

## **ATTACHMENT A**

**THIS IS A DRAFT COPY ONLY AND IS NOT AN OFFICIAL COPY OF THE FINAL,  
ADOPTED RESOLUTION**

### **RESOLUTION**

A RESOLUTION ADOPTING AN AMENDMENT TO THE 2015  
GENERAL PLAN FOR PHOENIX, APPLICATION GPA-PV-2-21-2,  
CHANGING THE LAND USE CLASSIFICATION FOR THE  
PARCEL DESCRIBED HEREIN.

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BE IT RESOLVED BY THE COUNCIL OF THE CITY OF PHOENIX, as  
follows:



SECTION 1. The 2015 Phoenix General Plan, which was adopted by  
Resolution 21307, is hereby amended by adopting GPA-PV-2-21-2. The 12.92-acre  
site located on the northwest corner of 34th Way and Bell Road is designated as  
Mixed Use (Commercial / Residential 15+ dwelling units per acre).

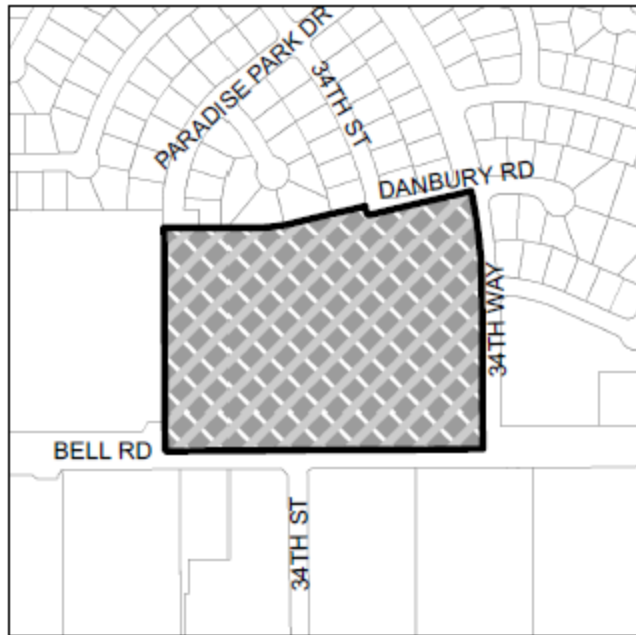
SECTION 2. The Planning and Development Director is instructed to  
modify the 2015 Phoenix General Plan to reflect this land use classification change as  
shown below:

**PROPOSED CHANGE:**

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Mixed Use (Commercial/  
Residential 15+ du/ac ( 12.92 +/- Acres)

-  Proposed Change Area  
 Mixed Use (Commercial/  
Residential 15+ du/ac)



PASSED by the Council of the City of Phoenix this 6th day of October 2021.

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MAYOR

ATTEST:

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Denise Archibald, City Clerk

APPROVED AS TO FORM:  
Cris Meyer, City Attorney

By: \_\_\_\_\_  
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REVIEWED BY:

\_\_\_\_\_  
Ed Zuercher City Manager

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DRAFT