



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-33-21-4
September 27, 2021

Encanto [Village Planning Committee](#)
Meeting Date: October 4, 2021

[Planning Commission](#) Hearing Date: November 4, 2021

Request From: [P-2 TOD-1](#) (Parking, Interim Transit-Oriented Zoning Overlay One)

Request To: [WU Code T4:2 MT](#) (Walkable Urban Code, Transect 4:2, Transit Midtown Character Area)

Proposed Use: Single-Family Attached

Location: Northeast corner of 1st Avenue and Holly Street

Owner: City of Phoenix

Applicant: Holly 6, LLC

Representative: Studio MA, Inc

Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Residential 3.5 to 5 dwelling units per acre	
Street Map Classification	Holly Street	Local Street	35 foot north half street
<i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Establish design standards and guidelines for parking lots and structures, setback and build-to lines, blank wall space, shade, and other elements affecting pedestrians, to encourage pedestrian activity and identify options for providing pedestrian-oriented design in different types of development.</i> The development includes design and development standards to encourage walking, bicycling, and transit use. These standards include a shaded streetscape, units fronting onto the public sidewalk, parking situated away from the public street, and on-site amenities.			

CONNECT PEOPLE AND PLACES CORE VALUE; BICYCLES; DESIGN PRINCIPLE: Development should include convenient bicycle parking.

The development includes bicycle facilities to encourage bicycling and transit use to become a way of life. Features include secure bicycle parking for residents, convenient racks for guests which will complement nearby bikeway improvements including the 3rd and 5th Avenue project.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The development includes robust tree plantings between the back of curb and the building fronts and a detached sidewalk that will be shaded to 75 percent as stipulated. These improvements will serve not only the residents of the development but will also make the walk from the adjacent neighborhood to the light rail and other nearby amenities more comfortable.

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Promote and encourage compatible development and redevelopment with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

The proposal will introduce ownership housing opportunities in Central Phoenix with close access to two light rail stations, a major community park, and the Encanto Village Core. These additional housing opportunities supports goals contained in the Housing Phoenix Plan to preserve and create 50,000 units by 2030.

Applicable Plans, Overlays, and Initiatives

[Transit Oriented Development Strategic Policy Framework](#): Background Item No. 4.

[Midtown Transit Oriented Development Policy Plan](#): Background Item No. 5.

[Tree and Shade Master Plan](#): Background Item No. 9.

[Complete Streets Guidelines](#): Background Item No. 10.

[Housing Phoenix](#): Background Item No. 11.

[Zero Waste PHX](#): Background Item No. 12

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant Land	P-2 TOD-1
East	Parking Structure	P-2 HRI TOD-1
West	Single-Family Residence	R1-6 HP TOD-1
North	Surface Parking	P-1 HRI TOD-1 P-1 TOD-1
South (across Holly Street)	Parking Structure	P-2 TOD-1

Walkable Urban Code Transect 4:2 MT Single Family Attached Development		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed Site Plan</u>
Gross Acreage	No Minimum	0.71
Total Number of Units	Maximum of 11	6
Density	No Maximum	8.45
Height	3 stories or 40 feet for first 150 feet; 1 foot in 1 foot increase to 48-foot height, 4-story maximum. 15-foot maximum height within ten feet of a single-family zoned district, which height may be increased one foot for each additional one foot of building setback)	2 stories and 25 feet (Met)
Site Standards		
Perimeter Standards		
South (Holly Street)	Minimum 10-foot landscape tract (waived when within 2,000 feet of a light rail station)	10 feet (Met)
Interior (East and North)	Minimum 5-foot landscape setback	12 feet (Met)
Interior (West, Adjacent to Single-Family Zoning)	Minimum 10-foot landscape setback	10 feet (Met)

Maximum Block Length	200-foot maximum	120 feet (Met)
Open Space	Minimum 5 percent	5.8 percent (Met)
Streetscape	5-foot landscape detachment with 5-foot wide sidewalk	5 feet and 5 feet (Met)
Lot Standards		
Minimum Width	20 feet	20 feet (Met)
Alley Access	Within infill development district: alley access allowed	(Met)
Frontage Treatment	Entryway shall be elevated, depressed, or designed to accentuate the primary entrance	Feature to accentuate entrance (Met)
Lot Coverage	100 percent, per Section 615	71 percent (Met)
Parking Requirement	9 covered spaces required	9 garage spaces and 6 on-street guest spaces. (Met)
<i>*Variance or plan revision required</i>		

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone 0.71 acres located at the northeast corner of 1st Avenue and Holly Street from P-2 TOD-1 (Parking, Interim Transit-Oriented Zoning Overlay One) to Walkable Urban Code, Transect 4:2 MT (WU Code T4:2, Interim Transit Midtown Character Area) for the purpose of single-family attached development.

SURROUNDING LAND USES AND ZONING

2. The site is vacant and, per historic aerial photographs, has been entirely vacant since at least 1986. The Zoning Sketch Map, included as an exhibit to this report, depicts zoning entitlements for the subject site and the surrounding area.

To the north, east, and south of the subject site are existing parking areas with zoning entitlements that limit the properties exclusively to parking uses. To the west of the subject site is a single-family residence zoned R1-6 HP TOD-1 (Single-Family Residence District, Historic Preservation, Interim Transit-Oriented Zoning Overlay One) located in the Willo Historic District Neighborhood.

GENERAL PLAN LAND USE MAP

3. The General Plan Land Use Map depicts a land use designation of Residential 3.5 to 5.0 dwelling units per acre. The proposed density of 8.45 dwelling units per acre is not consistent with the designation but a General Plan Amendment is not required because the site does not exceed 10 acres.

The subject site is also located within the study areas for the Transit Oriented Strategic Policy Framework and the Midtown Transit Oriented Development Policy Plan areas.

General Plan Land Use Map Excerpt; Source: Planning and Development Department

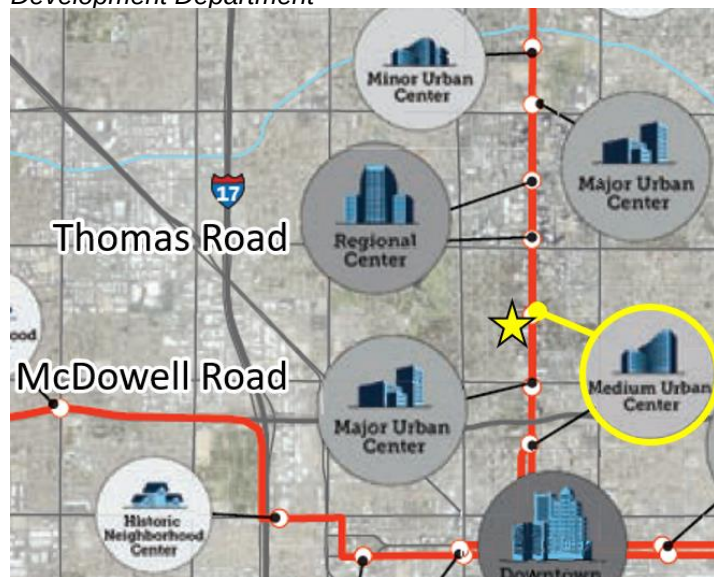


4. **Transit Oriented Development Strategic Policy Framework:**

The Transit Oriented Development Strategic Policy Framework is part of the City's General Plan. The framework identifies planning typologies to describe urban environments.

The subject site is located within 800 feet of the light rail station located at Encanto Boulevard which is identified as a Medium Urban Center Place Type.

Transit Oriented Development Strategic Policy Framework, Place Type Map Excerpt; Source: Planning and Development Department



The Medium Urban Center Place Type provides policy support for three to six story buildings with allowances up to ten when incentive criteria are met. The project's proposed intensity and scale are appropriate for this location given the proximity of single-family homes.

5. **Midtown TOD Policy Plan:**

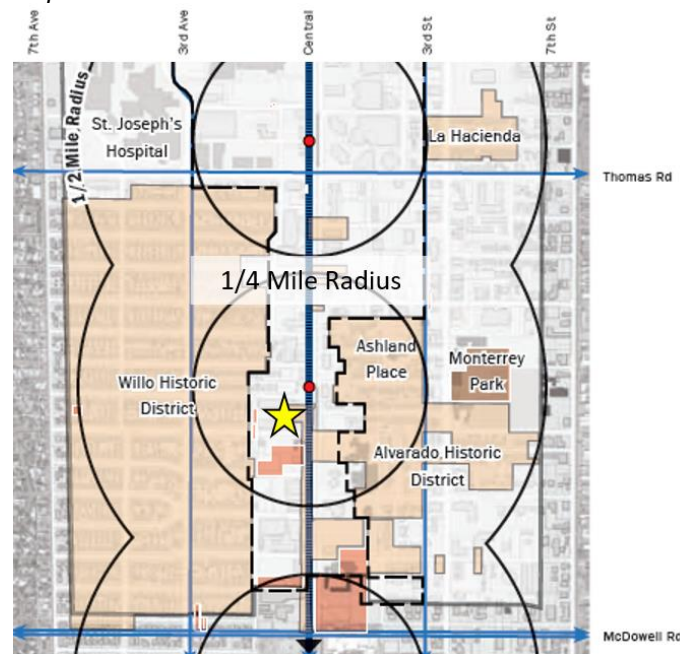
The site is located within the Midtown TOD Planning Area which is bound by 7th Avenue on the west, 7th Street on the east, McDowell Road on the south, and Indian School Road on the north. The policy plan for the Midtown TOD District provides a blueprint for fully achieving the transformative potential of light rail in a sustainable manner.

Changes advocated in the plan can lower transportation costs for residents, create new business opportunities, encourage active, healthy lifestyles, ensure Phoenix increases its competitive advantage in the global marketplace, and improve prosperity by growing the economy in locations with existing infrastructure and public services.

The Midtown TOD District Plan projects a shortfall of 17,520 housing units by 2035 and articulates a goal for more housing and employment in proximity to high-capacity transit.

The proposed project will produce six single-family homes, adjacent to existing single-family homes, in close proximity to light rail.

Midtown TOD Policy Plan, Walk-Shed Map from Light Rail Excerpt; Source: Planning and Development Department



6. The Encanto Village Character Plan was approved and adopted into the Phoenix General Plan through General Plan Amendment GPA-1-19. The project advances the following items identified in the Encanto Village Character Plan:
- Land Use Principle: Include a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles.
 - Design Principle: Enhance the compatibility of residential infill projects by

carefully designing the edges of the development to be sensitive to adjacent existing housing. Create landscape buffers and other amenities to link new and existing development.

- Design Principle: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.

PROPOSAL

7. Site Plan

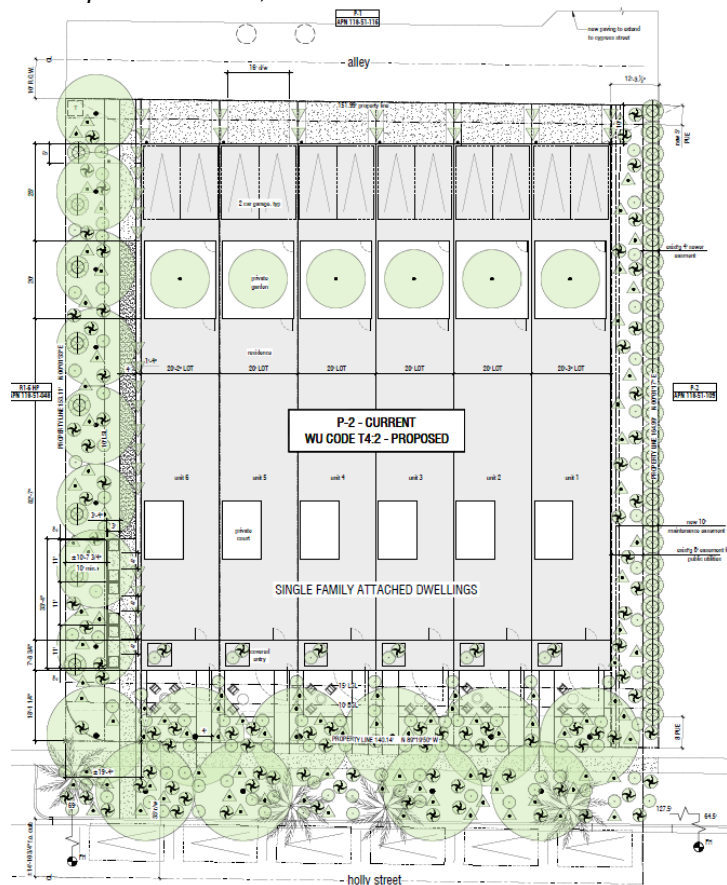
The applicant is proposing six single-family attached dwelling units that will front on Holly Street and have garages which are loaded from the north. Between each of the dwelling units and their respective garage will be a small private yard. In addition to the two car garages accessible from the rear, several guest spaces will be provided on the street as allowed in the Infill Development District and a series of guest bicycle parking spaces near the front building entrances.

To promote compatibility with the Willo Historic District, staff is

recommending Stipulation Nos. 1 – 4 as follows:

- Stipulation No. 1 to require a maximum building height of 30 feet.
- Stipulation No. 2 to limit the development to six lots or dwelling units.
- Stipulation No. 3 to require the landscape area between the back of curb and the sidewalk be replenished with shade trees.
- Stipulation No. 4 to require enhanced landscape plantings along the west property line.

Conceptual Site Plan; Source: Studio MA



8. Conceptual Building Elevations

The applicant is proposing a design which features wood, metal wall panels, and stucco. Oriented to Holly Street, all six units feature prominent entrances as which function as a focal point for each unit and all feature semi-private porches enclosed by a passive solar screen wall made of wood. To reduce potential privacy concerns from the property owner to the west, the western orientation of the building includes a limited number of windows.

Conceptual Building and Streetscape Renderings; Source: Studio MA



STUDIES AND POLICIES

9. [Tree and Shade Master Plan:](#)

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. To re-establish the tree canopy in complement to the existing canopy in the Willo Historic District Neighborhood, staff is recommending Stipulation No. 4 to replenish the landscape area between the back of curb and sidewalk with shade trees.

10. [Complete Streets Guidelines:](#)

The City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The Walkable Urban Code is designed to facilitate pedestrian, bicycle, and transit-oriented development and includes provisions to advance the goals of the policy guide.

11. [Housing Phoenix:](#)

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with the vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing.

The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant or underutilized land in a more sustainable fashion.

12. [Zero Waste Phoenix PHX:](#)

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs.

Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and

mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

COMMUNITY CORRESPONDENCE

13. As of the writing of this report, several letters of community correspondence have been received but were classified by their authors as general inquiries and did not rise to the point of either support or opposition.

INTERDEPARTMENTAL COMMENTS

14. The Fire Department commented that the site plan must comply with the Phoenix Fire Code and further indicated there are no problems anticipated with the case. Further, the Department commented that they do not know the water supply at this site and noted that additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.
15. The Street Transportation Department comments that the existing landscape planter between the back of curb and the sidewalk should be replenished with shade trees. Additionally, the department provided stipulations to: require a right-of-way dedication, require the alley be paved to the nearest streets, require all streets and improvements in the right-of-way be constructed to ADA standards; these are included in Stipulation Nos. 5 and 6 respectively.
16. The Public Transit Department commented on the need for a robust system of pedestrian pathways on the site to efficiently convey new residents toward the light rail and bus routes. These are addressed within the provisions of the Walkable Urban Code.

OTHER

17. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 10.
18. The Aviation Department requires the disclosure of the existence and operational characteristics of Phoenix SkyHarbor Airport be disclosed to tenants and buyers, an aviation agreement be recorded, and that a no-hazard determination be obtained from the FAA. These are addressed in Stipulation Nos. 7 - 9.

19. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The proposal is compatible with the context of the area and utilizes setbacks and other design considerations to create a transition from the highest intensity near Central Avenue to the lower residential intensities located within the Willo Historic District Neighborhood.
2. The development advances the vision and recommendations contained in the Midtown TOD Policy Plan by redeveloping a vacant site with new residential units in a scale compatible with the adjacent neighborhood.
3. The proposal will create additional housing options in line with the Housing Phoenix Plan's goal of preserving or creating 50,000 housing units by 2030.

Stipulations

1. The maximum building height shall be 30 feet
2. The project shall not exceed 6 lots and/or 6 dwelling units.
3. The existing streetscape landscape area between the curb and sidewalk shall be replenished, as required by Chapter 13, Section 1309.B of the Phoenix Zoning Ordinance and as approved by the Planning and Development Department.
4. The required landscape setback along the western property boundary shall be planted with shade trees placed 20 feet on center or in equivalent groupings, excluding driveway entrances, and all required trees shall be a minimum 3-inch caliper. Existing trees may be utilized toward the requirement. The above conditions shall be approved by the Planning and Development Department.
5. The developer shall provide 20 feet of paving per the local street standards for the full length of the alley to the two nearest cross streets unless otherwise modified by a technical appeal, as approved by the Planning and Development Department.

6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
7. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
8. The developer shall grant and record an avigation easement to the City of Phoenix for the site, per the content and form prescribed by the City Attorney prior to final site plan approval.
9. The developer shall provide a No Hazard Determination for the proposed development from the FAA pursuant to the FAA's Form-7460 obstruction analysis review process, prior to construction permit approval, as per plans approved by the Planning and Development Department.
10. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Nick Klimek

September 27, 2021

Team Leader

Samantha Keating

Exhibits

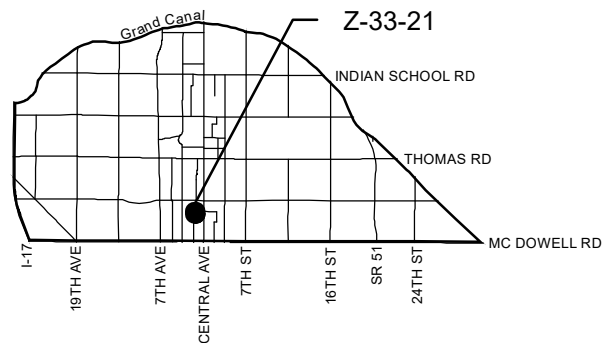
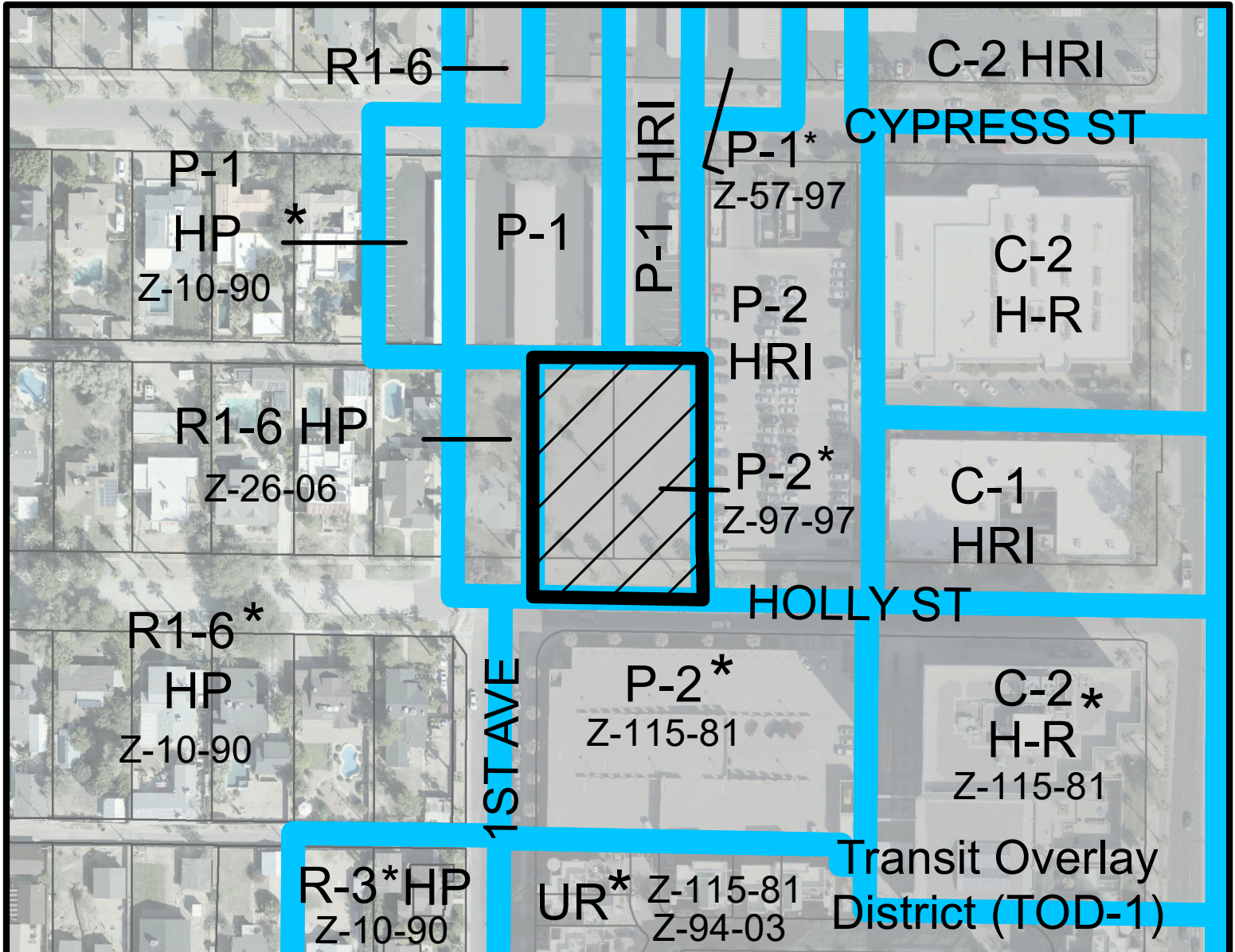
Zoning sketch map

Aerial sketch map

Conceptual Site Plan date stamped August 19, 2021 (3 pages)

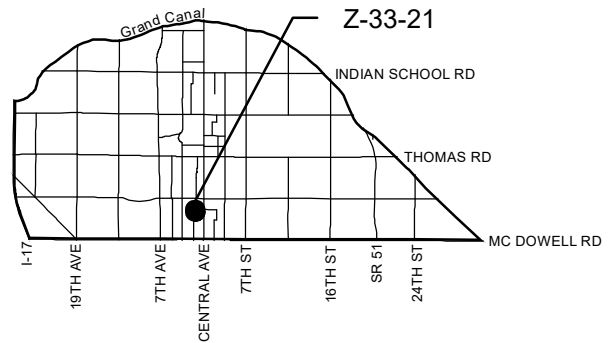
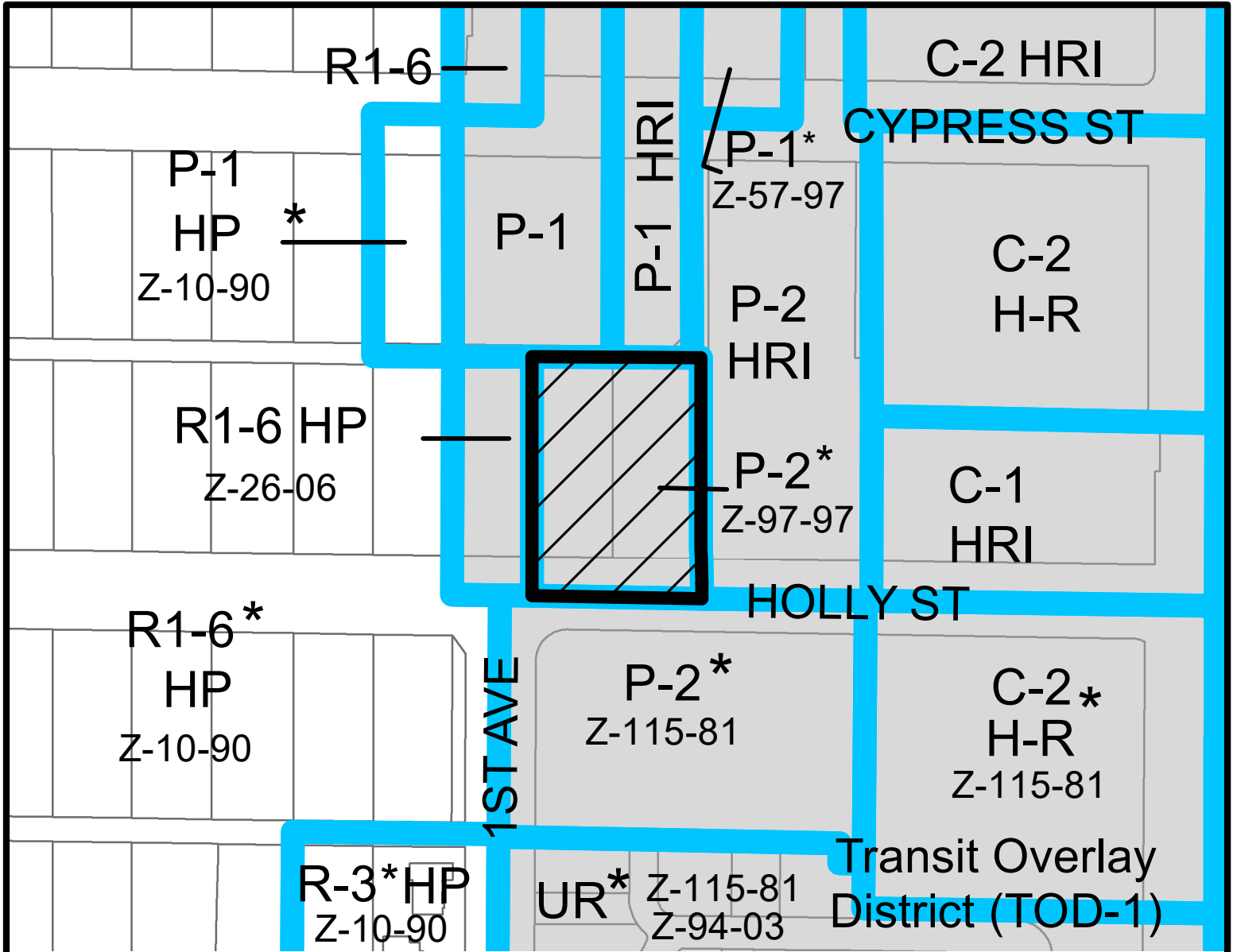
Conceptual Building Elevations date stamped August 19, 2021 (4 pages)

Conceptual Renderings date stamped August 19, 2021 (3 pages)

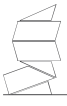


APPLICANT'S NAME: Holly 6 LLC		REQUESTED CHANGE:	
APPLICATION NO. Z-33-21		FROM: P-2 TOD-1 (0.71 a.c.)	
DATE: 6/15/2021 REVISION DATES:		TO: WU Code T4:2 (0.71 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 0.71 Acres		AERIAL PHOTO & QUARTER SEC. NO. QS 13-27 ZONING MAP G-8	
MULTIPLES PERMITTED P-2 TOD-1 WU Code T4:2		CONVENTIONAL OPTION N/A No Maximum	
* UNITS P.R.D. OPTION N/A N/A			

* Maximum Units Allowed with P.R.D. Bonus



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APPLICATION NO. Z-33-21	DATE: 6/15/2021 REVISION DATES:	FROM: P-2 TOD-1 (0.71 a.c.)	
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MULTIPLES PERMITTED P-2 TOD-1 WU Code T4:2	CONVENTIONAL OPTION N/A No Maximum		* UNITS P.R.D. OPTION N/A N/A
* Maximum Units Allowed with P.R.D. Bonus			



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anna project no.
18-129

anna project name
July 6

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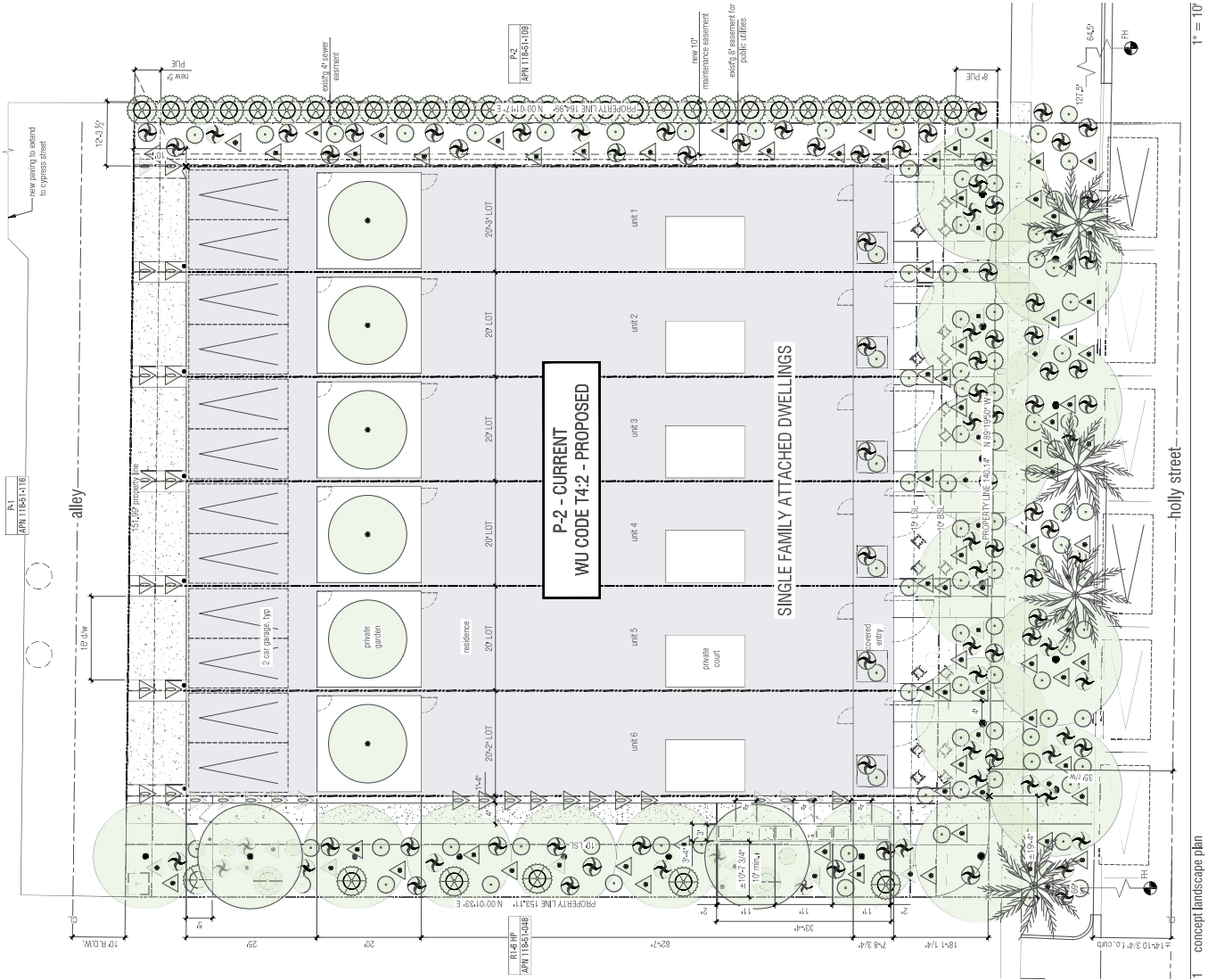


Expire 12/31/21

73
CONCEPT
LANDSCAPE PLAN

Scale
0 10' 20'
1" = 10'-0"

DATE
08/13/21



KWA 20-736
SDEV 2007522
PROJECT 2105155
PRJNM Phase 1 rev
SCDM
08/13/21

concept landscape plan

Architectural section drawing of a building. The building features a prominent green wall with a grid of vertical slats. The wall is labeled with a circled '6' and the text 'gate open'. The building is shown in a cross-section, revealing internal spaces and structural elements. The drawing includes palm trees and other vegetation, suggesting a tropical or subtropical environment. The drawing is oriented vertically, with the top of the building at the bottom of the page.

$$\underline{1/8'' = 1'-0''}$$

Architectural section drawing of a building. The building features a prominent green wall with a grid of vertical slats. The wall is labeled with a circled '6' and the text 'gate open'. The building is shown in a cross-section, revealing internal spaces and structural elements. The drawing includes palm trees and other vegetation, suggesting a tropical or subtropical environment. The drawing is oriented vertically, with the top of the building at the bottom of the page.

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$$1/8" = 1.0"$$

KIVA	20-798
SDEV	2007622
FACT	2105156
PRLM	
SCMJ	

FALDI
SCM

2 ALLEY ELEVATION

KIVA	20-798
SDEV	2007622
FACT	2105156
PRLM	
SCMJ	



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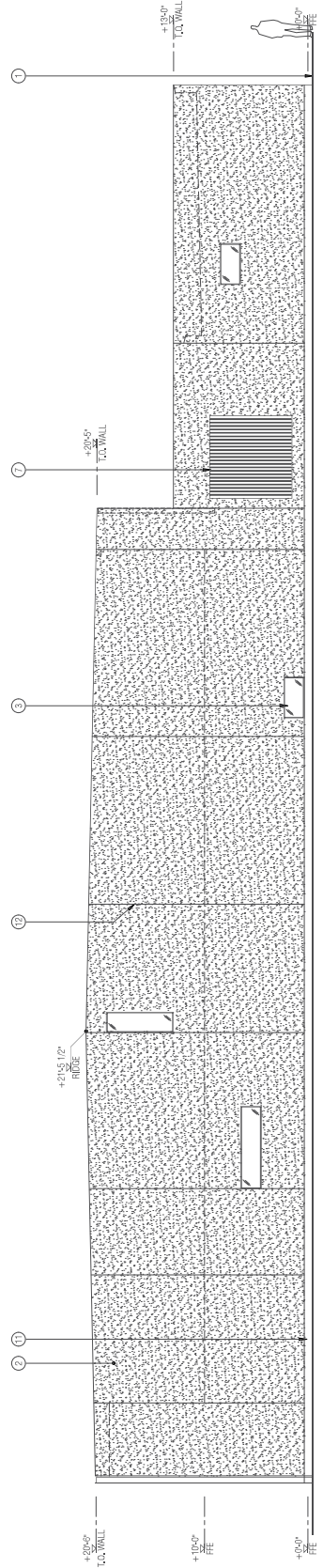
LANDSCAPE ARCHITECT
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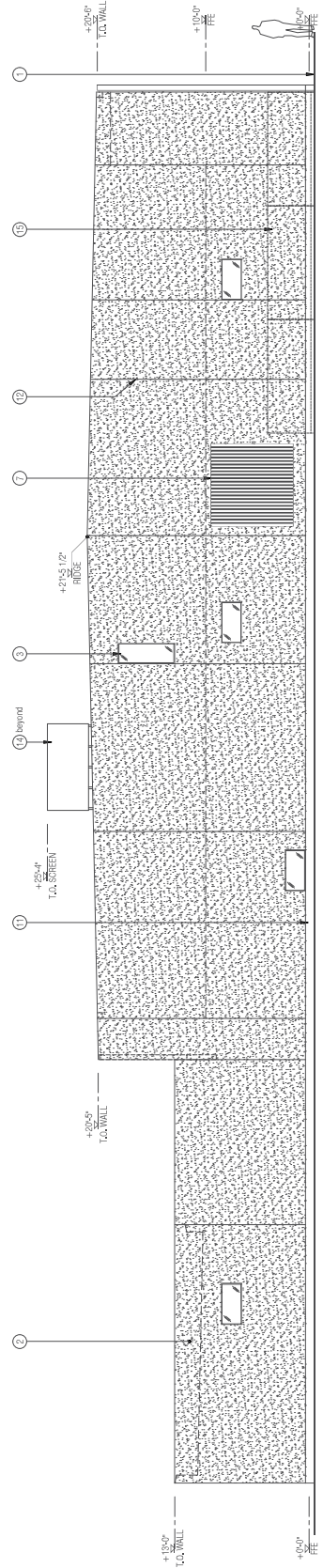
2202
EXTERIOR
ELEVATIONS

1/8" = 1'-0"
scale

NOA 20-238
SDEV 2007522
PROJECT 2107056
PRJ 11
SC14U
05 13x27



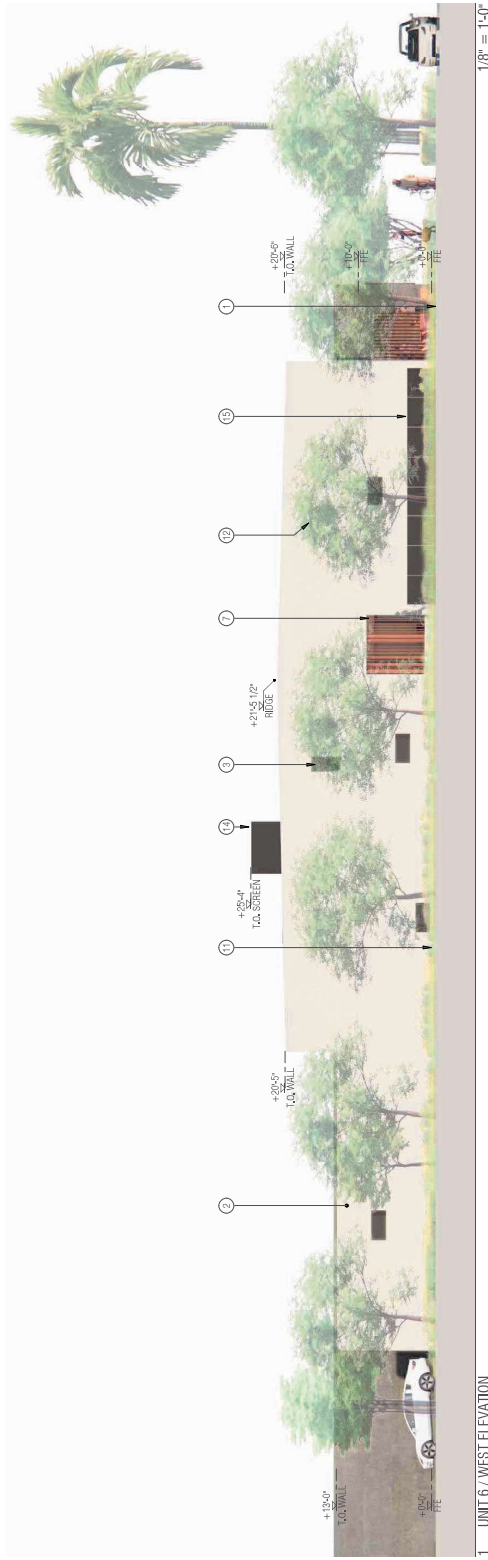
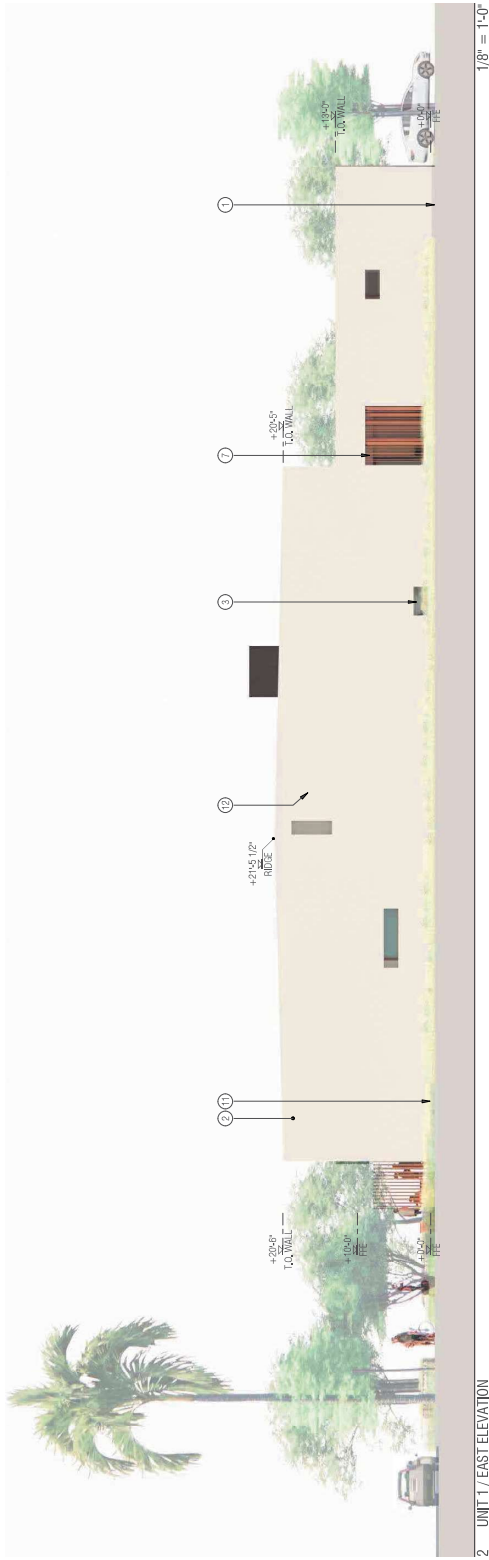
2 UNIT 1 / EAST ELEVATION 3/16" = 1'-0"



1 UNIT 6 / WEST ELEVATION 3/16" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

#	DESCRIPTION	REF. DTL/SH
1	finished grade	civil landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage door	per plan
6	wood siding	finish schedule
7	screen wall	exterior details
8	electrical meter	electrical
9	screen wall gate	exterior details
10	metal wall panels	finish schedule
11	stern wall	exterior details
12	control joint	finish schedule
13	balcony	exterior details
14	mechanical screen	exterior details
15	4-cft screen wall and gates for recycle bins beyond	per site plan



EXTERIOR ELEVATION NOTES		REF. DETAIL
#	DESCRIPTION	
1	finished side	civil, landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage door	per plan
6	wood siding	finish schedule
7	screen wall	exterior details
8	clerical molar	clerical
9	screen wall gable	exterior details
10	metal wall panels	finish schedule
11	stern wall	exterior details
12	control joint	finish schedule
13	bakery	exterior details
14	mechanical screen	exterior details
15	45° screen wall and gates for recycle bins beyond	per site plan

KIVA	20-798
SDEV	2007622
FACT	2105156
PRIM	
SCWJ	

 $1/8'' = 1'.0''$
$$\frac{1}{8} = \frac{1}{\text{scale}}$$

95% DESIGN
phase / rev
2021.08.09
Date



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isma project name
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Z202C
EXTERIOR COLOR
ELEVATIONS

 $1/8'' = 1'.0''$
$$\frac{1}{8} = \frac{1}{\text{scale}}$$





