

Attachment B



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-34-22-1
August 9, 2022

Deer Valley Village Planning Committee
Meeting Date:

August 11, 2022

Planning Commission **Hearing Date:**

September 1, 2022

Request From:

Ind. Pk. (Industrial Park District) (22.46 acres)

Request To:

R-3A (Multifamily Residence District) (22.46 acres)

Proposed Use:

Multifamily residential

Location:

Approximately 600 feet south of the southwest corner of 19th Avenue and Rose Garden Lane

Owner:

TCA Plaza 1, LLC and TCA Plaza II, LLC

Applicant:

Mack Real Estate Group

Representative:

Jason Morris/Benjamin Tate, Withey Morris, PLC

Staff Recommendation:

Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		<u>Current</u> Industrial	
		<u>Proposed (GPA-DV-2-22-1)</u> Residential 15+ dwelling units per acre	
<u>Street Map Classification</u>	19th Avenue	Major Arterial	65-foot west half street
	Monona Drive	Local Street	30-foot south half street
	21st Avenue	Local Street	33-foot east half street
<i>CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent</i>			

General Plan Conformity

negative impact(s) on the residential properties.

The requested R-3A zoning district will result in development that is sensitive to the scale and character of the surrounding area. This section of 19th Avenue contains a mix of higher-intensity commercial and commerce park uses, and multifamily development. As stipulated, the development would incorporate standards to avoid negative impacts on the adjacent single-family residences to the west, including a height limit, increased setbacks, and enhanced landscaping.

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.

The requested R-3A zoning district would allow redevelopment of an underused site into a multifamily residential community that is compatible with the surrounding area and respectful of local conditions. The proposed development is located along a mixed-use corridor and as stipulated, incorporates setbacks and enhanced landscaping around the perimeter to enhance compatibility with the surrounding area.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

As stipulated, the proposal will shade the sidewalk on 19th Avenue and Monona Drive, provide enhanced landscaping standards within the perimeter of the development, and provide additional shading within the surface parking lots. This will help to provide shade for pedestrians in and around the community and to mitigate the urban heat island effect by covering hard surfaces, thus cooling the micro-climate around the vicinity.

Applicable Plans, Overlays, and Initiatives

Tree and Shade Master Plan: See Background Item No. 6.

Complete Streets Guiding Principles: See Background Item No. 7.

Comprehensive Bicycle Master Plan: See Background Item No. 8.

Zero Waste PHX: See Background Item No. 9.

Housing Phoenix: See Background Item No. 10.

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant office building	Ind. Pk.
North	Commerce park uses	CP/GCP
South	Vacant and self-service storage facility	Ind. Pk. and C-2
East (across 19th Avenue)	Commercial uses	Ind. Pk. and C-O
West	Single-family residential	R1-8 and R-2

R-3A - Multifamily Residence District (Planned Residential Development Option)		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed site Plan</u>
Gross Acreage	-	22.46 acres
Total Maximum Number of Units	519 units, up to 593 with bonus	438 units (Met)
Maximum Density	23.1 dwelling units per acre, up to 26.4 with bonus	19.50 dwelling units per acre (Met)
Maximum Lot Coverage	45 percent	Not specified
Maximum Building Height	3 stories or 40 feet for 150 feet; 1 foot increase in height for 5 feet of additional building setback, up to 48 feet and 4 stories	3 stories and 33 feet (Met)

R-3A - Multifamily Residence District (Planned Residential Development Option)		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed site Plan</u>
<i>Minimum Perimeter Setbacks</i>		
Adjacent to public street	20 feet	19th Avenue: 20 feet (Met) Monona Drive: 20 feet (Met) 21st Avenue: 20 feet (Met)
Adjacent to property line	15 feet	North: 20 feet (Met) West: 30 feet (Met) South: 15 feet (Met)
<i>Minimum Perimeter Landscape Setbacks</i>		
Adjacent to public street	20 feet	19th Avenue: 20 feet (Met) Monona Drive: 20 feet (Met) 21st Avenue: 20 feet (Met)
Adjacent to property line	5 feet	North: 20 feet (Met) West: 30 feet (Met) South: 15 feet (Met)
Minimum Open space	5 percent	7.7 percent (Met)
Minimum Parking	680 spaces required 1.3 spaces per efficiency unit; 1.5 spaces per 1 or 2 bedroom unit; 2 spaces per 3 or more bedroom unit; 1.0 spaces per unit	682 spaces (Met)

	of less than 600 square feet 392 1-, 2-bedroom units 46 3-bedroom units	
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Background/Issues/Analysis

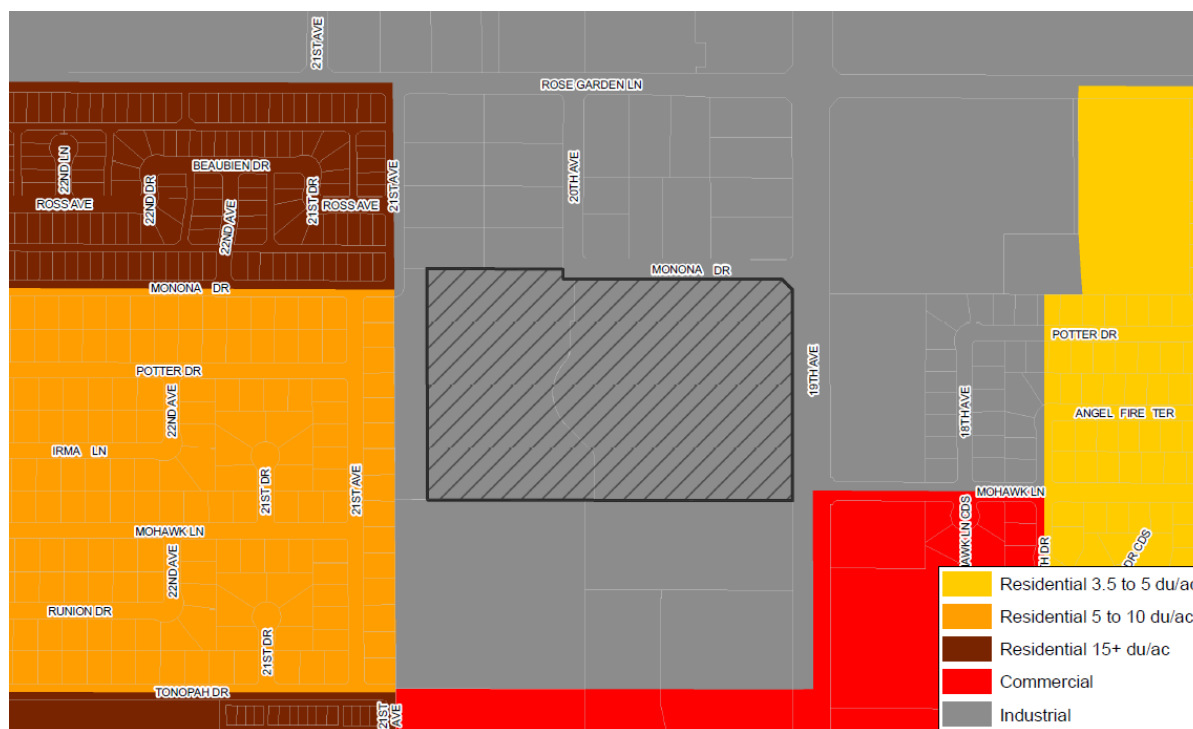
SUBJECT SITE

1. This request is to rezone 22.46 acres located approximately 600 feet south of the southwest corner of 19th Avenue and Rose Garden Lane from Ind. Pk. (Industrial Park District) to R-3A (Multifamily Residence District) for a multifamily residential development. The site currently contains an office building, built in 2002, accessory parking, and vacant land.

GENERAL PLAN LAND USE MAP DESIGNATIONS

2. The subject site is designated as Industrial on the General Plan Land Use Map. The properties to the north, east, and south are also designated as Industrial. To the west, the General Plan Land Use Map designation is Residential 10 to 15 dwelling units per acre and Residential 15+ dwelling units per acre.

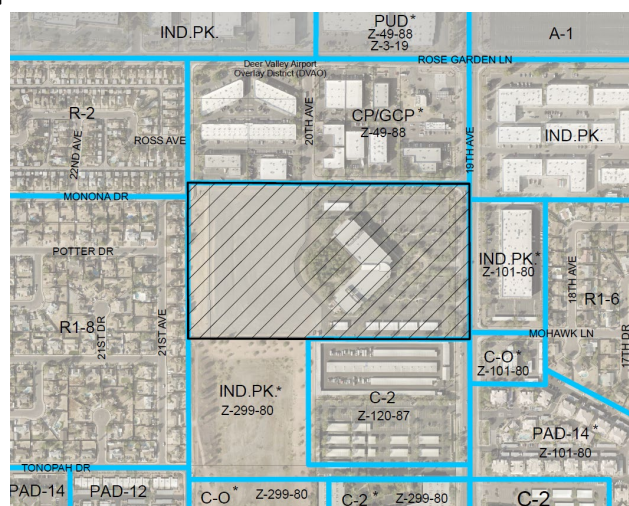
The applicant is proposing a minor General Plan Amendment (GPA-DV-2-22-1), which would change the designation of the subject site from Industrial to Residential 15+ dwelling units per acre. The proposed zoning district is consistent with the proposed General Plan Land Use Map designation.



General Plan Land Use Map, Source: Planning and Development Department

SURROUNDING LAND USES AND ZONING

3. Properties to the north, east and south all contain commercial zoning, including CP/GCP, C-2, Ind. Pk., and C-O with commercial uses. To the west of the subject site are two single-family residential neighborhoods within R1-8 and R-2 districts.



Zoning Aerial Map, Source: Planning and Development Department

PROPOSAL

4. Site Plan

The proposal is to develop a multifamily residential community, containing 438

Conceptual Site Plan, Source: Synectic Design

Staff recommends general conformance to this site plan (Stipulation No. 1) to ensure that the site develops as proposed. The site plan depicts appropriate street access, additional landscape setbacks adjacent to the existing residential uses, appropriate orientation of buildings and drive aisles. Development intensity is focused on the eastern portion of the site, closer to the major arterial of 19th Avenue.

In order to minimize impacts to the single-family residential neighborhood to the west, the proposal will be a maximum of one story and 20 feet in height within 100

feet of the west property line, as required by Stipulation No. 3. To provide additional landscape buffering between the surrounding uses and increase tree coverage around the site, Stipulation No. 5 requires enhanced landscaping, including 50 percent two-inch caliper and 50 percent three-inch caliper trees planted 20 feet on center, in the perimeter setbacks. Additionally, the landscape setback on the west property edge is 30 feet, providing an additional buffer between the neighborhood to the west. In order to enhance the open space component of the proposal, there will be a minimum of five active and passive recreational elements in the common open space area, as required in Stipulation No. 4.

5. **Elevations**

The conceptual building elevations depict several one- and two-story detached and semi-detached homes, along with three-story apartment buildings. Staff recommends Stipulation No. 2, requiring all buildings to contain architectural embellishments and detailing, to promote visual interest of the development.



Conceptual Building Elevations, Source: Synectic Design

STUDIES AND POLICIES

6. **Tree and Shade Master Plan**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. Staff is

recommending the following stipulations designed to provide enhanced shade on the site.

- Fifty percent two-inch caliper and 50 percent three-inch caliper trees within the required landscape setbacks (Stipulation No. 5);
- Landscaping in surface parking areas to achieve 25 percent shade at maturity (Stipulation No. 6);
- The sidewalks along 19th Avenue and Monona Drive shall be shaded to provide a minimum of 75 percent shade (Stipulation No. 10).

7. **Complete Streets Guiding Principles**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The proposed project will maintain the existing detached sidewalk on 19th Avenue, which will be shaded to a minimum of 75 percent (Stipulation No. 10), creating a high-quality pedestrian environment. Additionally, staff recommends the following stipulations to advance the Complete Streets Guiding Principles:

- Visually contrasted pedestrian walkways within the development where they cross drive aisles (Stipulation No. 7);
- Bicycle parking, consistent with the Walkable Urban (WU) Code standards, to be provided in a secure location, in addition to guest bicycle parking at a minimum rate of 0.05 spaces per unit to be located near the clubhouse or distributed throughout the site (Stipulation No. 8);
- A shared use path, constructed within an easement to be dedicated by the developer, along 19th Avenue, constructed according to MAG standards (Stipulation No. 9).

8. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the project will provide bicycle parking spaces, consistent with the requirements of the Walkable Urban (WU) Code, and provide guest bicycle parking at a minimum rate of 0.05 spaces per unit to be located near the clubhouse or distributed throughout the site. This is addressed in Stipulation No. 8.

9. **Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and

expand its recycling and other waste diversion programs. The application did not address recycling services.

10. [Housing Phoenix](#)

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant land in a more sustainable fashion.

COMMUNITY INPUT SUMMARY

11. As of the writing of this report, staff has received three letters in opposition to this case. Concerns include traffic, property values, preserving views, and crime.

INTERDEPARTMENTAL COMMENTS

12. The Street Transportation Department commented that the developer shall construct a knuckle design at the corner of 20th Avenue and Monona Drive, no vehicular access shall be provided to 21st Avenue, and that the developer shall construct the adjacent streets, including meeting ADA accessibility standards. These are addressed in Stipulation Nos. 11 through 13.
13. The Water Services Department commented that the property has existing water and sewer mains that can potentially serve the development. In addition, the Water Services Department commented that capacity is a dynamic condition that can change over time due to a variety of factors.
14. The Aviation Department commented that the property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Deer Valley Airport (DVT) to future owners or tenants of the property. This is addressed in Stipulation No. 14.
15. The Parks and Recreation Department commented that a shared use path easement and a shared use path constructed within the easement is required along 19th Avenue. This is addressed in Stipulation No. 9.
16. The Fire Department commented that there were no anticipated problems with the referenced case and that the fire code will require water supply to meet fire flow

standards and marking the fire apparatus access road.

OTHER

17. The site has not been identified as being archeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 15.
18. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to preliminary site plan approval. This is addressed in Stipulation No. 16.
19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The requested R-3A zoning district is consistent with the proposed General Plan Land Use Map designation of Residential 15+ dwelling units per acre.
2. As stipulated, the proposed development will include development standards including height limits, increased setbacks adjacent to existing residential properties, enhanced landscaping and shade, and open space requirements, that mitigate impacts to surrounding properties.
3. As stipulated, the proposed development enhances connectivity in the immediate vicinity by improving adjacent roadways, creating a public shared use path, and providing shaded detached sidewalks.

Stipulations

1. The development shall be in general conformance with the conceptual site plan date stamped July 21, 2022, as modified by the following stipulations and approved by the Planning and Development Department.
2. All building elevations shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or

overhang canopies, as approved by the Planning and Development Department.

3. The development shall be limited to 1 story and 20 feet in height within 100 feet of the west property line.
4. The common open space areas shall provide a minimum of 5 active or passive recreational elements, located throughout the property, as generally shown on the site plan date stamped July 21, 2022. Recreational elements meeting this requirement shall include, but are not limited to, swimming pools, playground sets, ramadas, dog parks, fire pits, and barbeque areas; and shall not include lawn or turf areas, as approved by the Planning and Development Department.
5. The perimeter setbacks on all sides of the site shall be landscaped and shall include minimum 50 percent 2-inch caliper and minimum 50 percent 3-inch caliper trees planted 20 feet on center or in equivalent groupings, as approved by the planning and development department.
6. All uncovered surface parking lot areas shall be landscaped with minimum 2-inch caliper drought-tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25 percent shade at maturity, as approved by Planning and Development Department.
7. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrasts parking and drive aisle surfaces, as approved by the Planning and Development Department.
8. The developer shall provide secured bicycle parking per Section 1307 of the Zoning Ordinance. In addition, inverted U- and/or artistic bicycle racks shall be provided for guests, with a minimum of 0.05 spaces per unit, located near the clubhouse or distributed throughout the site and installed per the requirements of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department.
9. A 20-foot-wide shared use path easement (SUPE) shall be provided along 19th Avenue and a minimum 10-foot-wide shared use path (SUP) shall be constructed within the easement in accordance with the MAG supplemental detail and as approved by the Planning and Development Department. Where conflicts or restrictions exist, the developer shall work with the Site Planning section on an alternate design through the technical appeal process.
10. The sidewalks along 19th Avenue and Monona Drive shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide a minimum of 75 percent

shade, as approved or modified by the Planning and Development Department.

11. The developer shall construct a knuckle design at the corner of 20th Avenue and Monona Drive connecting the roadway and sidewalk, as approved by the Planning and Development Department.
12. No vehicular access shall be provided to 21st Avenue along Monona Drive.
13. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
14. The property owner shall record documents that disclose the existence, and operational characteristics of Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
15. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
16. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

Writer

Anthony Grande

August 9, 2022

Team Leader

Racelle Escolar

Exhibits

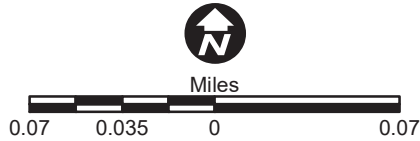
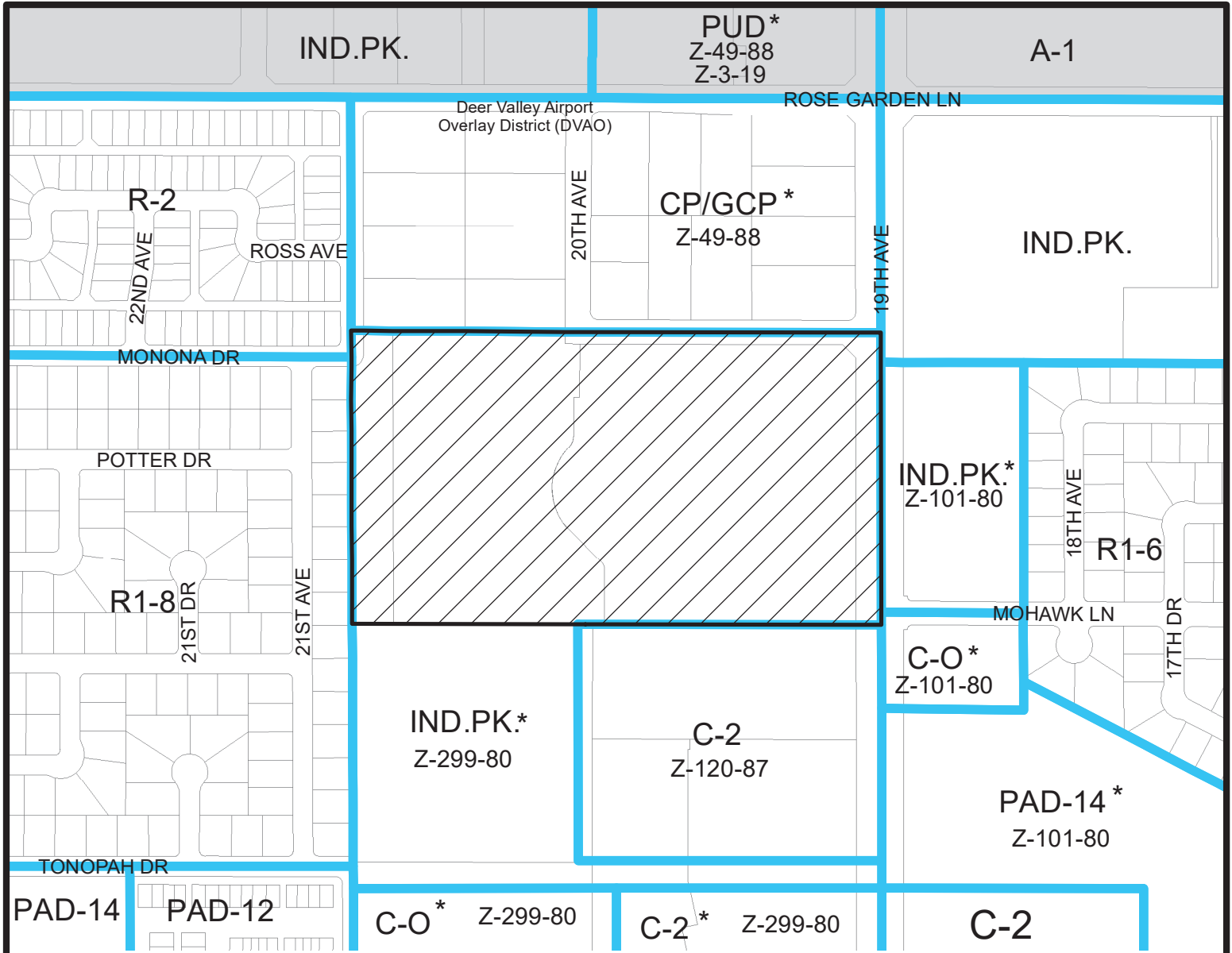
Zoning sketch map

Aerial sketch map

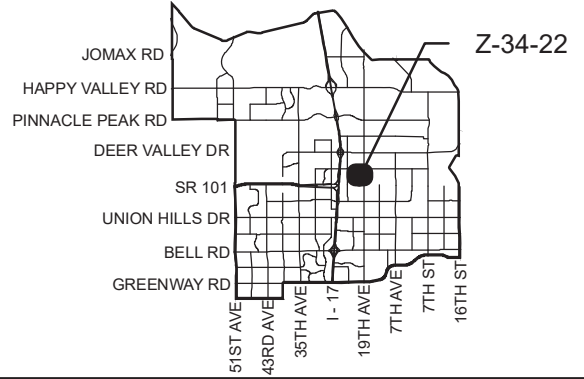
Conceptual Site Plan date stamped July 21, 2022

Conceptual Building Elevations date stamped April 27, 2022 (10 pages)

Community Correspondence (3 pages)

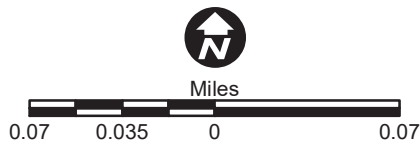
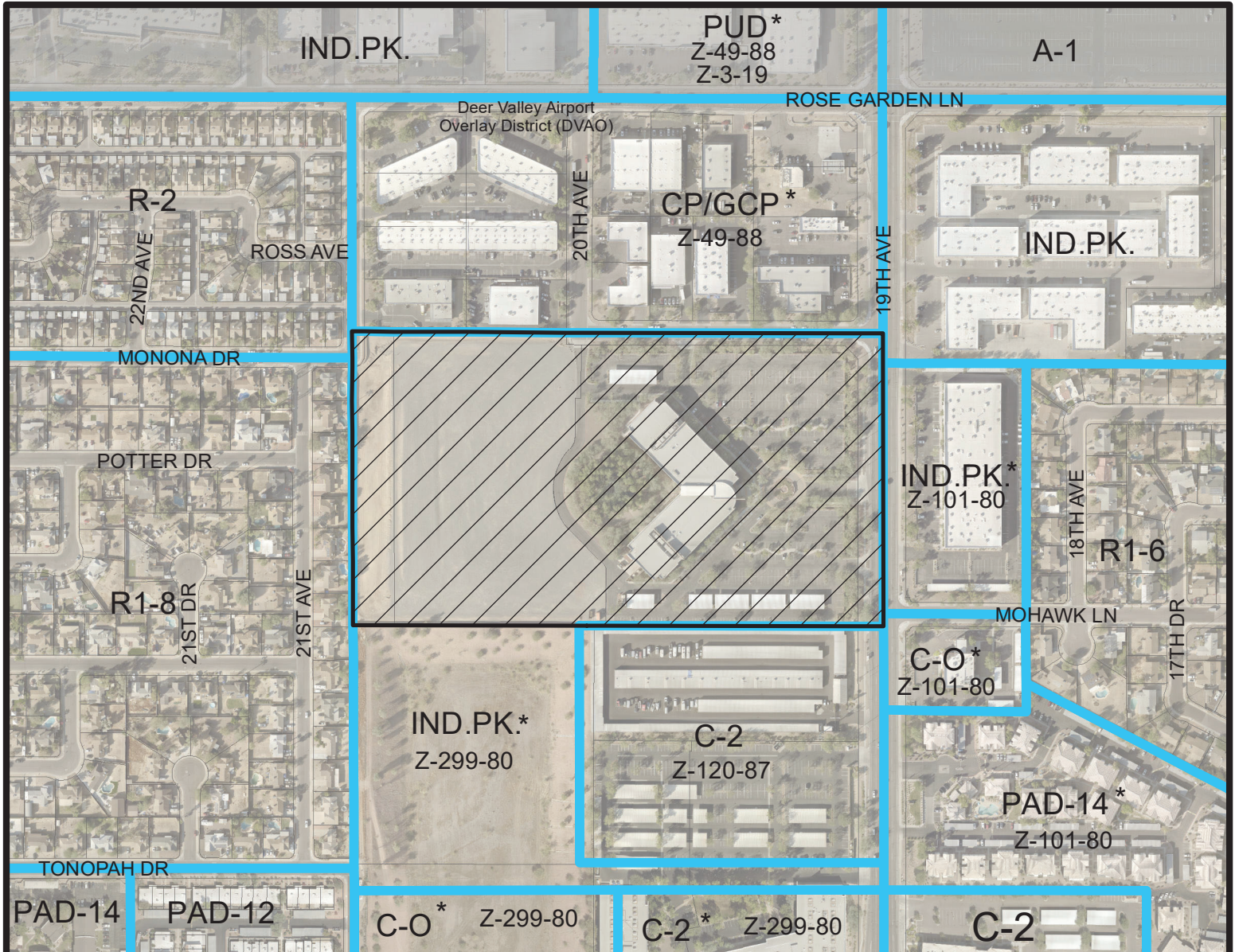


DEER VALLEY VILLAGE
CITY COUNCIL DISTRICT: 1

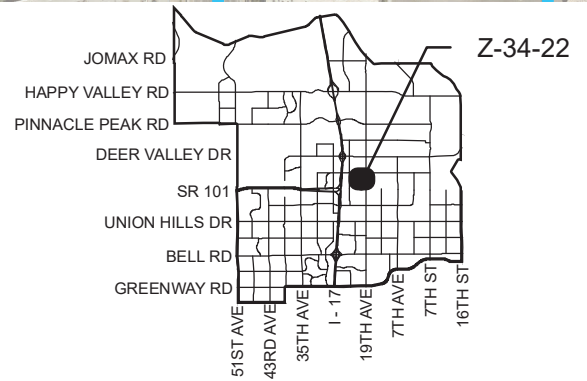


APPLICANT'S NAME: Mack Real Estate Group		REQUESTED CHANGE:	
APPLICATION NO. Z-34-22		FROM: IND. PK (22.46 a.c.)	
DATE: 5/16/2022 REVISION DATES:		TO: R-3A (22.46 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 22.46 Acres		AERIAL PHOTO & QUARTER SEC. NO. QS 41-24 ZONING MAP N-7	
MULTIPLES PERMITTED IND. PK R-3A		CONVENTIONAL OPTION N/A 494	
		* UNITS P.R.D. OPTION N/A 593	

* Maximum Units Allowed with P.R.D. Bonus



DEER VALLEY VILLAGE
CITY COUNCIL DISTRICT: 1



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APPLICATION NO. Z-34-22		FROM: IND. PK (22.46 a.c.)	
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MULTIPLES PERMITTED IND. PK R-3A		CONVENTIONAL OPTION N/A 494	
		* UNITS P.R.D. OPTION N/A 593	

* Maximum Units Allowed with P.R.D. Bonus

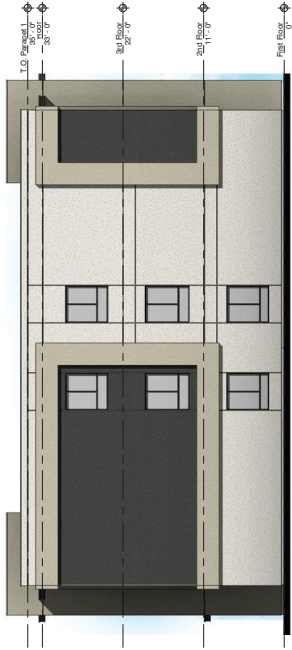
① North Elevation
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"



④ West Elevation
1/8" = 1'-0"



③ East Elevation
1/8" = 1'-0"



EXTERIOR FINISH LEGEND	
DESCRIPTION: STUCCO MAIN COLOR	
MFR: TBO	
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FINISH: SMOOTH FINISH	
DESCRIPTION: STUCCO ACCENT COLOR	
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DESCRIPTION: TILE CLADDING	
MFR: TBO	
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FINISH: SMOOTH	
DESCRIPTION: GLASS	
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COLOR: CLEAR	
FINISH: CLEAR	

EXTERIOR ELEVATION GENERAL NOTES

- A. GENERAL NOTE
- B. GENERAL NOTE
- C. GENERAL NOTE

SHEET KEYED NOTES

SHEET KEYED NOTES

EXTERIOR ELEVATION GENERAL NOTES

- A. GENERAL NOTE
- B. GENERAL NOTE
- C. GENERAL NOTE

19TH AND MONONA MULTI FAMILY
BUILDING 2

20020 N 19TH AVE
PHOENIX, ARIZONA 85027

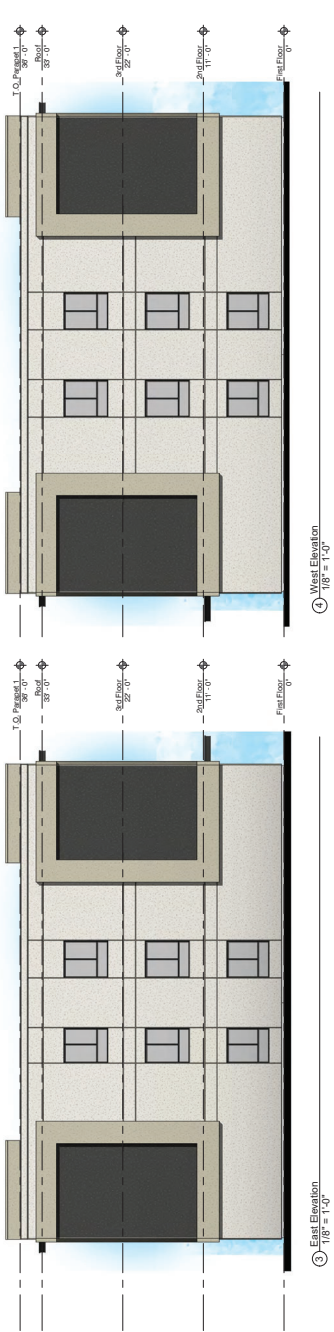
NOT FOR CONSTRUCTION

N.F.C.

NOT FOR CONSTRUCTION
REVISIONS

SD
Drawn By: ANS
Reviewed By: LDB
SD Project No: 4225
Date: 01/03/2021
Sheet:

A3.2
EXTERIOR ELEVATIONS



SHEET KEYED NOTES

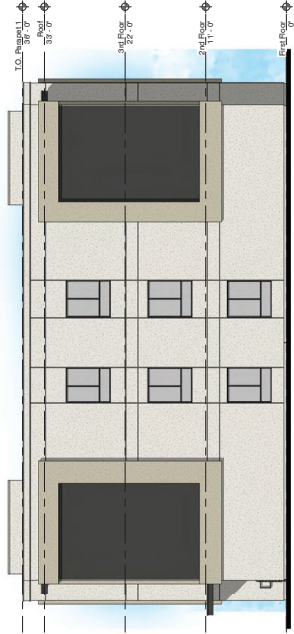
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3	DESCRIPTION: TILE CLADDING FINISH: SMOOTH COLOR: SW/MSK THUNDEROUS	
4	DESCRIPTION: METAL WORK FINISH: SMOOTH COLOR: SW/MSK IRON ORE	
5	DESCRIPTION: GLASS FINISH: CLEAR	

EXTERIOR ELEVATION GENERAL NOTES

- A. GENERAL NOTE
- B. GENERAL NOTE
- C. GENERAL NOTE



③ East Elevation
1/8" = 1'-0"



④ West Elevation
1/8" = 1'-0"

19TH & MONONA MULTI FAMILY
BUILDING 3

20820 N 19TH AVE
PHOENIX, ARIZONA 85027

NOT FOR CONSTRUCTION

N.F.C.

NOT FOR CONSTRUCTION REVISIONS

Phone: 480.948.9766
Drawn By: LDB
Reviewed By: LDB
SD Project No: 4208
Date: 12/01/2021
Sheet: A3.3

EXTERIOR ELEVATIONS



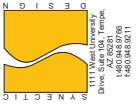
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① North Elevation
1/8" = 1'-0"



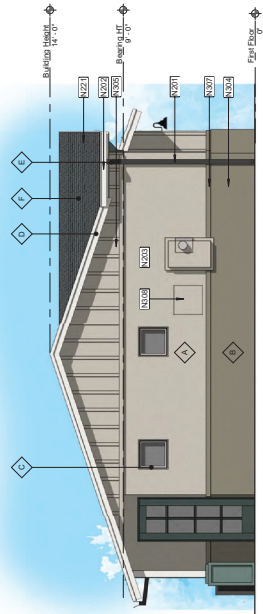
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A3.2A
EXTERIOR ELEVATIONS -



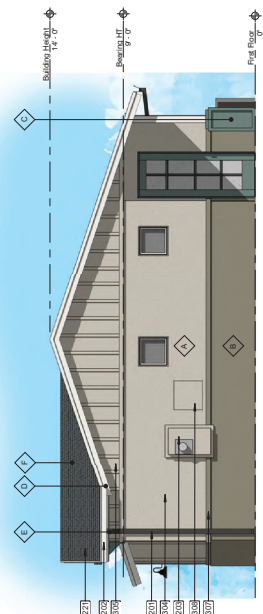
- SHEET KEYED NOTES**
- N201 DOWNSPOUT, COORDINATE LOCATION WITH GRADING AND DRAINAGE PLAN, PROVIDE RFRAP OR SPASH BLOCK.
 - N202 GUTTER (TYP)
 - N221 CONCRETE TILE ROOFING SYSTEM OVER HIGH TEMPERATURE INSULATION, MATCH TO EXISTING ROOFING SYSTEM.
 - N302 WALL MOUNTED EXTERIOR PORCH OR PATIO LIGHT FIXTURE, IRON ORE COMPLIANT (TYP)
 - N303 SHOWN FOR INFORMATION ONLY, SEE EXISTING DRAWINGS FOR VERIFICATION.
 - N304 STUCCO FINISH SYSTEM (TYP)
 - N305 BOARD AND BATTEN SIDING SYSTEM (TYP)
 - N306 SHOWN FOR INFORMATION ONLY, SEE EXISTING DRAWINGS FOR VERIFICATION.
 - N307 FOAM POPCORN FINISH (TYP)
 - N308 FIRE SPRINKLER EQUIPMENT ACCESS PANEL, PAINT TO MATCH WALL FINISH, SEE EXISTING DRAWINGS FOR VERIFICATION.
 - N309 SHOWN FOR INFORMATION ONLY, SEE EXISTING DRAWINGS FOR VERIFICATION.
 - N310 SHOWN FOR INFORMATION ONLY, SEE EXISTING DRAWINGS FOR VERIFICATION.



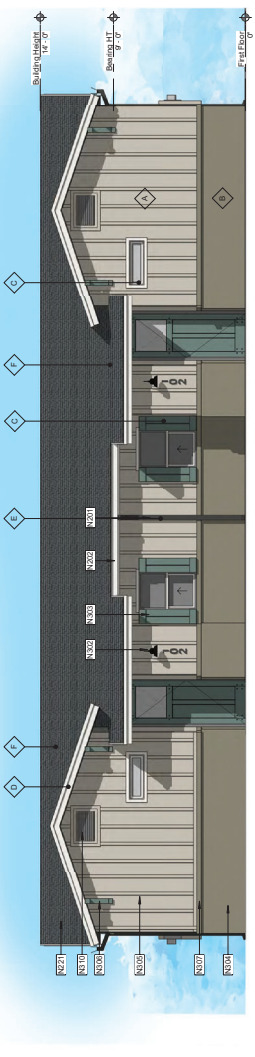
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1/8" = 1'-0"



3 Finish Option 2 - Left Side Elevation
1/8" = 1'-0"



2 Finish Option 2 - Right Side Elevation
1/8" = 1'-0"



1 Finish Option 2 - Front Elevation
1/8" = 1'-0"

19TH AVENUE AND MONONA DRIVE SFR
BUILDING TYPE A-D (1 BR DUPLEX)

PHOENIX, AZ 85027
2020 N 19TH AVENUE



REVISIONS

Phase	CD
Drawn By	Author
Reviewed By	Checker
SJ Project No	4228
Date	04/08/2022

Sheet: **A3.2AD**
EXTERIOR ELEVATIONS -

EXTERIOR ELEVATION GENERAL NOTES

- SEE SITE PLAN FOR ADDITIONAL INFORMATION, BUILDING ORIENTATION, ORIENTATION SHOWN IS FOR REFERENCE ONLY. ORIENTATION SHOWN IS FOR REFERENCE ONLY.
- SEE EXISTING DRAWINGS FOR VERIFICATION OF EXISTING CONDITIONS.
- SEE EXISTING DRAWINGS FOR VERIFICATION OF EXISTING CONDITIONS.
- WALLS, BASES AND SILLING DETAIL TO MATCH EXISTING DETAIL.
- CONSTRUCTION AS REQUIRED.
- IN GENERAL, SEE ID DRAWING SHEETS FOR FINISH PLAN, SELECTED INTERIOR ELEVATIONS, FLOOR, CEILING AND EQUIPMENT.

EXTERIOR FINISH LEGEND

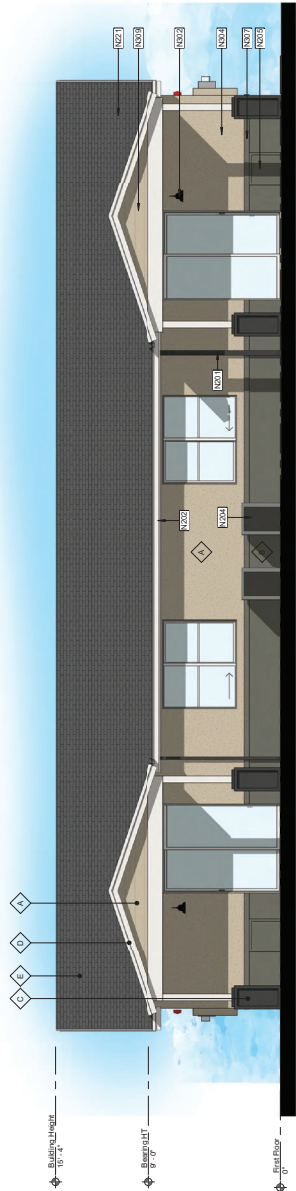
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SHEET KEYED NOTES

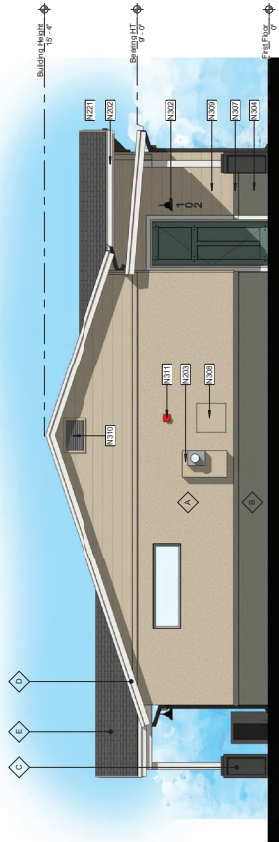
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EXTERIOR ELEVATION GENERAL NOTES

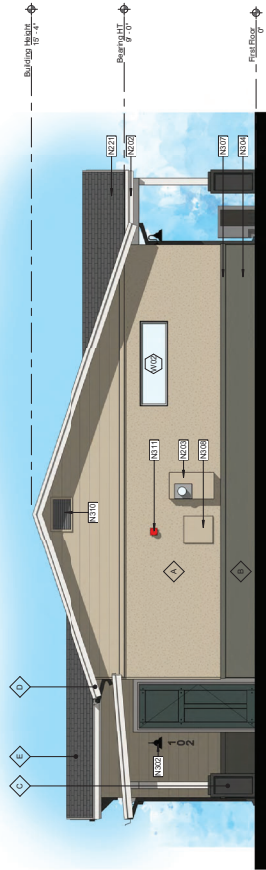
- SEE SITE PLAN FOR ADDITIONAL INFORMATION. BUILDING ORIENTATION AND/OR MIRRORED. ORIENTATION SHOWN & FOR REFERENCE ONLY.
SEE GRADING AND DRAINAGE PLAN FOR BUILDING ELEVATION.
SEE FIRE FIGHTING PLANS FOR LOCATIONS OF FIRE RATED EXTERIOR WALLS, EAVES AND OPENING PROTECTION. MODIFY STANDARD UNIT CONSTRUCTION AS REQUIRED.
SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
WHERE "D" IS CONTAINED IN A NOTE REFER TO FINISH DESIGN DRAWINGS.
IN GENERAL, SEE DRAWING SHEETS FOR FINISH PLAN, REFLECTED INTERIOR, INTERIOR ELEVATIONS, FINISHES, FIXTURES AND EQUIPMENT.



4 Finish Option 2 - Back Elevation
 $1\frac{1}{4}" = 1'-0"$



③ Finish Option 2 - Left Side Elevation
1/4" = 1'-0"



2 Finish Option 2 - Right Side Elevation
1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
4	DESCRIPTION: STUCCO, LINE AND FINISH MFR: SONS, PANTED FINISH: STUCCO, LINE AND FINISH SHEWAN/DAVIS/DAVIS
5	DESCRIPTION: STUCCO, COURSE AND FINISH MFR: STEVEN WILLIAMS FINISH: STUCCO, COURSE AND FINISH SHEWAN/DAVIS/DAVIS
6	DESCRIPTION: DOOR, SHUTTERS & ACCENTS MFR: STEVEN WILLIAMS FINISH: STUCCO, COURSE AND FINISH SHEWAN/DAVIS/DAVIS
7	DESCRIPTION: WINDOWS, COLUMNS, & BAYES MFR: STEVEN WILLIAMS FINISH: STUCCO, COURSE AND FINISH SHEWAN/DAVIS/DAVIS
8	DESCRIPTION: CLAY TILE ROOF, THE BASIS OF DESIGN, DAILE ROOFING MFR: PRODUCTS PEOPLE, GOLDEN COLOR, DARK CHARCOAL



REVISIONS	
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Phase: _____
Drawn By: _____
Reviewed By: _____
CD

DI Project No: 4 226
Date: 04/08/2022

Sheet:
A3.2BD
EXTERIOR ELEVATIONS -

From: [Anthony M Grande](#)
To: [Anthony M Grande](#)
Subject: FW: Neighborhood Flyer re - Rezoning Application (Z-34-22-1) and Amendment Application (GPA-DV-2-22-1)
Date: Thursday, May 19, 2022 4:07:45 PM

From: Katy Wills <katylwills@gmail.com>
Sent: Thursday, May 19, 2022 3:42 PM
To: Sarah Stockham <sarah.stockham@phoenix.gov>
Subject: Neighborhood Flyer re - Rezoning Application (Z-34-22-1) and Amendment Application (GPA-DV-2-22-1)

Hi Sarah,

I reside at 20635 N. 21st Avenue, Phoenix, AZ 85027 and received your flyer relating to the Rezoning Application (Z-34-22-1) and Amendment Application (GPA-DV-2-22-1) of Mack Real Estate Group. I oppose these rezoning applications, as the land behind my house has been vacant since 1982 when my house was built, and I would prefer for an apartment complex not to block my backyard view and potentially affect my real estate property value.

Please let me know if you have any questions relating to my opposition of the application.

Thank you.

Sincerely,
Ann and Katy Wills

From: [Anthony M Grande](#)
To: [Anthony M Grande](#)
Subject: FW: regarding rezoning request
Date: Monday, May 23, 2022 11:50:30 AM

From: Mary Dyas <mas061000@aol.com>
Sent: Monday, May 23, 2022 10:58 AM
To: Sarah Stockham <sarah.stockham@phoenix.gov>
Subject: regarding rezoning request

Sarah

This is in regards to a rezoning request case #Z-34-22 from a Industrial Plan to a Residential Plan. I definitely oppose this plan. I am a homeowner to three houses in this area. Too many factors play into this changing of plans in our quiet community such as: property values going down, traffic congestion, crime going up and the trash it would bring in. So I am requesting you to deny this request of rezoning this application.

Sincerely yours,

Mary Dyas

Village Planner
Sarah Stockham
Phoenix City Government

Application: GPA-DV-2-22-1
Address: 20620 N 19th Avenue

We are owners of the property located at 20817 N 20th Avenue. We have been in the area for 20 years, running our business. We bought in this area because it was and is zoned for industrial use.

It has come to our attention that the property down the street is requesting a zoning change from industrial to residential. We have some concerns and objections to that zoning.

1. We have been told that there will be an ingress at the corner of Monona and 20th Avenue. This will allow for the residence to access this property either by going down Monona or coming down 20th Avenue. This is also going to allow the fire department or any emergency vehicle to have access to the property.
2. Current traffic allows for semi's and delivery trucks to come and go. At times they are stacked in the street waiting to drop off their deliveries or load. There are times when they unload in the street. The access of any emergency vehicle would be limited by the congestion in the area.
3. Our employees and other businesses employees have access to street parking. This is utilized on a daily basis. It is not something we can afford to lose. This also adds to the congestion on the streets. The elimination of this parking would devalue our property.

Having additional traffic accessing these roads will only contribute to the congestion that we experience on a daily basis. As for access for emergency vehicles, it would be limited by the current traffic and street parking. These streets cannot support additional any traffic.

I would like to request that the transportation department do a traffic count and an observation of the current area before allowing this project to proceed with this ingress at this corner.

County Transportation needs to prove 20th street can handle the additional traffic before approving the increased density. We do not believe it can and are against the access onto 20th street

Until this is resolved we do not support the rezoning.

Michaelene and Steuart Barlow
20817 N 20th Avenue "B"
Phoenix, Az. 85027
623-580-5200

Cc: Anne O'Brian