

STATEMENT OF SUPPORT

Z-76-23

“Wildflower”

**I am in support** of the proposed Rezoning from S-1 to R1-18, and Preliminary Site Plan approval for a 58 lots on approximately 25.71 gross acres located at the NEC of 23<sup>rd</sup> Avenue and Dobbins Road in Phoenix, AZ. It is my understanding that the rezoning request, if approved, will allow for the development of a quality 58-lot single-family residential gated community with a total density of 2.25 du/acre.

I have taken the time to review preliminary site plan and understand the proposed project and rezoning. I am a resident of Phoenix, AZ and a property owner adjacent to or near the project site. I believe the proposed density and community design will not burden the neighborhood and fits appropriately with the existing development in the area.

Signature Brian White  
Printed Name Brian White  
Street Address 5427 W Leodra LN  
City Levens AZ Zip Code 85339  
Phone Number 480-215-2356  
Email myplaceinaz@gmail.com  
Date 5-2-24

CITY OF PHOENIX

MAY 14 2024

Planning & Development  
Department

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Signature   
Printed Name Rory Blakemore  
Street Address 1328 E. Piedmont Rd  
City Phoenix Zip Code 85042  
Phone Number 602 770-9688  
Email RBlakemore@cowleyco.com  
Date 5/6/24

CITY OF PHOENIX

MAY 14 2024

Planning & Development  
Department

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Signature DocuSigned by:  
*CHARMIAN WOODSON*  
EE3C1B8E1AAB438...  
CHARMIAN WOODSON  
Printed Name \_\_\_\_\_

Street Address: 4729 W. Dobbins Road

City: Laveen      Zip Code: 85339

Phone Number \_\_\_\_\_

Email: cwlaveen@gmail.com

Date: 5/13/2024

**CITY OF PHOENIX**

**MAY 14 2024**

**Planning & Development  
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Signature   
Printed Name Mark Dobbins  
Street Address 8331 S 27<sup>th</sup> Ave  
City Laveen Zip Code 85039  
Phone Number 602 773 6910  
Email Mark@MDCconst.com  
Date 5/2/24

**CITY OF PHOENIX**

**MAY 14 2024**

**Planning & Development  
Department**

**STATEMENT OF SUPPORT**

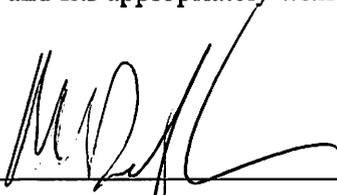
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Signature



Printed Name

Max Dorefflein

Street Address

4610 S. 30<sup>th</sup> St.

City

Phx

Zip Code

85040

Phone Number

602 793 6410

Email

max@wob.com

Date

5/2/24

**CITY OF PHOENIX**

**MAY 14 2024**

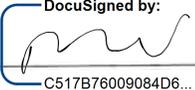
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Signature   
Printed Name Hudd Hassell  
Street Address 10201 S. 35<sup>th</sup> Ave  
City Laveen Zip Code 85339  
Phone Number                       
Email Hudd@Belafloe.com  
Date 5/2/2024

**CITY OF PHOENIX**  
**MAY 14 2024**  
**Planning & Development**  
**Department**

**CITY OF PHOENIX****MAY 14 2024****Planning & Development  
Department****Re: 23rd Ave. & Dobbins - Revamped Land Plan**

From: H. Jewel Clark (hjewelclark@fastmail.com)

To: zapebler@aol.com

Date: Wednesday, March 6, 2024 at 07:38 PM MST

Hi Zack!

Apologies for the late reply! Last week was a "week" and I have been slammed at and after work with stuff until now. I had a chance to look at the design and if that layout is what can be required so that the neighbors have peace of mind on what to expect, I think this looks very encouraging. I of course will defer to my neighbors who live next to the proposed development but from my perspective this looks like a well considered, thoughtful redesign. Thank you for listening and making the extra effort to find common ground! :-)

Jewel

--

H. Jewel Clark

[hjewelclark@fastmail.com](mailto:hjewelclark@fastmail.com)

On Tue, Feb 27, 2024, at 12:32 PM, Zachary Pebler wrote:

Good afternoon Jewel,

Attached after several months of consideration, pricing out powerpole re-alignments, off-site improvement costs and overall development costs, I am prepared to progress to Village Planning Committee with the attached plan.

With this plan, I am no longer asking for a General Plan Amendment, which means this complies with the overall vision of the macro Laveen/South Phoenix plan. We may receive minor city comments for things overlooked in the Rio Montana Plan, but we think we have it all worked out. Big biggest take away is I'm no longer seeking a General Plan Amendment.

My plan is no longer R1-10 zoning and is R1-18 zoning compliant plan. I have reduced the lots to under 60 as some of the neighbors requested. I reduced the number of narrower lots (65 x 118's) from 42 down to 31. In addition, the wider/larger lots now represent almost 50% of the lot count where before they were only 30% of the overall lot count.

Open Space: What was 21% of the site is now 34% and an overall increase to the old plan by 87% in acreage. You will see lots of grass, a 10 foot wide DG trail and an overall 30 foot multi-use trail that goes around the perimeter of the project. We are now using a rail fence to increase the aesthetics of the greenery to make it more pronounced. We also increased the size centralized amenity.

The intersection: With traffic concerns, we really set the lots back from 23rd Ave. and Dobbins to allow for more visibility to the coming intersection. We increased the lot setbacks to 103 feet along Dobbins, representing a 37% increase. Along 23rd Ave we will be almost 100 feet setback from the street. So there will be about 130 or more feet between neighbors (3 of them) on the opposite side of 23rd Ave. and the back of our lots. We maintain a setback of 60 feet to the north and east as well. Our Traffic Study based on 60 lots was approved, so carrying forward with 58 lots and a better land plan will be also.

If there are any other specific items you'd like to discuss please feel free to call me or email me.

Thank you,

Zack Pebler

Zachary A. Pebler, PLLC.  
Pebler Equities, LLC.  
Office: 480-321-8149  
Cell: 480-390-4542

**\*\*OUR ADDRESS has changed to  
3100 W. Ray Rd. #101  
Chandler, AZ. 85226**

**Attachments:**

- 21-0492-Wildflower\_Illustrative Master Plan (1).pdf

**CITY OF PHOENIX**

**MAY 14 2024**

**Planning & Development  
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DocuSigned by:  
Signature LESLIE C. WILLIAMS  
90902F9D44344AA...

Printed Name Leslie C. Williams

Street Address 4638 W. Dobbins Rd.

City Lawrence Zip Code 85339

Phone Number 602-266-9222

Email lesliecwilliams@gmail.com

Date 5/2/2024

**CITY OF PHOENIX**

**MAY 14 2024**

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DocuSigned by:  
Signature Steve Williams  
7BC4B7369839406...  
Printed Name Steve Williams

Street Address 2197 W. South Mountain Ave

City Phoenix Zip Code 85040

Phone Number \_\_\_\_\_

Email steamboat332@msn.com

Date 5/13/2024 5/13/2024

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**MAY 14 2024**

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I have taken the time to review preliminary site plan and understand the proposed project and zoning. I am a resident of Phoenix, AZ and a property owner adjacent to or near the project and I believe the proposed density and community design will not burden the neighborhood and fit appropriately with the existing development in the area.

Signature: [Handwritten Signature]  
Printed Name: John Shelton  
Street Address: 7424 S 14<sup>th</sup> AVE  
City: Phoenix Zip Code: \_\_\_\_\_  
Phone Number: 602-376-7313  
Email: \_\_\_\_\_  
Date: 5/14/24

**CITY OF PHOENIX**

**MAY 14 2024**

**Planning & Development  
Department**

**Re: 23rd Ave. & Dobbins - Revamped Land Plan****CITY OF PHOENIX****MAY 14 2024****Planning & Development  
Department**

From: Julie Willcox (jwillcox1227@gmail.com)

To: zapebler@aol.com

Date: Wednesday, March 13, 2024 at 08:13 AM MST

Zack,

Sorry for the late response but yes, I would be willing to sign/write a letter of support.

Thank you,  
JulieOn Tue, Mar 5, 2024 at 7:59 AM Zachary Pebler <[zapebler@aol.com](mailto:zapebler@aol.com)> wrote:

Hi Julie,

I really appreciate the kind words. Regarding the imminent sale of the property, it could be a few different options:

1. I could sell it at preliminary site plan approval and the future builder would do all the land development and construction of the homes. For clarity, the builder would be OBLIGATED to execute my land plan or have to re-start the whole process with City staff, neighbors, The Village Planning Committee and hearings.
2. I could sell it a final plat with all development construction plans approved. The builder would be obligated to construct as approved and planned.
3. I could execute the land development portion and then sell/joint-venture the finished lots to a builder.

I don't have a preference on any of the three but as offers come in, I will have to consider them all.

So going to The Village Planning Committee, Im going to present the development alone with no housing product. With that, Im ok with approving a stipulation that the housing product must be presented to the Village once I select a builder. I think this is mutually fair for the neighbors and myself because we know I wont (and am not a production builder) build it out. It is also fair in that it allows me to progress the approvals and not sit stagnant while I convince a builder to take the project over.

I still maintain this IS NOT a starter community, the housing product will be in the upper echelon of product out there. I see these homes having to be at least starting in the \$900K range.

**If I sent you a Letter of Support to sign, would you be willing to sign it?** In these times I know I won't be able to satisfy everyone but I try my best and when I have support, I like to show that to the VPC, Planning Commission and Council.

Thank you,

Zack

Zachary A. Pebler, PLLC.  
Pebler Equities, LLC.  
Office: 480-321-8149  
Cell: 480-390-4542

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On Tuesday, March 5, 2024 at 07:44:09 AM MST, Julie Willcox <[jwillcox1227@gmail.com](mailto:jwillcox1227@gmail.com)> wrote:

Hi Zack,

I appreciate you sending the revised plan. It appears that you really did listen to all of us & do your best to address our concerns. Just to clarify, you do plan on developing the land portion and then bringing in/selling to a homebuilder for the housing portion correct?

Thank you,  
Julie Willcox

On Tue, Feb 27, 2024 at 12:39 PM Zachary Pebler <[zapebler@aol.com](mailto:zapebler@aol.com)> wrote:

Good afternoon Julie,

Attached after several months of consideration, pricing out powerpole re-alignments, off-site improvement costs and overall development costs, I am prepared to progress to Village Planning Committee with the attached plan.

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If there are any other specific items you'd like to discuss please feel free to call me or email me.

Thank you,

Zack Pebler

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Pebler Equities, LLC.  
Office: 480-321-8149  
Cell: 480-390-4542

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Chandler, AZ. 85226

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Department**

**RE: SMVPC Mtg, Agenda Item: Z-76-23-8**

chevera trillo &lt;cheveratrillo@gmail.com&gt;

Tue 5/14/2024 2:52 PM

To: Samuel S Rogers &lt;samuel.rogers@phoenix.gov&gt;

Cc: Ntonyt &lt;NtonyT@aol.com&gt;

**CAUTION: This email originated outside of the City of Phoenix.**

Do not click links or open attachments unless you know the sender and were expecting this email.

[Report Suspicious](#)

RE: Z-76-23-8 Presentation, discussion, and possible recommendation regarding a request to rezone 25.71 acres located at the northeast corner of 23rd Avenue and Dobbins Road from S-1 (Ranch or Farm Residence) to R1-18 (SingleFamily Residence District) to allow single-family residential. Presentation by applicant/representative Zachary Pebler with Pebler Equities, LLC

Dear SMVPC -

We live at 2311 W Dobbins Rd, Phoenix, AZ 85041, across from this property. We are writing to indicate our support of Mr. Pebler in his proposed recommendation. We feel that Mr. Pebler has been communicative and reasonable with the neighbors in this area.

Should you have any questions, please do not hesitate to contact us.

Regards,

*Chevera & Nick Torrez*

602.315.9774

[cheveratrillo@gmail.com](mailto:cheveratrillo@gmail.com)