP)
N203	ELECTRIC METER/PANEL LOCATION
N204	HEAT PUMP SPLIT SYSTEM (TYP)
N221	CONCRETE TILE ROOFING SYSTEM OVER HIGH TEMPERATURE UNDERLAYMENT (TYP)
N303	SHUTTERS (TYP)
N304	STUCCO FINISH SYSTEM (TYP)
N307	FOAM FOP OUT TRIM (TYP)
N308	FIRE SPRINKLER EQUIPMENT ACCESS PANEL, PAINT TO MATCH WALL
	CASCUS CALLY AT BUILD INCO DESIGNATED TO HAVE WHINKLERS

SIGNATED TO PLAN, FIRE

NOGO HORZONTAL SIDIR NOGO HORZONTAL SIDIR N311 FIRE ALARM BELL HAVE SPRINKLERS SPRINKLERS	INSTITUTOUS SEEF PRETAUTINGS PLOAG, THE SPINING, SUBMITTAL. HORIZONTAL SIDING SYSTEM (TYP) FIRE ALAM BELL COCCUES ONLY AT BUILDINGS DE: HORIZONTAL SIDING SYSTALED. SEEF FIRE PATINGS F SPRINALER ARE DEFERRED SUBMITTAL.
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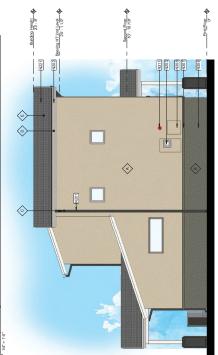
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DESCRIPTION STUCCO, FINE SAID FINISH MFR SIDING, PANTED FINISH SHERWIN-WILLIAMS SWO'N BRELAZED KHAKI	DESCRIPTION STUCCO, COURSE SAID FINISH  MFR SHEWAH-WILLIAMS FINISH SWEZOT THUNDEROUS	DESCRIPTION DOORS, SHUTTERS, & ACCENTS  MFR SHEWAH, WILLIAMS FINISH SW7069 IRON ORE	DESCRIPTION WINDOWS, COLUMNS, & EAVES MPR SHEWIN-WILLIAMS FINISH SW7004 SNOW BOUND	DESCRIPTION RAY TOWN RAY READ RAY READ RAY READ READ RAY READ READ RAY
DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH	DESCRIPTION MFR FINISH
< <p>♦</p>	<b></b>	<b></b>	<b>\oint </b>	<b></b>











Thish Option 2 - Front Elevation

(2) Finish Option 2 - Left Side Elevation 1/4" = 1'.0"

From: Anthony M Grande
To: Anthony M Grande

Subject: FW: Neighborhood Flyer re - Rezoning Application (Z-34-22-1) and Amendment Application (GPA-DV-2-22-1)

**Date:** Thursday, May 19, 2022 4:07:45 PM

From: Katy Wills < <a href="mailto:katylwills@gmail.com">katy Wills < <a href="mailto:katylwills@gmail.com">katylwills@gmail.com</a>>
Sent: Thursday, May 19, 2022 3:42 PM

**To:** Sarah Stockham <<u>sarah.stockham@phoenix.gov</u>>

Subject: Neighborhood Flyer re - Rezoning Application (Z-34-22-1) and Amendment Application

(GPA-DV-2-22-1)

Hi Sarah,

I reside at 20635 N. 21st Avenue, Phoenix, AZ 85027 and received your flyer relating to the Rezoning Application (Z-34-22-1) and Amendment Application (GPA-DV-2-22-1) of Mack Real Estate Group. I oppose these rezoning applications, as the land behind my house has been vacant since 1982 when my house was built, and I would prefer for an apartment complex not to block my backyard view and potentially affect my real estate property value.

Please let me know if you have any questions relating to my opposition of the application.

Thank you.

Sincerely,
Ann and Katy Wills

From: Anthony M Grande
To: Anthony M Grande

**Subject:** FW: regarding rezoning request **Date:** Monday, May 23, 2022 11:50:30 AM

From: Mary Dyas <mas061000@aol.com>
Sent: Monday, May 23, 2022 10:58 AM

**To:** Sarah Stockham <<u>sarah.stockham@phoenix.gov</u>>

**Subject:** regarding rezoning request

### Sarah

This is in regards to a rezoning request case #Z-34-22 from a Industrial Plan to a Residential Plan. I definitely oppose this plan. I am a homeowner to three houses in this area. Too many factors play into this changing of plans in our quiet community such as: property values going down, traffic congestion, crime going up and the trash it would bring in. So I am requesting you to deny this request of rezoning this application.

Sincerely yours,

Mary Dyas

Village Planner Sarah Stockham Phoenix City Government

Application: GPA-DV-2-22-1 Address: 20620 N 19<sup>th</sup> Avenue

We are owners of the property located at 20817 N 20<sup>th</sup> Avenue. We have been in the area for 20 years, running our business. We bought in this area because it was and is zoned for industrial use.

It has come to our attention that the property down the street is requesting a zoning change from industrial to residential. We have some concerns and objections to that zoning.

- 1. We have been told that there will be an ingress at the corner of Monona and 20<sup>th</sup> Avenue. This will allow for the residence to access this property either by going down Monona or coming down 20<sup>th</sup> Avenue. This is also going to allow the fire department or any emergency vehicle to have access to the property.
- 2. Current traffic allows for semi's and delivery trucks to come and go. At times they are stacked in the street waiting to drop off their deliveries or load. There are times when they unload in the street. The access of any emergency vehicle would be limited by the congestion in the area.
- 3. Our employees and other businesses employees have access to street parking. This is utilized on a daily basis. It is not something we can afford to lose. This also adds to the congestion on the streets. The elimination of this parking would devalue our property.

Having additional traffic accessing these roads will only contribute to the congestion that we experience on a daily basis. As for access for emergency vehicles, it would be limited by the current traffic and street parking. These streets cannot support additional any traffic.

I would like to request that the transportation department do a traffic count and an observation of the current area before allowing this project to proceed with this ingress at this corner.

County Transportation needs to prove 20th street can handle the additional traffic before approving the increased density. We do not believe it can and are against the access onto 20th street

Until this is resolved we do not support the rezoning.

Michaelene and Steuart Barlow 20817 N 20<sup>th</sup> Avenue "B" Phoenix, Az. 85027 623-580-5200

Cc: Anne O'Brian