

ATTACHMENT B



City of Phoenix PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-27-26-8 May 4, 2026

Central City [Village Planning Committee](#) Meeting Date: May 11, 2026
[Planning Commission](#) Hearing Date: June 4, 2026
Request From: [R-3 AIOD](#) (Multi-Family Residence District, Airport Noise Impact Overlay District) (4.85 acres)
Request To: [A-1 AIOD](#) (Light Industrial District, Airport Noise Impact Overlay District) (4.85 acres)
Proposed Use: Warehouse and office
Location: Southwest corner of 14th Street and Hess Avenue
Owner: VTHQ, LLC and the City of Phoenix
Applicant/Representative: Ed Bull, Burch & Cracchiolo, P.A.
Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Transition from Residential 3.5-5 dwelling units per acre to Industrial	
Street Map Classification	12th Street	Collector	33-foot east half street
	14th Street	Local	30-foot west half street
	Hess Avenue	Local	30-foot south half street
	I-17 Frontage Road	Freeway frontage road	Approximately 40 feet full street (westbound only)

STRENGTHEN OUR LOCAL ECONOMY; MANUFACTURING AND INDUSTRIAL DEVELOPMENT; LAND USE: Support the expansion of industrial zoning in targeted industrial areas.

The proposal will allow industrial development on the subject site and aligns with the General Plan Land Use Map designation to transition from Residential 3.5-5 dwelling units per acre to Industrial.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE: Facilitate the acquisition of vacant, underutilized and blighted parcels for appropriate redevelopment, compatible with the adjacent neighborhood character and adopted area plans.

The proposal will facilitate the development of vacant noise-impacted land within the Airport Noise Impact Overlay District. The proposed development, as stipulated, will comply with the Sky Harbor Land Reuse Strategy, Airport Noise Impact Overlay District, and the Black Canyon / Maricopa Freeway Specific Plan. Additionally, the proposed zoning district will be compatible with the adjacent industrial land use to the east.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The proposal, as stipulated, includes enhanced landscape setbacks, a shaded employee resting area, shaded bicycle parking, shaded vehicular parking, and shaded detached sidewalks along 14th Street and the I-17 frontage road. These improvements will create a comfortable pedestrian environment along the subject site's perimeter.

Applicable Plans, Overlays, and Initiatives

[Sky Harbor Land Reuse Strategy](#): Background Item No. 5.

[Airport Noise Impact Overlay District](#): Background Item No. 6.

[Black Canyon / Maricopa Freeway Specific Plan](#): Background Item No. 7.

[Shade Phoenix Plan](#): Background Item No. 8.

[Complete Streets Guidelines](#): Background Item No. 9.

[Comprehensive Bicycle Master Plan](#): Background Item No. 10.

[Transportation Electrification Action Plan](#): Background Item No. 11.

[Zero Waste PHX](#): Background Item No. 12.

[Conservation Measures for New Development](#): Background Item No. 13.

[Phoenix Climate Action Plan](#): Background Item No. 14.

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant land and multi-family residential	R-3 AIOD
North (across Hess Avenue)	Single-family homes and vacant land	R-3 AIOD
West (across 12th Street)	Vacant land	R-3 AIOD
East (across 14th Street)	Equipment supplier	A-1 AIOD
South (across I-17 Frontage Road)	ADOT right-of-way, freeway	R-3 AIOD
East and west (adjacent)	Vacant land and church	R-3 AIOD

A-1 (Light Industrial District)		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed site Plan</u>
<i>Minimum Building Setbacks</i>		
East (14th Street) (Section 701.D.3)	25 feet	25 feet (Met)
North (Hess Avenue) (Section 701.D.3)	25 feet	10 feet (Not met)*
South (I-17 Frontage) (Section 701.D.3)	25 feet	5 feet (Not met)*
West (12th Street) (Section 701.D.3)	25 feet	25 feet (Met)
East and West (Adjacent to R-3)	30 feet	25 feet (Not met)*

Minimum Landscape Setbacks		
East (14th Street) (Section 701.D.3)	Minimum 5 feet and no less than 8 times the lot frontage, measured in square feet	Depth: 5 feet (Met) Area: Not depicted
North (Hess Avenue) (Section 701.D.3)	Minimum 5 feet and no less than 8 times the lot frontage, measured in square feet	Depth: 5 feet (Met) Area: Not depicted
South (I-17 Frontage) (Section 701.D.3)	Minimum 5 feet and no less than 8 times the lot frontage, measured in square feet	Depth: 0 feet (Not met)* Area: Not depicted
West (12th Street) (Section 701.D.3)	Minimum 5 feet and no less than 8 times the lot frontage, measured in square feet	Depth: 5 feet (Met) Area: Not depicted
East and West (Adjacent to R-3)	0 feet	5 feet (Met)
Maximum Building Height	56 feet, up to 80 feet with use permit	44 feet (Met)
Minimum Parking	Unspecified industrial use: 1 space per 1,000 square feet 43 spaces	45 spaces (Met)

*Site plan revision or variance required

Background/Issues/Analysis

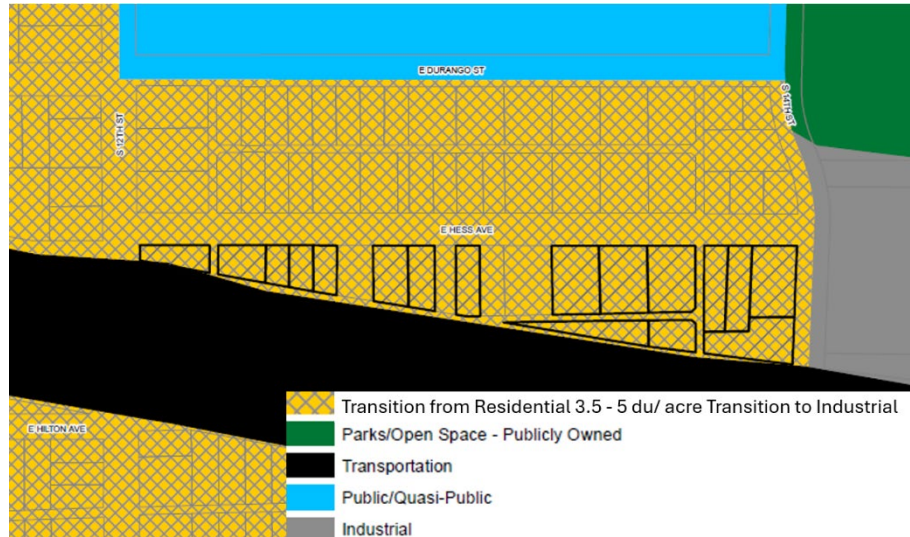
SUBJECT SITE

1. This request is to rezone 4.85 acres located at the southwest corner of 14th Street and Hess Avenue from R-3 AIOD (Multi-Family Residence District, Airport Noise Impact Overlay District) to A-1 AIOD (Light Industrial District, Airport Noise Impact Overlay District) for warehouse and office uses. The subject site is mostly vacant land with one lot developed with residential rental units.

The City of Phoenix currently owns a portion of the subject site and many other noise-impacted properties within the area. The City-owned parcels were voluntarily acquired through the Airport’s Community Noise Reduction Program that ran from 1999 to 2016.

GENERAL PLAN

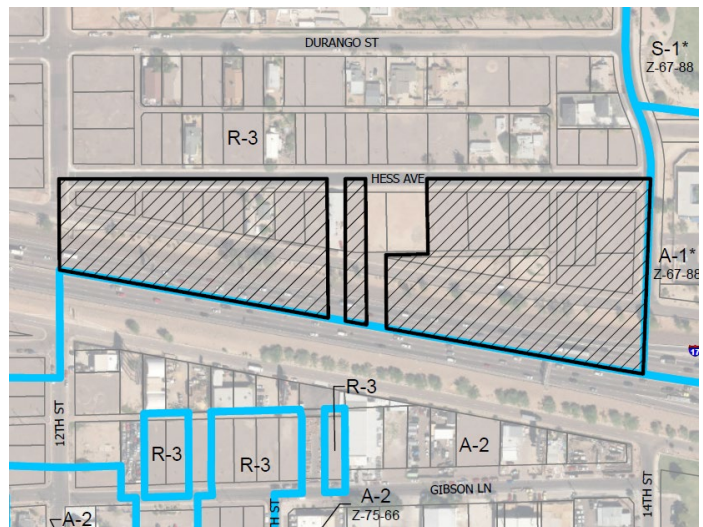
2. The subject site is designated as Transition from Residential 3.5-5 dwelling units per acre to Industrial. The areas to the east (across 12th Street) is designated Industrial, and the areas to the west (across 14th Street) and north (across Hess Avenue) are designated Transition from Residential 3.5-5 dwelling units per acre to Industrial. The area to the south is a freeway frontage road and freeway. The proposed A-1 AIOD is consistent with the General Plan Land Use Map designation.



General Plan Land Use Map: Source: Planning and Development

SURROUNDING LAND USE AND ZONING

3. To the north, across Hess Avenue, is single-family residential and vacant land zoned R-3 AIOD (Multi-Family Residence District, Airport Noise Impact Overlay District). To the west, across 12th Street, is vacant land zoned R-3 AIOD (Multi-Family Residence District, Airport Noise Impact Overlay District). To the east, across 14th Street, is an equipment supplier zoned A-1 AIOD (Light Industrial District, Airport Noise Impact Overlay District). To the south, across the I-17 frontage road, is ADOT right-of-way zoned A-2 AIOD (Industrial District, Airport Noise Impact Overlay District).

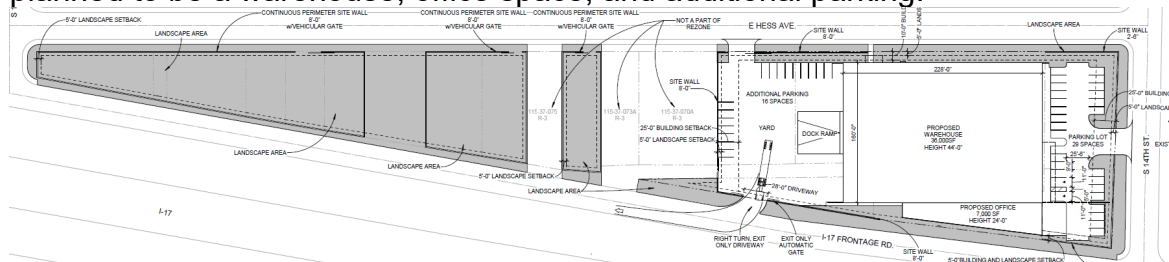


Location Map; Source: Planning and Development Department

PROPOSAL

4. Site Plan

The proposal is for a warehouse and office development. The conceptual site plan, attached as an exhibit, depicts the site layout including the location of the proposed warehouse, office, two parking areas, the dock ramp, site wall, and landscape areas. The site will have two points of ingress/egress on Hess Avenue and 14th Street and one right turn only egress point on the I-17 Frontage Road. The site plan depicts the first phase of development on the eastern portion of the subject site. A future second phase on the western portion of the subject site is planned to be a warehouse, office space, and additional parking.

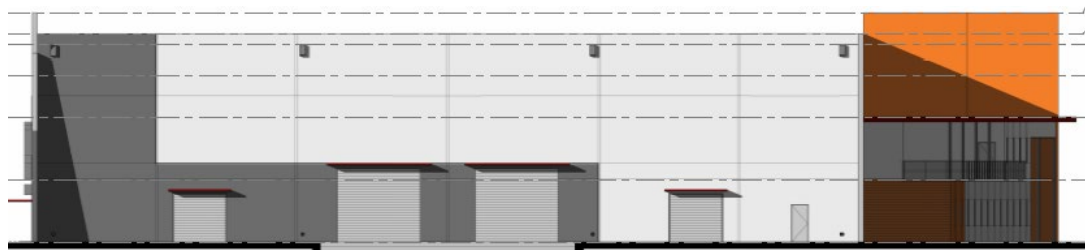


Conceptual Site Plan; Source: CCBG Architects, Inc.

In order to enhance employee health and wellness, staff recommends that one outdoor employee resting area of no less than 200-square foot, be provided on the site, and include a minimum of two pedestrian seating benches, constructed of quality and durable materials, and shaded to a minimum of 75 percent using shade trees and/or architectural shade. This is addressed in Stipulation No. 4. Additionally, to promote enhanced pedestrian safety, convenience, and connectivity, staff recommends Stipulation No. 8 which requires pavement treatments that visually contrasts parking and drive aisles where pedestrian walkways cross a vehicular path.

Elevations

The conceptual building elevations, attached as an exhibit, depict the proposed warehouse and office building. The elevations include various colors and materials, windows on three sides, a mural, a balcony on the office portion of the building, and truck bays along the western portion of the structure. Staff recommends Stipulation No. 1 to require the development to be in general conformance with the elevations.





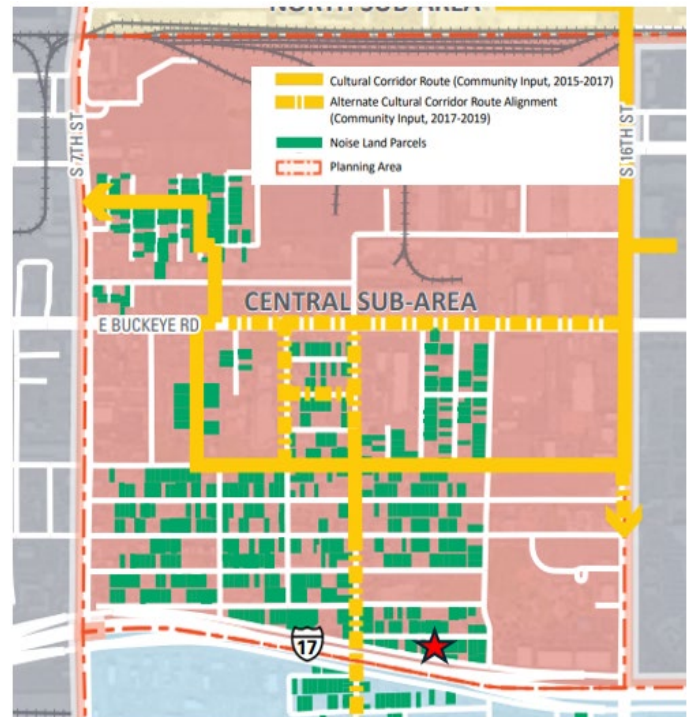
Conceptual Elevations; Source: Balmer Architectural Group Inc.

STUDIES AND POLICIES

5. [Sky Harbor Land Reuse Strategy](#)

The PHX Land Reuse Strategy (LRS) is the City of Phoenix's program for redeveloping noise land parcels west of Phoenix Sky Harbor Airport. The PHX LRS envisions new and vibrant uses for this area and identifies the best ways to deliver economic benefits to both the community and the airport. The subject site is located in the PHX LRS Central Sub-Area, which is designated for residential, commercial, and industrial uses.

Spark Area 3 of the LRS recommends enhanced perimeter walls and enhanced landscaping. Staff recommends Stipulation Nos. 2 and 3 to require any perimeter walls include a decorative element and material and textural differences,



Project Area and Airport-Owned Noise Land Parcels Map; Source: LRS Implementation Strategy Report

and that landscape setbacks and the perimeter of retention areas include enhanced landscaping.

6. **Airport Noise Impact Overlay District**

On June 1, 2005, the Phoenix City Council adopted the Airport Noise Overlay District (AIOD), generally bounded by the Southern Pacific Railroad on the north, University Drive on the south, 7th Street on the west, and 16th Street and 24th Street on the east. The Airport Noise Impact Overlay District is intended to promote well managed growth and to protect the health, safety and welfare of persons and residential property in noise impacted areas of Phoenix Sky Harbor International Airport. The AIOD applies to all new residential land uses. The proposal for A-1, which does not include residential uses and would require a use permit for any residential development, will not be affected by the requirements of the AIOD.

7. **Black Canyon / Maricopa Freeway Specific Plan**

The Freeway Mitigation Program, created in the City of Phoenix by the 1988 approval of Proposition 17, authorized general obligation bonds to prepare plans and fund projects to mitigate the blighting effects on neighborhoods from existing and proposed freeway construction. The Black Canyon/ Maricopa Freeway Specific Plan study area is 32 miles long from Pinnacle Peak Road at I-17 in the north, to Pecos Road at I-10 in the south. Generally, the width of the study area is one-quarter mile on each side of the freeway. The subject site is identified in Segment 15 and is designated for residential, commercial, and industrial land uses. Additionally, the specific plan indicates that enhanced landscaping should be provided on the subject site. Staff recommends Stipulation No. 3 to require that landscape setbacks and the perimeter of retention areas include enhanced landscaping.

8. **Shade Phoenix Plan:**

In November 2024, the Phoenix City Council adopted the Shade Phoenix Plan. The Shade Phoenix Plan prioritizes increasing shade coverage throughout the City to improve health and quality of life. Investing in shade can address the urban heat island effect, clean the air, preserve Sonoran vegetation, and prevent health complications related to prolonged exposure to heat. The Shade Phoenix Plan provides numerous strategies to increase shade including expanding and maintaining existing shade, strengthening tree code enforcement, and developing shade stipulations in rezoning cases.

The proposal, as stipulated, will create a streetscape environment with enhanced landscaping within the landscape setback and around the perimeter of retention areas, a shaded employee resting area, shaded bicycle parking, shaded vehicular parking, and shaded detached sidewalks along 14th Street and the Interstate 17 frontage. These are addressed in Stipulation Nos. 3, 4, 6, 11, 14, and 15.

9. **Complete Streets Guidelines:**

The City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The proposal, as stipulated, will support walking, bicycling, and transit use by including bicycle infrastructure and shaded detached sidewalks along 14th Street and the Interstate 17 frontage Road. These are addressed in Stipulation Nos. 5, 14, and 15.

10. **Comprehensive Bicycle Master Plan:**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. The Comprehensive Bicycle Master Plan supports short-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations.

To create a bike-supportive environment for residents, bicycle infrastructure is incorporated into the proposed project. Staff recommends Stipulation Nos. 5 and 6 which will require four shaded bicycle parking spaces.

11. **Transportation Electrification Action Plan**

In June 2022, the Phoenix City Council approved the Transportation Electrification Action Plan. The current market desire for the electrification of transportation is both a national and global phenomenon, fueled by a desire for better air quality, a reduction in carbon emissions, and a reduction in vehicle operating and maintenance costs. Businesses, governments and the public are signaling strong future demand for electric vehicles (EVs), and many automobile manufacturers have declared plans for a transition to fully electric offerings within the coming decade. This Plan contains policy initiatives to prepare the City for a future filled with more EVs, charging infrastructure and e-mobility equity, and outlines a roadmap for a five-step plan to prepare for the EV infrastructure needs of 280,000 EVs in Phoenix by 2030. One goal of the Plan to accelerate public adoption of electric vehicles through workplace, business, and multi-family charging infrastructure recommends a standard stipulation for rezoning cases to provide EV charging infrastructure. This is addressed in Stipulation No. 7 which requires a minimum five percent of the required parking spaces to be EV capable.

12. **Zero Waste Phoenix PHX:**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs.

Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multi-family, commercial, and mixed-use developments meeting certain criteria. The application materials indicated that recycling services will be utilized where possible.

13. **Conservation Measures for New Development:**

In June 2023, the Phoenix City Council adopted the Conservation Measures for New Development policy as part of a resolution addressing the future water consumption of new development (Resolution 22129). This resolution addresses the future water consumption of new development to support one of the City's Five Core Values in the General Plan which calls for Phoenix to - Build the Sustainable Desert City. The Conservation Measures for New Development policy includes direction to develop standards for consideration as stipulations for all rezoning cases that will address best practices related to water usage in nine specific categories. This is addressed in Stipulation Nos. 9 through 13.

14. **Phoenix Climate Action Plan**

In October 2021, the Phoenix City Council approved the Climate Action Plan. The Climate Action Plan will serve as a long-term plan to achieve greenhouse gas emissions reductions and resiliency goals from local operations and community activities as well as prepare for the impacts of climate change. This plan contains policy and initiatives regarding stationary energy, transportation, waste management, air quality, local food systems, heat, and water. Goal W2 (Water), Action W2.4, pertains to the implementation of the [Greater Phoenix Metro Green Infrastructure \(GI\) and Low Impact Development Details for Alternative Stormwater Management](#) to benefit the environment, promote water conservation, reduce urban heat, improve the public health, and create additional green spaces. This goal is addressed in Stipulation No. 13, which requires a minimum of two GI techniques for stormwater management to be implemented in this development.

COMMUNITY CORRESPONDENCE

15. As of the writing of this report, one letter of opposition has been received for the request citing concerns regarding lack of notifications and transparency, increased traffic congestion, noise pollution, environmental concerns, loss of neighborhood character, and concerns about intentional displacement.

INTERDEPARTMENTAL COMMENTS

16. The Street Transportation Department requires that detached sidewalks be provided along 14th Street and the Interstate 17 frontage road; that all mitigation improvements identified in a Traffic Impact Analysis be constructed and/or funded; and that all street improvements to the Interstate 17 frontage road be approved by the Arizona Department of Transportation. These are addressed in Stipulation Nos. 14 through 17. Additionally, Stipulation Nos. 18 and 19 require

that the developer replace and construct all improvements in the right-of-way with all required elements and to ADA standards

OTHER

17. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. These are addressed in Stipulation Nos. 20 through 22.
18. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to final site plan approval. This is addressed in Stipulation No. 23.
19. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The proposal is consistent with the General Plan Land Use Map designation, the Sky Harbor Land Reuse Strategy, Airport Noise Impact Overlay District, and the Black Canyon / Maricopa Freeway Specific Plan.
2. As stipulated, the proposal provides enhanced shade consistent with the Shade Phoenix Plan and the Complete Streets Guiding Principles.
3. The proposal will develop a vacant property and as stipulated will be compatible with adjacent industrial development.

Stipulations:

1. The development shall be in general conformance with the elevations date stamped April 23, 2026, as modified by the following stipulations and approved

by the Planning and Development Department.

2. The perimeter walls shall include material and textural differences, such as but not limited to stucco and/or split face block with a decorative element, such as tile, a mural, or stamped designs, as approved by the Planning and Development Department.
3. All landscape setbacks and retention areas shall be planted to the following standards, as approved by the Planning and Development Department.
 - a. Landscape Setbacks: Minimum 2-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.
 - b. Retention Areas: Minimum 2-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, around the perimeter of the retention area.
 - c. A minimum of five, 5-gallon drought-tolerant shrubs per tree.
4. A minimum of one outdoor employee resting area of no less 200-square-foot areas, shall be provided on site. The required pedestrian areas shall include a minimum of two pedestrian seating benches, constructed of quality and durable materials, and shaded to a minimum of 75% using minimum 2-inch caliper, large canopy, drought-tolerant, shade trees, and/or architectural shade, as approved by the Planning and Development Department.
5. A minimum of 4 bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near building entrances and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.
6. All bicycle parking spaces shall be shaded by a structure, landscaping, or a combination of the two to provide a minimum of 75% shade, as approved by the Planning and Development Department.
7. A minimum of 5% of the required vehicle parking spaces shall include EV Capable infrastructure.
8. Where pedestrian pathways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other

pavement treatments that visually contrasts parking and drive aisle surfaces, as approved by the Planning and Development Department.

9. Any wet-cooling systems shall be designed and installed per the standards in the latest adopted version of the International Green Construction Code (IGCC).
10. Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department.
11. A minimum of 25% of the surface parking areas shall be shaded, as approved by the Planning and Development Department. Shade may be achieved by structures or by minimum 2-inch caliper, drought tolerant, shade trees, or a combination thereof.
12. Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the Water Efficiency Checkup program for a minimum of 10 years, or as approved by the Planning and Development Department.
13. A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
14. The sidewalk along 14th Street shall be a minimum of 6 feet in width and detached with a minimum 8-foot-wide landscape strip located between the sidewalk and back of curb and planted to the following standards, as approved by the Planning and Development Department.
 - a. Minimum 2-inch caliper, single-trunk, large canopy, shade trees planted 20 feet on center, or in equivalent groupings.
 - b. A mixture of shrubs, accents and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape area to achieve a minimum of 75% live coverage.

Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment for installing the required plants.

15. The sidewalk along the Interstate 17 frontage road shall be a minimum of 5 feet in width and detached with a minimum 5-foot-wide landscape strip located between the sidewalk and back of curb and planted to the following standards, as approved or modified by the Planning and Development Department and the Arizona Department of Transportation.
 - a. Minimum 2-inch caliper, single-trunk, large canopy, shade trees planted 20 feet on center, or in equivalent groupings.
 - b. A mixture of shrubs, accents and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape area to achieve a minimum of 50% live coverage.

Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment for installing the required plants.

16. All mitigation improvements shall be constructed and/or funded as identified in the accepted Traffic Impact Analysis dated January 30, 2026.
17. All street improvements to the Interstate 17 frontage road shall be reviewed and approved by the Arizona Department of Transportation. Documentation of the review and approval shall be provided prior to Preliminary Site Plan approval.
18. Replace unused driveways with sidewalk, curb and gutter. Also, replace any broken or out-of-grade curb, gutter, sidewalk, and curb ramps on all streets and upgrade all off-site improvements to be in compliance with current ADA guidelines.
19. All streets within and adjacent to the development shall be constructed with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
20. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.

21. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations. – Reach out to City Archaeologist regarding removal stipulation
22. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
23. Prior to final site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record. This stipulation shall not be applicable if the property is owned by the City of Phoenix.

Writer

Samuel Rogers

May 4, 2026

Team Leader

Racelle Escolar

Exhibits

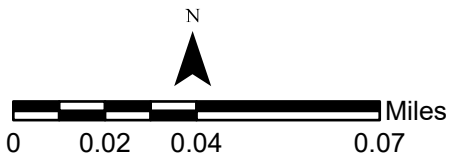
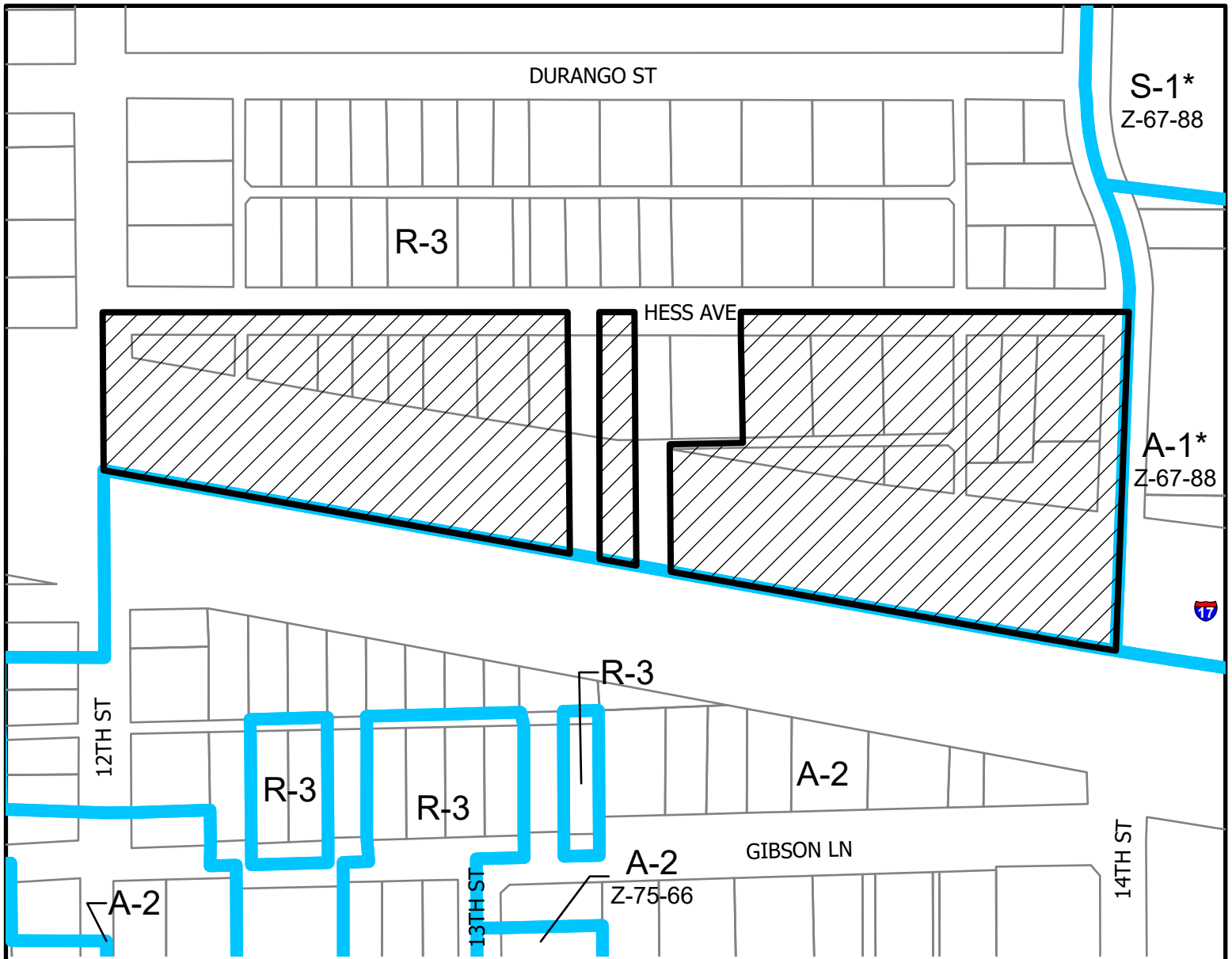
Zoning sketch map

Aerial sketch map

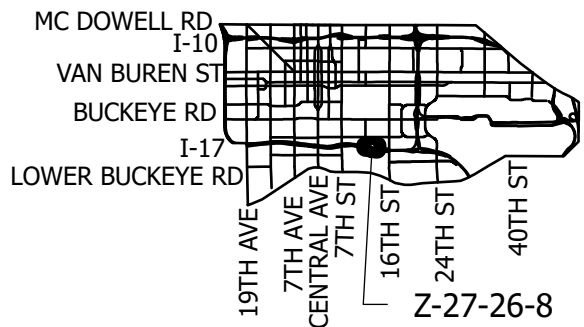
Conceptual Site Plan date stamped March 5, 2026

Conceptual Elevations date stamped April 23, 2026

Correspondence (10 Pages)

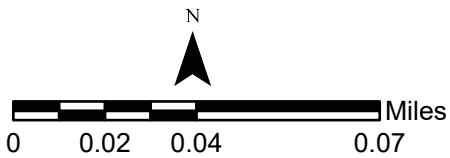
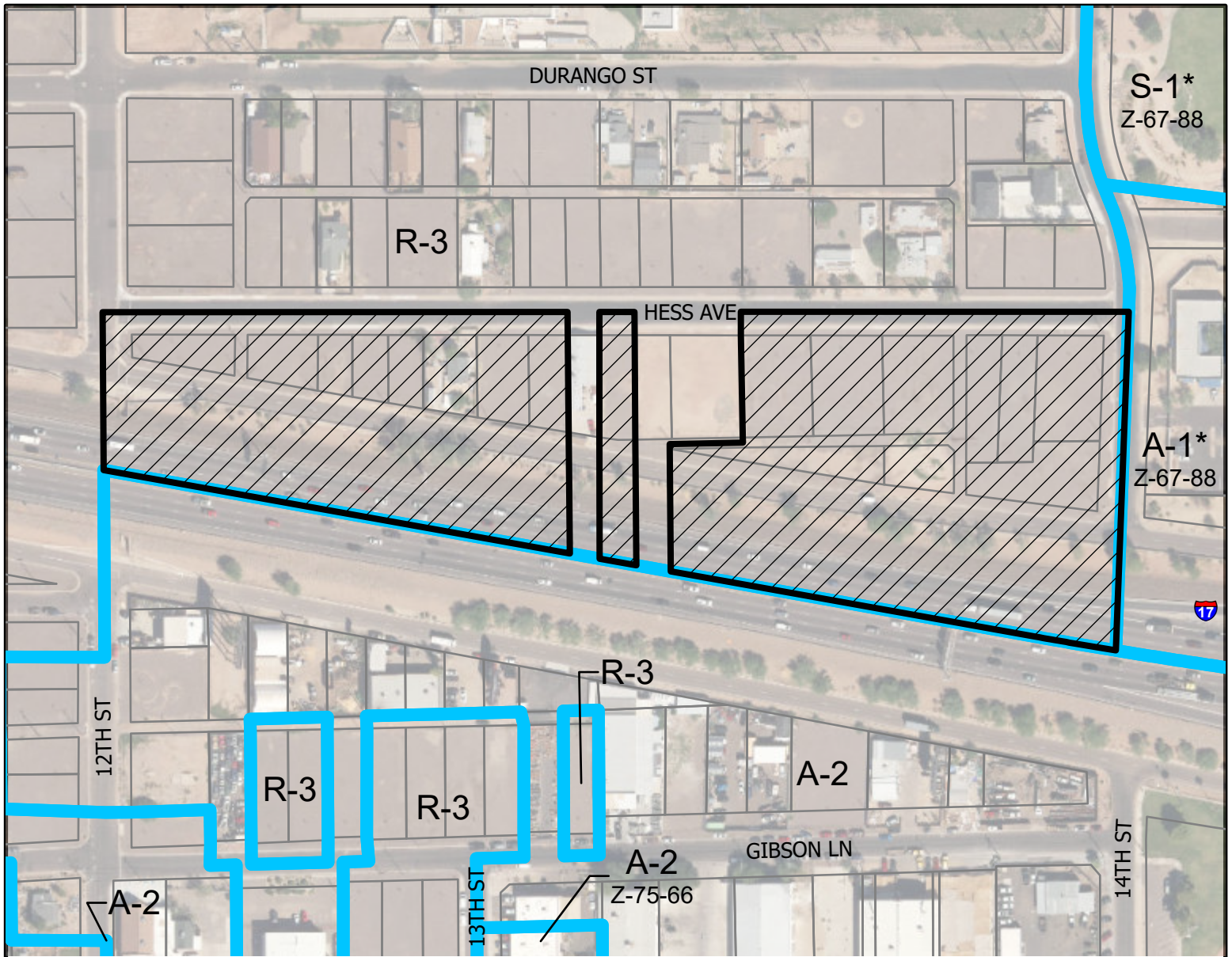


CENTRAL CITY VILLAGE
COUNCIL DISTRICT: 8

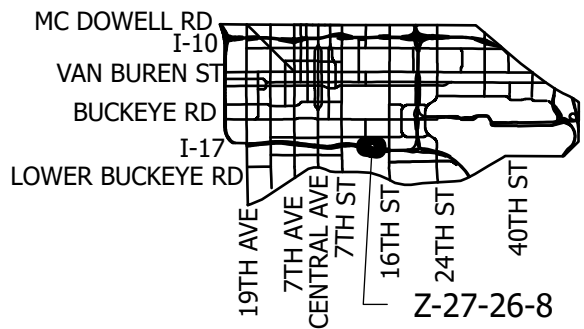


APPLICANT'S NAME: Burch & Cracchiolo, P.A.		REQUESTED CHANGE:	
APPLICATION NO: Z-27-26-8	DATE: 3/20/2026	FROM: R-3 AIOD (4.85 ac.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 4.85 Acres	REVISION DATES:		TO: A-1 AIOD (4.85 ac.)
	AERIAL PHOTO & QUARTER SEC. NO. QS 7-30	ZONING MAP E-9	
MULTIPLES PERMITTED R-3 AIOD A-1 AIOD	STANDARD OPTION 70 N/A		* UNITS P.R.D OPTION 85 N/A

* Maximum Units Allowed with P.R.D. Bonus

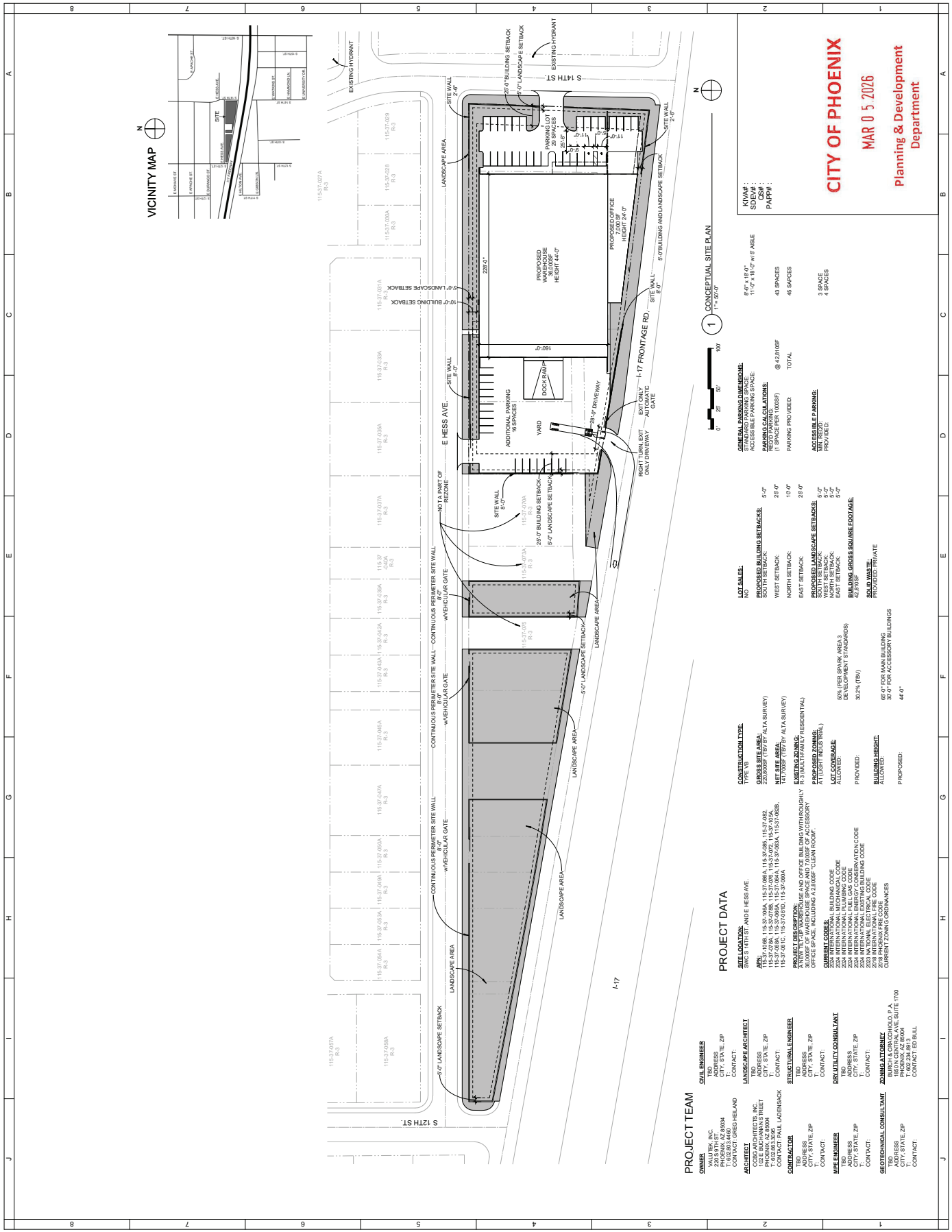


CENTRAL CITY VILLAGE
COUNCIL DISTRICT: 8



APPLICANT'S NAME: Burch & Cracchiolo, P.A.		REQUESTED CHANGE:	
APPLICATION NO: Z-27-26-8		FROM: R-3 AIOD (4.85 ac.)	
DATE: 3/20/2026		TO: A-1 AIOD (4.85 ac.)	
REVISION DATES:			
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 4.85 Acres		AERIAL PHOTO & QUARTER SEC. NO. QS 7-30	
		ZONING MAP E-9	
MULTIPLES PERMITTED		STANDARD OPTION	
R-3 AIOD		70	
A-1 AIOD		N/A	
		* UNITS P.R.D OPTION	
		85	
		N/A	

* Maximum Units Allowed with P.R.D. Bonus



CITY OF PHOENIX
MAR 05 2020
Planning & Development Department

1 CONCEPTUAL SITE PLAN
 11/20/20

GENERAL BUILDING DIMENSIONS: STANDARD PARKING SPACE: 6'-0" x 10'-0"	ACCESSIBLE PARKING: MIN. REQUIRED: 3 SPACES PROVIDED: 4 SPACES
PARKING CALCULATIONS: TOTAL: 43 SPACES PARKING PROVIDED: 45 SPACES	ACCESSIBLE PARKING: MIN. REQUIRED: 3 SPACES PROVIDED: 4 SPACES

LOT LABEL: NO	CONSTRUCTION TYPE: TYPE IIB
PROPOSED BUILDING SETBACKS: SOUTH SETBACK: 5'-0"	GROSS SITE AREA: 230,855 SF (197,971 AIA SURVEY)
WEST SETBACK: 25'-0"	NET SITE AREA: 147,855 SF (126,171 AIA SURVEY)
NORTH SETBACK: 10'-0"	PROPOSED ZONING: R3 (MULTIFAMILY RESIDENTIAL)
EAST SETBACK: 25'-0"	PROPOSED ZONING: R3 (MULTIFAMILY RESIDENTIAL)
PROPOSED LANDSCAPE SETBACKS: SOUTH SETBACK: 5'-0" WEST SETBACK: 5'-0" NORTH SETBACK: 5'-0" EAST SETBACK: 5'-0"	LOT COVERAGE ALLOWED: AT LEAST 10% (TOTAL)
SOIL WASTE: PROVIDED: PRIVATE	BLINDING HEIGHT ALLOWED: PROPOSED: 44'-0"

PROJECT DATA

SITE LOCATION: ANDRE HESSE AVE.
APN: 115-27-028A, 115-27-028B, 115-27-028C, 115-27-028D, 115-27-028E, 115-27-028F, 115-27-028G, 115-27-028H, 115-27-028I, 115-27-028J, 115-27-028K, 115-27-028L, 115-27-028M, 115-27-028N, 115-27-028O, 115-27-028P, 115-27-028Q, 115-27-028R, 115-27-028S, 115-27-028T, 115-27-028U, 115-27-028V, 115-27-028W, 115-27-028X, 115-27-028Y, 115-27-028Z

CURRENT CODES:
 200A INTERNATIONAL BUILDING CODE
 200A INTERNATIONAL PLUMBING CODE
 200A INTERNATIONAL ENERGY CONSERVATION CODE
 200A NATIONAL ELECTRICAL CODE
 200A NATIONAL FIRE ALARM AND SIGNALING CODE
 200A NATIONAL MECHANICAL CODE
 200A NATIONAL SOIL REMEDIATION AND ABATEMENT CODE
 200A NATIONAL TANK, STORAGE, AND TRANSPORTATION HAZARDOUS LIQUID INVENTORY CODE
 200A NATIONAL TANK, STORAGE, AND TRANSPORTATION HAZARDOUS SOLID INVENTORY CODE
 200A NATIONAL TANK, STORAGE, AND TRANSPORTATION HAZARDOUS WASTE INVENTORY CODE
 200A NATIONAL TANK, STORAGE, AND TRANSPORTATION HAZARDOUS WASTE TREATMENT AND STORAGE CODE
 200A NATIONAL TANK, STORAGE, AND TRANSPORTATION HAZARDOUS WASTE TREATMENT AND STORAGE CODE

PROJECT TEAM

CIVIL ENGINEERS:
 VALUTEK INC.
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: GREG HEHLAND

ARCHITECT:
 GREG ARCHITECTS, INC.
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: PAUL LADRINSACK

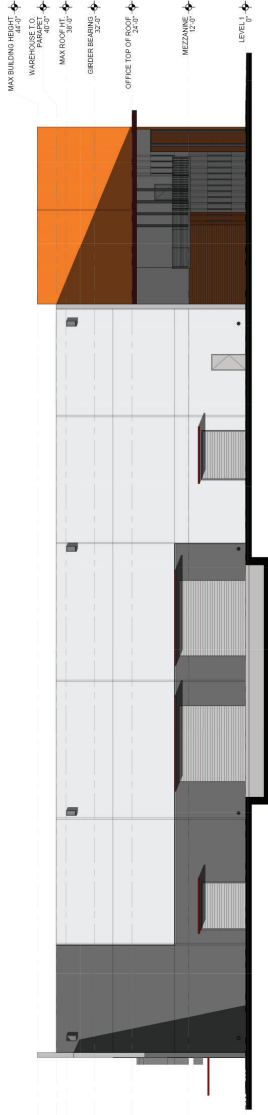
CONTRACTOR:
 TBO CONSTRUCTION
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: TBO CONSTRUCTION

STRUCTURAL ENGINEER:
 TBO CONSTRUCTION
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: TBO CONSTRUCTION

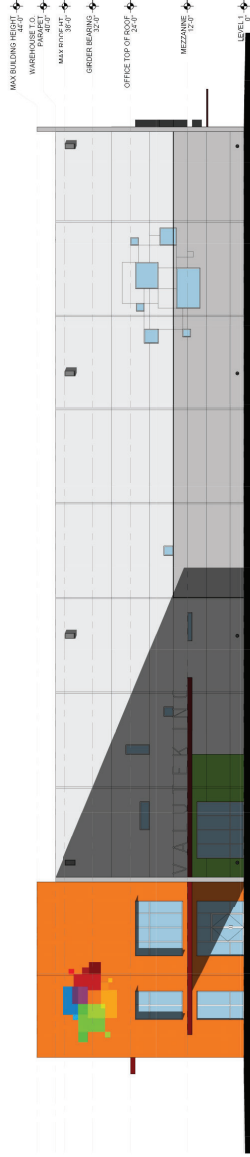
MARINE ENGINEERS:
 TBO CONSTRUCTION
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: TBO CONSTRUCTION

DEFINITIVE CONSULTANT:
 TBO CONSTRUCTION
 1400 N. CENTRAL AVENUE
 PHOENIX, AZ 85004
 CONTACT: TBO CONSTRUCTION

ZONING CONSULTANT:
 BRANCH ARCHITECTS, P.A.
 1400 N. CENTRAL AVENUE, SUITE 1700
 PHOENIX, AZ 85004
 CONTACT: TBO CONSTRUCTION



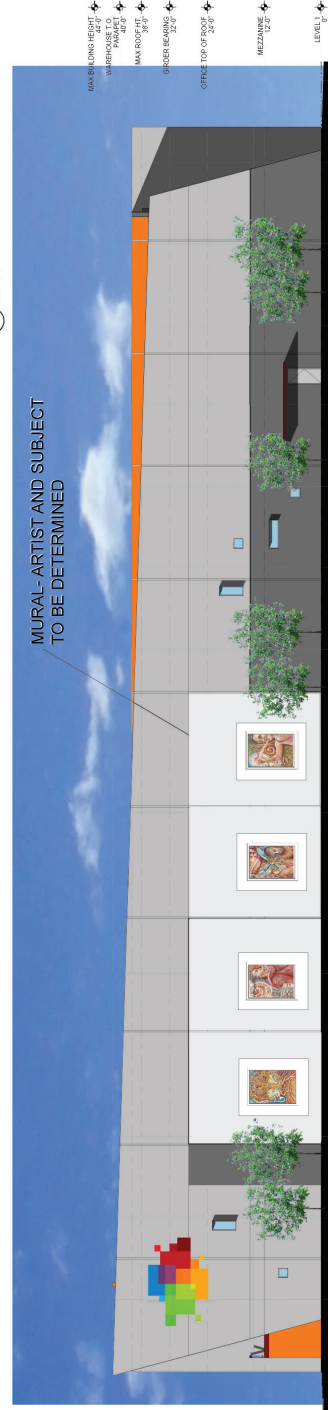
4 WEST ELEVATION
332' x 118'



3 EAST ELEVATION
332' x 118'



2 SOUTH ELEVATION
332' x 118'



1 NORTH ELEVATION
332' x 118'



RE: Formal Complaint Regarding Rezoning

From PDD Long Range Planning <pdd.longrange@phoenix.gov>

Date Wed 4/1/2026 10:08 AM

To Adam Stranieri <Adam.Stranieri@phoenix.gov>; PDD Long Range Planning <pdd.longrange@phoenix.gov>

Cc PDD Zoning <zoning@phoenix.gov>; Samuel S Rogers <samuel.rogers@phoenix.gov>; Racelle Escolar <racelle.escolar@phoenix.gov>

Thank you Adam, took me some time to figure out the site but it is regarding Z-27-26-8.

Samuel, for the case file.

Thank you,

Sarah Stockham
Planner III
City of Phoenix Planning and Development Department
200 West Washington Street, 3rd Floor
Phoenix, Arizona 85003
Phone: 602-261-8701
sarah.stockham@phoenix.gov



From: Adam Stranieri <Adam.Stranieri@phoenix.gov>
Sent: Wednesday, April 1, 2026 9:03 AM
To: PDD Long Range Planning <pdd.longrange@phoenix.gov>
Cc: PDD Zoning <zoning@phoenix.gov>
Subject: FW: Formal Complaint Regarding Rezoning

Long Range,

Please see the email below. I am unsure what rezoning case this may be regarding, however the writer's address is in the Central City Village.



Thank you,
Adam Stranieri, Principal Planner
City of Phoenix
Planning & Development Department
Planning & Zoning Division
Office: 602-262-7142
200 West Washington Street
Phoenix, AZ 85003

From: Shnstar <shnstar2@aol.com>
Sent: Tuesday, March 31, 2026 7:37 AM
To: Mayor Gallego <mayor.gallego@phoenix.gov>; Ed Zuercher <Ed.Zuercher@phoenix.gov>; ebull@bcattorneys.com; gheiland@valutek.com; mleake@bcattorneys.com; Thomas Sawyer <thomas.sawyer@phoenix.gov>; lchatburn@bcattorneys.com; Council District 8 PCC <council.district.8@phoenix.gov>; PDD Zoning <zoning@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; PDD SHAPE PHX <shapephx@phoenix.gov>; PDD Zoning Adjustment <zoning.adjustment@phoenix.gov>; communityrelations@phxschools.org
Subject: Formal Complaint Regarding Rezoning

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Formal Complaint Regarding Rezoning and Commercial Encroachment in My Neighborhood

To Whom It May Concern,

I am submitting this complaint regarding the recent rezoning actions in my neighborhood that have allowed the commercial expansion of the business **Valutek**. I am deeply concerned that the City of Phoenix is prioritizing commercial interests over the wellbeing, stability, and safety of long-standing residential communities.

The decision to rezone our neighborhood to accommodate Valutek has already begun to negatively impact the quality of life for residents. This rezoning appears to be part of a broader pattern in which the City of Phoenix is allowing commercial entities to overtake residential areas, effectively pushing out the community that has lived here for decades. Many residents, including myself, believe the city is financially benefiting from these zoning changes at the expense of the people who call this neighborhood home.

Lack of Notification and Transparency

Residents — including myself and my family, who also live in the neighborhood — were **not notified** of the sale of the property or the plan to rezone the area until **February 27, 2026**. This is unacceptable for a decision of this magnitude. I believe the City of Phoenix and City Councilmember Washington failed to notify residents and failed to be transparent regarding the future of our neighborhood. I believe she is receiving a kickback from Valutek to push this sale and rezoning through. Ms.

Washington has no concern for the residents of my community; the only people she is concerned about are the black people that voted for her. She could care less about my Hispanic community.

This lack of communication is not an isolated incident. The **exact same issue** is occurring with the conversion of **Ann Ott and Herrera School**. Residents have informed me that Herrera — the only school in our neighborhood — is being sold, and the district refuses to disclose what will replace it. Families are being told that all children in our area will now have to be bused to a school outside of our community. This pattern of withholding information from residents is deeply concerning and suggests a broader disregard for the people who live here.

Impact on the Community

The commercialization of our neighborhood has created — and will continue to create — significant problems, including:

- **Increased traffic congestion** that makes it difficult and unsafe for residents to enter and exit their own streets
- **Noise pollution** from commercial operations, deliveries, and increased vehicle flow
- **Environmental concerns**, including air pollution, waste, and industrial activity incompatible with residential living
- **Loss of neighborhood character**, stability, and safety
- **Pressure on residents to relocate**, whether through rising property taxes, declining livability, or the gradual erosion of residential zoning protections

These impacts are not hypothetical — they are already being felt. The introduction of commercial operations into a residential neighborhood fundamentally changes the environment and places burdens on families, children, and elderly residents who have built their lives here.

Concerns About Intentional Displacement

I am also concerned that the City of Phoenix is intentionally enabling commercial encroachment in order to profit from redevelopment, even if it means displacing long-standing communities. The pattern of rezoning decisions — combined with the lack of notification, lack of transparency, and disregard for resident input — suggests a shift toward commercialization without meaningful consideration of the long-term consequences for neighborhoods like mine.

This raises serious questions about:

- **Transparency in the rezoning process**
- **Whether community voices are being meaningfully considered**
- **Whether the city is prioritizing revenue over residents**
- **Whether environmental and traffic impact studies were conducted thoroughly and independently**
- **Why residents are consistently being excluded from decisions affecting their homes, schools, and community resources**

Request for Action

I respectfully request the following:

1. A formal review of the rezoning decision that allowed Valutek to expand into our neighborhood
2. A public explanation of how this rezoning benefits residents, not just commercial entities
3. Disclosure of any financial incentives, agreements, or partnerships between the City of Phoenix and Valutek
4. A traffic, noise, and environmental impact assessment conducted by an independent third party
5. A pause on any further commercial rezoning in our neighborhood until a full community impact review is completed
6. A clear explanation of why residents were not notified earlier and what steps will be taken to ensure transparency moving forward
7. Immediate disclosure of the plans for Ann Ott and Herrera School, including what will replace the school and how the district plans to support families affected by the closure

Conclusion

The residents of this neighborhood deserve transparency, fairness, and protection from decisions that threaten our homes, our health, and our quality of life. I urge the City of Phoenix to reconsider the direction it is taking and to prioritize the people who live here over commercial expansion. I will be filing formal complaints with U.S. Department of Housing and Urban Development, the Arizona Attorney General's Office for engaging in discriminatory or harmful rezoning practices and the ALCU.

The City of Phoenix has effectively displaced my Hispanic community in ways that appear to prioritize profit over the well-being of long-standing residents. Many families in our neighborhood—particularly those who are unfamiliar with their legal rights or the complexities surrounding property and zoning laws—have been taken advantage of throughout this process. These actions have contributed to the erosion of our community and have disproportionately harmed residents who lack access to legal resources and information.

The City of Phoenix has reduced access to essential services (like schools) and appears to favor commercial interests over residents. Valutek is useless to my community, it brings no value to me, my family or my community.

Thank you for your attention to this matter. I look forward to a written response addressing these concerns.

Sincerely,
Regina Moraga
1120 E. Durango St.
Phoenix, AZ. 85034



Request to Postpone Rezoning Decision Pending Federal and State Investigations

From Shnstar <shnstar2@aol.com>

Date Tue 4/21/2026 6:43 PM

To Ed Zuercher <Ed.Zuercher@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Council District 8 PCC <council.district.8@phoenix.gov>; Samuel S Rogers <samuel.rogers@phoenix.gov>; PDD Zoning <zoning@phoenix.gov>

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Regina Moraga

Resident, Barrios Unidos
Phoenix, Arizona
shnstar2@aol.com
602-200-4657

April 21, 2026

To: City of Phoenix Planning & Development Department Zoning Hearing Officer City Council District 8

Subject: Request to Postpone Rezoning Decision Pending Federal and State Investigations

Dear Planning Officials,

I am formally requesting that the City of Phoenix **postpone any rezoning decision** related to the Valutek application affecting the Hess block in Barrios Unidos until multiple ongoing matters have been fully reviewed by the appropriate oversight agencies.

As documented in the evidence packet submitted on April 21, 2026, I have filed formal complaints with:

- U.S. Department of Housing and Urban Development (HUD)
- U.S. Department of Justice (DOJ) – Civil Rights Division
- Arizona Attorney General – Civil Rights Division
- U.S. Environmental Protection Agency (EPA) Region 9
- Arizona Department of Environmental Quality (ADEQ)
- City of Phoenix Office of Accountability & Transparency

- City Auditor Department
- Arizona Ombudsman – Citizens' Aide

These complaints detail serious concerns regarding:

- **Potential Title VI and Fair Housing Act violations**
- **Disparate impact on a predominantly Hispanic neighborhood**
- **Environmental justice concerns under Executive Order 12898**
- **Misuse of community engagement processes by PRC**
- **Infrastructure failures, including a blocked drainage easement**
- **Documented discriminatory statements by the Valutek owner**
- **Procedural irregularities and lack of meaningful notice to residents**

Given the gravity of these issues, it would be inappropriate and premature for the City to move forward with a rezoning decision while federal and state agencies are actively reviewing the matter.

Proceeding with the rezoning before these investigations conclude would:

- Undermine public trust
- Create the appearance of bias or predetermined outcomes
- Potentially expose the City to legal and civil-rights liability
- Contradict the City's obligations under federal civil-rights law
- Further harm a vulnerable, historically Hispanic community already facing displacement pressures

For these reasons, I respectfully request that the City:

1. **Postpone the rezoning hearing and decision** until all pending investigations have been completed.
2. **Enter this request and the evidence packet into the public record** for the associated zoning case.
3. **Provide written confirmation** that the postponement request has been received and forwarded to the appropriate decision-makers.

The residents of Barrios Unidos deserve a fair, transparent, and lawful process. Moving forward with rezoning while multiple agencies are evaluating civil-rights, environmental, and procedural concerns would be inconsistent with those principles.

Thank you for your attention to this matter. I look forward to your written response.

Respectfully,
Regina Moraga
Resident, Barrios Unidos

Phoenix, Arizona



Re: Follow-Up and Request for Specific Concerns – Valutek Inc. Rezoning

From Shnstar <shnstar2@aol.com>

Date Mon 4/27/2026 9:17 PM

To Thomas Sawyer <thomas.sawyer@phoenix.gov>; Ed Zuercher <Ed.Zuercher@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Council District 8 PCC <council.district.8@phoenix.gov>; Samuel S Rogers <samuel.rogers@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>

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Mr. Sawyer,

Thank you for your message. I appreciate the opportunity to clarify my concerns; however, I want to ensure the City addresses the full scope of issues documented in my evidence packet. My concerns extend well beyond the three items you listed, and I want to avoid narrowing or limiting the record in a way that excludes critical information.

To be clear, the concerns I am requesting review of include:

- Procedural issues with the rezoning and land-use transition, including lack of transparency, inadequate notice, and exclusion of directly affected residents.
- Environmental and operational impacts, including traffic, noise, lighting, industrial activity, and the introduction of commercial operations into a longstanding residential block.
- Drainage failures and flooding resulting from City-approved construction that obstructed the drainage easement serving Durango Street.
- Safety hazards, including increased heavy-vehicle traffic on a narrow residential street, blocked visibility, and incompatible site design.
- Environmental justice concerns related to the concentration of industrial uses in a historically marginalized neighborhood.
- Discriminatory and inappropriate statements made by Valutek's owner toward residents.
- The cumulative impact of multiple City actions that have facilitated industrial encroachment into a residential community without meaningful engagement or mitigation.

Regarding the outcome I am seeking:

- A full, formal review of the rezoning process and associated City actions.
- A determination of whether proper procedures, notice requirements, and community-impact assessments were followed.
- Identification of any corrective actions the City must take to address procedural failures, environmental impacts, and harm to residents.
- A clear plan for mitigation of traffic, lighting, noise, drainage, and safety impacts.
- Assurance that future land-use decisions in Barrios Unidos will comply with transparency, community-engagement, and environmental-justice standards.

Additionally, I am formally requesting that any determinations, approvals, or further actions related to the Valutek rezoning be placed on hold until the investigations initiated by my

evidence packet are completed. Proceeding before the review is concluded would undermine the integrity of the process and could further harm affected residents.

Regarding process:

Given the seriousness and breadth of the issues, I request that my concerns be reviewed through the appropriate formal zoning and land-use channels, with written responses placed in the public record. I am open to a conversation after the formal review has begun, but not in place of it.

Please confirm that the City will review the full scope of concerns outlined in my evidence packet and in this correspondence, and that the rezoning determination will be held pending completion of the investigations.

Sincerely,

Regina Moraga

On Friday, April 24, 2026 at 10:13:53 AM MST, Thomas Sawyer <thomas.sawyer@phoenix.gov> wrote:

Hi Ms. Moraga,

My name is Tom Sawyer, and I work with the City of Phoenix's Community and Economic Development Department. Part of my role is implementing the Airport's Land Reuse Strategy, and I want to make sure I fully understand your concerns regarding the Valutek rezoning so we can respond clearly and accurately.

From your previous correspondence, your primary concerns about the Valutek rezoning process appear to include:

1. Commercial activity in a longstanding residential area resulting from the rezoning process of the Valutek parcels.
2. Notification and transparency regarding the property sale and rezoning.
3. Traffic, noise, lighting, and other operational impacts associated with Valutek's activities.

My goal is to ensure we understand exactly what you would like the City to review or address, involving the Valutek rezoning process, so that we can provide meaningful and accurate responses.

Would you be willing to clarify the following:

1. **Which specific impacts from the Valutek rezoning and development you would like addressed?** (For example: traffic, noise, lighting, fencing, drainage, general zoning questions, etc.)
2. **What outcome you are hoping for regarding the rezoning itself?**
3. **Whether you prefer your concerns be reviewed through a formal zoning-related process, or whether you would like a direct conversation first** so we can walk through your questions with you.

I want to ensure we work from accurate information and address your questions in a way that is useful to you and your family.

Sincerely,

Thomas Sawyer
Economic Development Program Manager
City of Phoenix
Community and Economic Development

200 West Washington Street, 20th Floor
Phoenix, AZ 85003

Cell: 602-884-4877

thomas.sawyer@phoenix.gov

InvestInPhoenix.com [investinphoenix.com]



PHOENIX COMMUNITY & ECONOMIC
DEVELOPMENT DEPARTMENT

PHOENIX IS HOT

From: Shnstar <shnstar2@aol.com>

Sent: Tuesday, April 21, 2026 6:43 PM

To: Ed Zuercher <Ed.Zuercher@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>;
PDD Zoning <zoning@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>

Subject: Evidence Packet Submission – Barrios Unidos Redevelopment & Civil Rights Concerns

Dear City of Phoenix,

I am writing to submit the attached evidence packet documenting redevelopment harm, environmental justice concerns, and potential civil rights violations affecting the Barrios Unidos neighborhood in Phoenix, Arizona. This packet includes a master letter, supporting exhibits, and a detailed account of the impacts associated with Valutek's expansion and the conduct of the Phoenix Revitalization Corporation (PRC).

This email serves as a formal request for your agency to review the documented issues, including:

- Potential Title VI and Fair Housing Act violations
- Disparate impact on a predominantly Hispanic community
- Environmental justice concerns under Executive Order 12898
- Misuse of community engagement processes
- Infrastructure failures and public safety risks
- Documented discriminatory statements by the Valutek owner

The residents of Barrios Unidos have faced significant redevelopment pressure, suppression of community voice, and environmental burdens. Many of these issues have gone unreported due to structural barriers, fear of retaliation, and lack of accessible complaint pathways. This submission is intended to ensure that these concerns are finally brought to the attention of the appropriate oversight bodies.

Please confirm receipt of this email and advise on any next steps or additional documentation your agency may require.

Thank you for your attention to this matter.

HUD Submission number is #877863

Sincerely,
Regina Moraga
Resident, Barrios Unidos
Phoenix, Arizona