

Attachment B



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-85-17-8
December 29, 2017

South Mountain Village Planning Committee Hearing Date: January 9, 2018
Planning Commission Hearing Date: February 1, 2018

Request From: C-2 SPVTABDO (Intermediate Commercial, South Phoenix Village Target Area B Design Overlay) (5.01 acres)

Request To: C-2 HGT/WVR DNS/WVR SPVTABDO (Intermediate Commercial, Height Waiver, Density Waiver, South Phoenix Village Target Area B Design Overlay) (5.01 acres)

Proposed Use: Multifamily senior housing with a height waiver for up to 3 stories and 38 feet, and a density waiver for up to the R-3A zoning district standards

Location: Northeast corner of 7th Street and Southern Avenue

Owner: United Group LLC

Applicant/Representative: Ben Graff, Aday Graff PC

Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation	Commercial		
Street Map Classification	7th Street	Major Arterial	40-foot east half street
	Southern Avenue	Arterial	42-foot north half street
<i>CONNECT PEOPLE AND PLACES; CORES, CENTERS, & CORRIDORS; LAND USE PRINCIPLE: Locate land uses with the greatest height and most intense uses within village cores, centers and corridors based on village character, land use needs, and transportation system capacity.</i>			
The subject site is located within a half mile of the proposed South Central Avenue light rail extension corridor which will provide an alternative transit method well-suited for senior residents.			

CONNECT PEOPLE AND PLACES; INFILL; LAND USE PRINCIPLE: *Promote and encourage compatible infill development with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.*

The proposal consists of affordable multifamily senior housing in close proximity to the South Central Avenue light rail extension corridor, which will contribute to housing diversity in a location with predominantly single-family housing.

CONNECT PEOPLE AND PLACES; COMPLETE STREETS; DESIGN PRINCIPLE: *Locate parking to the rear of a site to create a more pedestrian environment, when adequate shielding from noise and light can be provided to adjacent established neighborhoods. On-street parking in some areas may also promote a pedestrian environment.*

The conceptual site plan proposes buildings located adjacent to the street with parking areas located behind the primary structure which will improve the pedestrian environment.

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: *Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.*

The proposal includes enhanced landscaping and a multi-use trail on the north and east property lines, where adjacent to existing single-family homes, which will mitigate impacts of the proposed height and density on the surrounding neighborhood.

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: *Establish design standards and guidelines for parking lots and structures, setback and build-to lines, blank wall space, shade, and other elements affecting pedestrians, to encourage pedestrian activity and identify options for providing pedestrian-oriented design in different types of development.*

As stipulated, the conceptual elevations include balconies and awnings with enhanced design guidelines that will orient residents towards the street, enhance the streetscape, and encourage pedestrian activity.

Area Plans

South Phoenix Village and Target Area B Design Overlay District

The overlay district addresses concerns regarding one and two dwelling units per lot residential development. It is designed to enhance residential neighborhoods and to protect the investments undertaken to revitalize the area. The request consists of a multifamily senior housing design project that is not impacted by the regulations of the overlay district.

Target Area B Redevelopment Plan

The Target Area B Redevelopment Plan seeks to stabilize existing neighborhoods in the area by eliminating blight, encouraging reinvestment by the private sector in infill housing, and supporting commercial development attuned to the community's needs. The proposal works to accomplish these objectives by redeveloping a vacant lot with infill housing which will help to stabilize the existing neighborhood and develop a sense of community. The proposal will increase housing diversity by providing affordable multifamily senior housing, a housing type that is underrepresented in the area.

Tree & Shade Master Plan

See #9 below.

Complete Streets Guiding Principles

See #9 below.

Reimagine Phoenix Initiative

See #17 below.

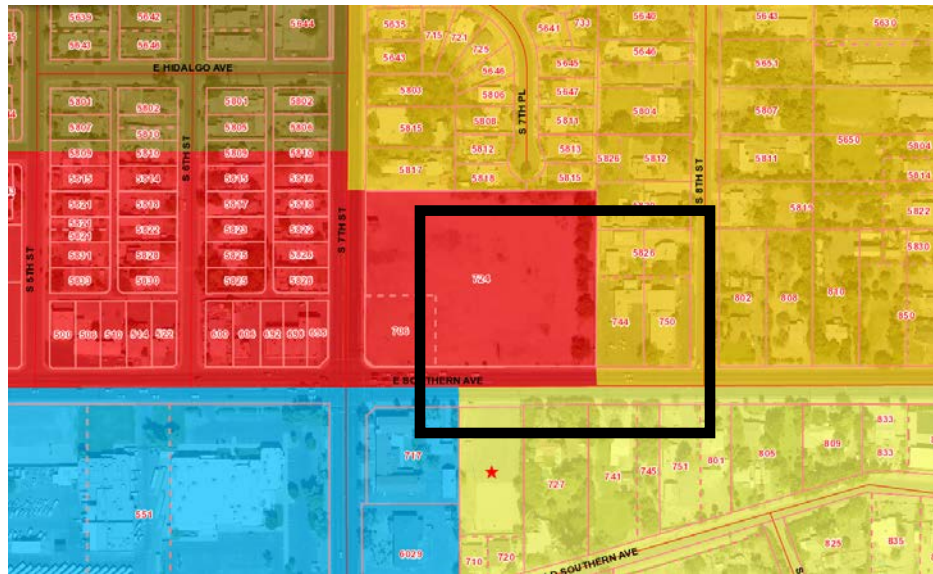
Surrounding Land Uses/Zoning

	<u>Zoning</u>	<u>Land Use</u>
On Site	C-2	Vacant
North	R-3	Single-family and multifamily residential
South	R-3HP	Church, single-family residential
East	R-3	Church, single-family residential, multifamily residential
West	C-2, R-4	Neighborhood retail, single-family residential

Background/Issues/Analysis

1. This request is to rezone approximately 5.01 acres located at the northeast corner of 7th Street and Southern Avenue from C-2 SPVTABDO (Intermediate Commercial, South Phoenix Village Target Area B Design Overlay) to C-2 HGT/WVR DNS/WVR SPVTABDO (Intermediate Commercial, Height Waiver, Density Waiver, South Phoenix Village Target Area B Design Overlay) to allow multifamily senior housing with a height waiver for up to 3 stories and 38 feet, and a density waiver for up to the R-3A zoning district standards.

2. The subject site is designated Commercial on the General Plan. The request is consistent with the existing General Plan Land Use Map designation of Commercial which permits multifamily development at varying scales and intensity of uses. The requested waivers to exceed the permitted height and density of the underlying zoning are supported by various goals in the General Plan as described in the General Plan Conformity section above.



General Plan Land Use Map – Subject Site is Designated Commercial

3. The subject site consists of one parcel with street frontage along 7th Street and Southern Avenue. Access to the site is proposed from driveways at the northwest corner of the site on 7th Street and the southeast corner of the site on Southern Avenue. The proposal includes a single L-shaped building located along the perimeter of the site adjacent to these streets. All site parking is located behind the building.
4. The subject site is vacant and is currently zoned C-2 SPVTABDO.



Surrounding Zoning Map

- Adjacent to the subject site to the north is a variety of single-family and multifamily residential uses zoned R-3.
- East of the subject site, are single-family and multifamily homes and a church zoned R-3.
- South of the subject site is a church and large-lot single-family residential uses zoned R-3 HP.
- West of the subject site, across 7th Street is a small-scale neighborhood retail center zoned C-2 and single-family residential homes zoned R-4.

HEIGHT WAIVER

5. The proposal includes a maximum building height of 3 stories and 38 feet. The underlying C-2 zoning designation permits the maximum building height of the R-3 zoning district for multifamily uses. The R-3 zoning district would permit a maximum building height of 2 stories or 30 feet for the first 150 feet of building setback and additional one foot increases in building height per five feet of additional setback up to a maximum building height of 48 feet and 4 stories, in the Planned Residential Development (PRD) option for a multifamily project.

The proposed height is comparable to the height permitted in the R-3A zoning district, which allows a maximum building height of 3 stories or 40 feet for the first 150 feet of building setback and additional one foot increases in building height per five feet of additional setback up to a maximum building height of 48 feet and 4 stories.

While the surrounding area contains primarily single story buildings, the request is compatible with the height permitted by existing zoning in the surrounding area. The potential impacts of the proposed building height on the surrounding neighborhood is mitigated by the placement of the building along both 7th Street and Southern Avenue. As stipulated, enhanced landscaping and a multi-use trail buffer adjacent residential properties from the site. Staff Stipulation #3 caps the maximum building height at the proposed 3 stories and 38 feet.

DENSITY WAIVER

6. The project contains 90 units at a density of 18 dwelling units per acre. The underlying C-2 zoning designation permits the residential density of the R-3 zoning district for multifamily use. The R-3 PRD zoning district would permit a maximum of 17.4 dwelling units per acre with density bonuses for a multifamily project.

The proposed density of 18 dwelling units places the proposal in the range of the R-3A zoning district, which permits a maximum of 26.4 dwelling units per acre in the Planned Residential Development (PRD) option with density bonuses for a multifamily use. The proposed density is suitable for the subject site's location at the intersection of a major arterial and arterial street. Additionally, the project is in close proximity to the planned South Central Avenue light rail extension which will offer transit opportunities for senior

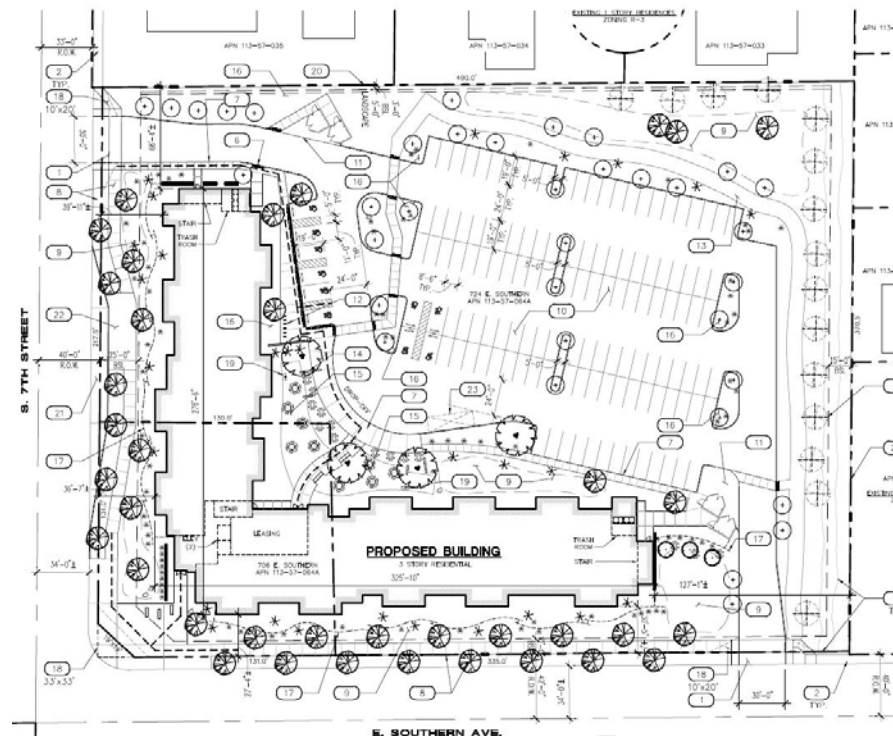
residents of the site who may have limited mobility, the South Mountain Community Center, El Reposo Park, Roosevelt Pool, and other public amenities. Finally, while the surrounding neighborhood consists primarily of established single-family neighborhoods, the request is consistent with the zoning pattern in the surrounding area which transitions from Commercial designations along Central Avenue, to R-4 west of 7th Street and R-3 east of 7th Street.

The proposed density is complementary to this transition moving east from Central Avenue. Staff Stipulation #4 caps the maximum density at the proposed 18 dwelling units per acre.

SITE PLAN & ELEVATIONS

7. The conceptual site plan proposes an affordable multifamily senior housing project consisting of a single building with a ground floor footprint of approximately 32,071 square feet comprising 17.7% lot coverage. The building is oriented along 7th Street and Southern Avenue, which will help to promote an engaging pedestrian experience along both rights-of-way.

The north and east perimeter property lines include an enhanced landscape setback that contains a multi-use trail. Staff Stipulation #1 requires general conformance to the site plan with specific regard to the provision of the multi-use trail. The stipulation requires that the trail be constructed in compliance with MAG Supplemental Details, which contains requirements for trail design, shoulders, alternative surface materials, and planting restrictions, except that the minimum width of the trail may be reduced to 5 feet. The trail will serve as an active recreational amenity for residents and provide an alternative method for traversing the site.



Conceptual Site Plan Date Stamped December 21, 2017

Staff Stipulation #1 also requires general conformance in specific regard to the provision of resident access doors at the northwest and southeast corners of the building. This requirement is intended to reduce the difficulty of accessing the public rights-of-way and recreational amenities on the site.

Staff Stipulation #8 requires that public access be provided through the interior of the building to allow pedestrian access between the parking located at the rear of the site and the intersection of 7th Street and Southern Avenue.

The building's orientation towards the streetscape requires that residents' balconies directly front the public right-of-way. In order to provide security for residents, the conceptual site plan includes perimeter fences along 7th Street and Southern Avenue. Staff Stipulation #5 requires that these fences be composed of 100% open view fencing to promote an open design and engagement with the streetscape. Staff Stipulation #6 further requires that these perimeter fences provide pedestrian access gates aligned with building entries and the planned transit pad on 7th Street. This will promote pedestrian activity and provide connectivity and easy access for residents.



Southwest Corner

Southwest Corner Perspective

8. Conceptual elevations for the proposal include a variety of exterior colors and building materials, including stucco, masonry, glass, and metal. Additionally, the elevations depict multiple variations in the building façade achieved by the use of wing walls, balconies, window awnings, stairwells, and pop-outs.



Staff Stipulation #2 requires general conformance to these elevations with specific regard to the provision of balconies and window awnings. Specific dimensions for these architectural features are provided. The requirement for balconies is intended to provide an outdoor amenity for all residents as well as providing eyes-on-the-street, engaging the pedestrian environment, and providing visual interest for the project.

Staff Stipulation #7 prohibits the use of mirrored or reflective glass. The stipulation language is borrowed from the Walkable Urban Code frontage standards for building façades. The conceptual elevations depict a large area of storefront glazing on the north elevation. The stipulation is intended to promote walkability by prohibiting glass types that can create glare and other potential negative impacts.

9. The Tree & Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the City's planning and development process. Toward that end, staff stipulations require that sidewalks along 7th Street shall be detached with a minimum 10-foot wide landscaped strip located between the sidewalk and back of curb and sidewalks along Southern Avenue shall be detached with a minimum 5-foot wide landscaped strip located between the sidewalk and back of curb. This design is consistent with the City Council adopted Guiding Principles for Complete Streets, one tenet of which is to make Phoenix more walkable. The stipulations are intended to provide a safe and inviting pedestrian environment that encourages walkability and thermal comfort. This is addressed in Staff Stipulations #9-10.

DEPARTMENT COMMENTS

10. The Phoenix Fire Department indicated that they do not anticipate problems with this case and that the site and/or buildings shall comply with the Phoenix Fire Code.
11. Floodplain Management indicated that the parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2215 L of the Flood Insurance Rate Maps (FIRM) dated February 10, 2017.
12. There is an existing bus stop located approximately 50 feet north of the northeast corner of 7th Street and Southern Avenue. The Public Transit Department will require dedication of right-of-way and construction of a bus bay with a minimum depth of 10 feet in this location. This is addressed in Staff Stipulation #11.
13. The Street Transportation Department will require the developer to update all street improvements, including sidewalks, curb ramps and driveways, within and adjacent to

the project to current ADA guidelines, as approved by the Street Transportation and Planning and Development Departments. Additionally, the developer shall provide a 30-foot P1255-1 driveway on 7th Street and Southern Avenue. This is addressed in Staff Stipulations #12-13.

14. The Water Services Department indicated that the site is surrounded with existing water and sewer mains that can potentially serve the development.
15. The Parks and Recreation Department has no concerns regarding the request.

MISCELLANEOUS

16. The site is located in an area identified as being archaeologically sensitive. If no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Staff Stipulations #14-16.
17. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinances establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals, however per City Code, the City provides recycling containers and services to all single-family residences.
18. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

Findings

1. The proposal is consistent with the General Plan Land Use Map designation of Commercial.
2. As stipulated, the proposal is consistent with the goals of the Target Area B Redevelopment Plan.
3. As stipulated, the proposal adequately mitigates potential impacts on existing development in the surrounding area.

Stipulations

1. The development shall be in general conformance with the site plan date stamped December 21, 2017 with specific regard to the following, as approved by the Planning and Development Department:
 - a. Provision of a multi-use trail along the interior property lines. The multi-use trail shall be constructed per City of Phoenix MAG Supplemental Details, except that the minimum width is 5 feet.
 - b. Provision of resident access doors located at the northwest and southeast ends of the building.
2. The development shall be in general conformance with the elevations date stamped December 4, 2017 with specific regard to the following, as approved by the Planning and Development Department:
 - a. Provision of balconies to provide outdoor space for all residents. Balconies shall be a minimum of 13 feet in width and 7 feet in depth for individual units. Ground level balconies shall vary in building material and color from balconies on higher floors.
 - b. Provision of window awnings with a minimum depth of 18 inches.
3. The maximum building height shall be 3 stories and 38 feet.
4. The maximum density for the project shall not exceed 18 dwelling units per acre.
5. Perimeter fences on 7th Street and Southern Avenue, between the sidewalk and the building, shall consist of 100% open view fencing, as approved by the Planning and Development Department.
6. Perimeter fences on 7th Street and Southern Avenue, between the sidewalk and the building, shall provide pedestrian access points aligned with all building entries and transit pads along these perimeters at a minimum, as approved by the Planning and Development Department.
7. Mirrored and reflective glass are prohibited.
8. Public access through the interior of the building shall be provided from the parking area to the corner of 7th Street and Southern Avenue, as approved by the Planning and Development Department.
9. The sidewalk along 7th Street shall be detached with a minimum 10-foot wide landscaped strip located between the sidewalk and back of curb, as approved by the Planning and Development Department.

10. The sidewalk along Southern Avenue shall be detached with a minimum 5-foot wide landscaped strip located between the sidewalk and back of curb, as approved by the Planning and Development Department.
11. The developer shall dedicate right-of-way and construct a bus bay (City of Phoenix Standard Detail P1256) and bus pad with a minimum depth of 10 feet (City of Phoenix Standard Detail P1261) along northbound 7th Street, north of Southern Avenue, as approved by the Public Transit Department.
12. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
13. The developer shall provide a 30-foot P1255-1 driveway on 7th Street and Southern Avenue.
14. The applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
15. The applicant shall conduct Phase II archaeological data recovery excavations if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary.
16. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Adam Stranieri

December 29, 2017

Team Leader

Joshua Bednarek

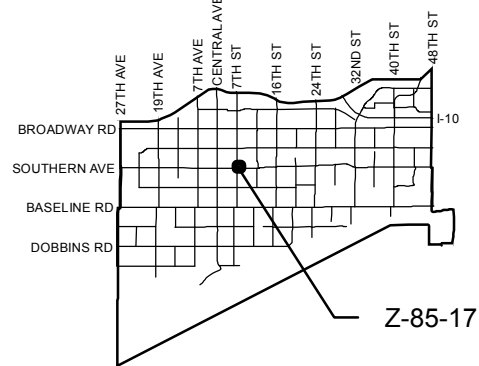
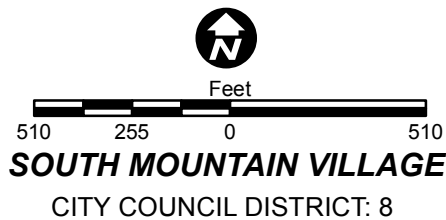
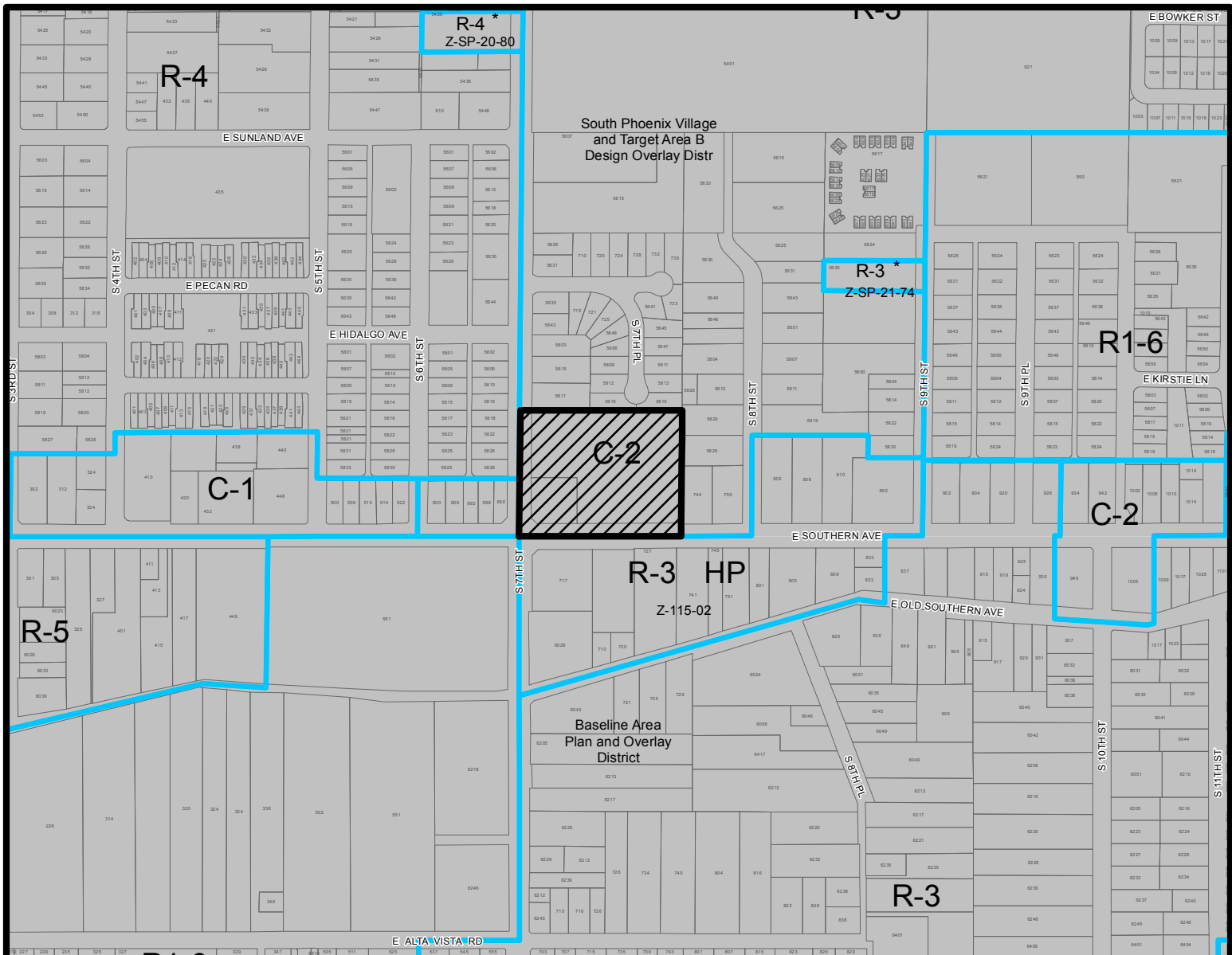
Exhibits

Sketch Map

Aerial

Site Plan date stamped December 21, 2017

Elevations date stamped December 4, 2017 (2 pages)



APPLICANT'S NAME: Ben Graff, Andy Graff PC

APPLICATION NO. Z-85-17

GROSS AREA INCLUDING 1/2 STREET
AND ALLEY DEDICATION IS APPROX.

5.01 Acres

DATE: 12/6/2017
REVISION DATES:

12/20/2017

AERIAL PHOTO &
QUARTER SEC. NO.

QS 3-29

ZONING MAP

D-8

REQUESTED CHANGE:

FROM: C-2 SPVTABDO (5.01 a.c.)

TO: C-2 HGT/WVR DNS/WVR SPVTABDO (5.01 a.c.)

MULTIPLES PERMITTED

C-2 SPVTABDO

C-2 HGT/WVR DNS/WVR SPVTABDO

CONVENTIONAL OPTION

72

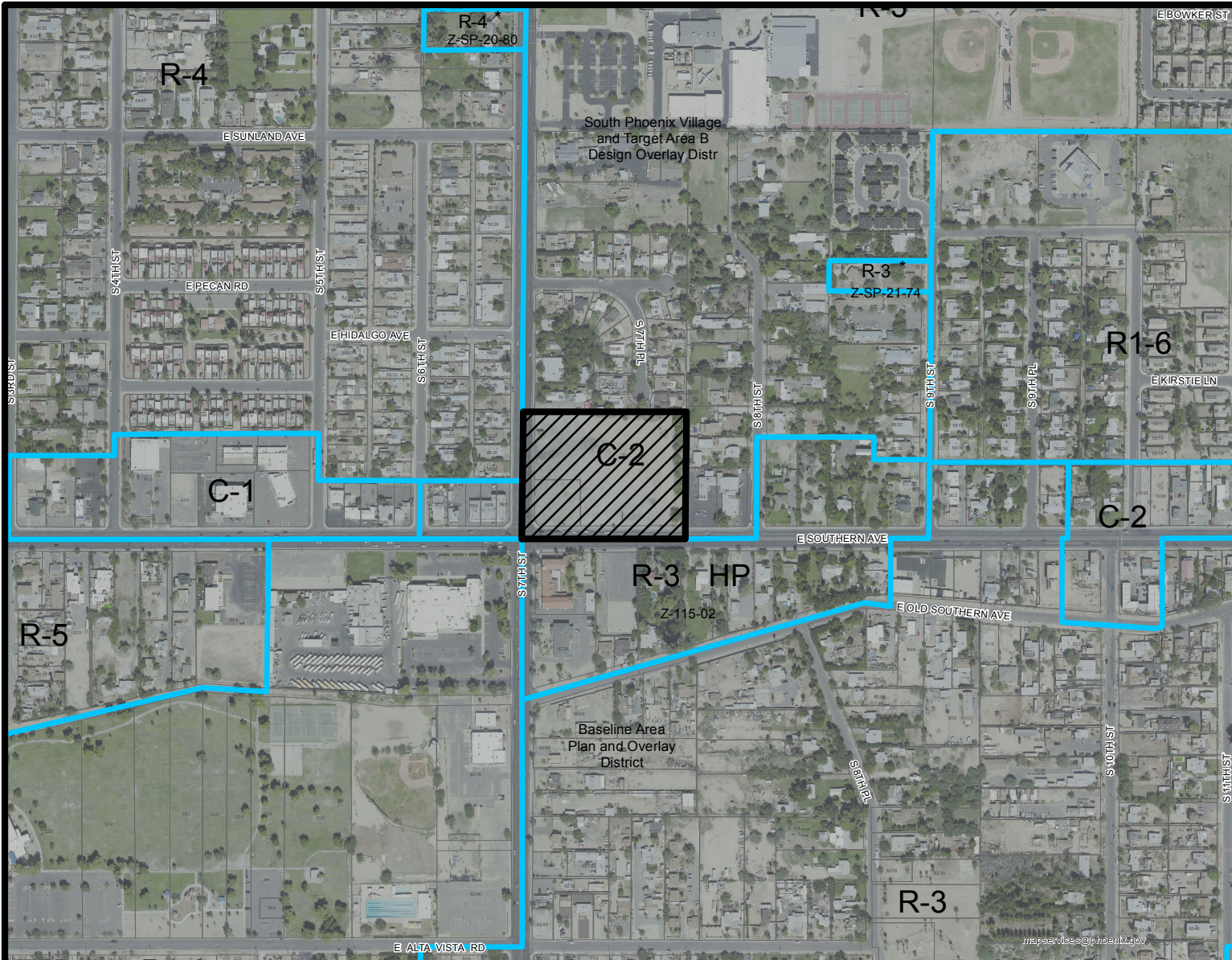
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* UNITS P.R.D. OPTION

87

132

* Maximum Units Allowed with P.R.D. Bonus



Feet

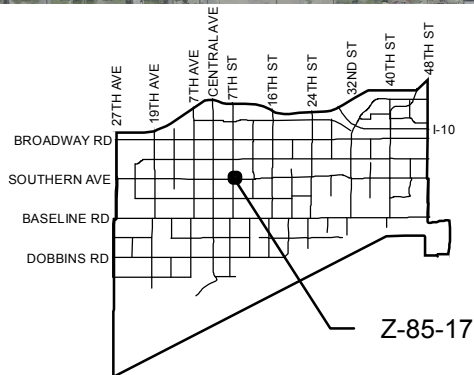
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SOUTH MOUNTAIN VILLAGE

CITY COUNCIL DISTRICT: 8



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: Ben Graff, Andy Graff PC

APPLICATION NO. Z-85-17

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FROM: C-2 SPVTABDO (5.01 a.c.)

TO: C-2 HGT/WVR DNS/WVR SPVTABDO (5.01 a.c.)

MULTIPLES PERMITTED

C-2 SPVTABDO

C-2 HGT/WVR DNS/WVR SPVTABDO

CONVENTIONAL OPTION

72

110

* UNITS P.R.D. OPTION

87

132

* Maximum Units Allowed with P.R.D. Bonus

DEC 21 2017

1 ARCHITECTURAL SITE PLAN

PARKING REQUIREMENTS

CONSTRUCTION TYPE: V-A
OCCUPANCY TYPE: R-2/B
FIRE SPRINKLER: NFPA 13
AREAS CALC. (BASED ON ADOSH):
(1) 2 BED ROOMS = 120.00 SF
(2) 2 BED ROOMS = 120.00 SF
TOTAL RESIDENTIAL FLOOR AREA = 240.00 SF
TOTAL FLOOR AREA:
1ST LEVEL: 32,074 SF
2ND LEVEL: 32,074 SF
3RD LEVEL: 29,950 SF
TOTAL: 93,409 SF
EFFICIENCY: (BASED ON ADOSH): 70.398 / 93,409 = 71%

BUILDING INFORMATION

LEGAL DESCRIPTION

- THE PORTION OF FARM UNIT "A," ACCORDING TO THE FARM UNIT PLAT, THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 3 EAST OF THE GUA AND SALT RIVER BASE DESCRIBED AS FOLLOWS:
- BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 28;
- THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 412.5 FEET TO THE SOUTHWEST CORNER OF SUBURBAN GARDENS, RECORDED IN BOOK 35 OF MAPS, PAGE 28, RECORDED OF MARICOPA COUNTY, ARIZONA;
- THENCE EAST, ALONG THE SOUTH LINE OF SAID SUBURBAN GARDENS, 53.5 FEET TO A POINT IN THE WEST LINE OF BROOKSIDE ACRES, RECORDED IN BOOK 19 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA;
- THENCE SOUTH, ALONG THE WEST LINE OF SAID BROOKSIDE ACRES, 412.5 FEET TO THE SOUTHWEST CORNER THEREOF;
- THENCE WEST, ALONG THE SOUTH LINE OF SAID SECTION 28, A DISTANCE OF 330 FEET TO THE TRUE POINT OF BEGINNING;
- EXCEPT THE SOUTH 40 FEET THEREOF.

ZONING REQUIREMENTS

- | | |
|---|---|
| HEIGHT (SEEKING MAINTENANCE, 2'-85"-17'-8") | |
| ALLOWED PER C-2(R-3): | 30'-0" (2 STORES) |
| PROPOSED: | 38'-0" (3 STORES) |
| LOT COVERAGE (181,384 SF NET) | |
| ALLOWED: | 45% MAX |
| PROVIDED: | 17.7% |
| DENSITY CALCULATIONS (SEEKING MAINTENANCE, 2'-85"-17'-8") | |
| ALLOWED PER C-2(R-3): | 14.5 DU/ACRES MAX.
(14.5 X 5.02 = 72.79 TOTAL) |
| PROPOSED: | 18 DU/ACRES (90 TOTAL)
(90 DU / 5.02 ACRES = 18) |
| SETBACKS PER C-2(R-3) | |
| FRONT: (7TH STREET) | 25'-0" |
| SIDE: (SOUTHERN AVE) | 10'-0" |
| REAR: (EAST) | 15'-0" |
| SIDE: (NORTH) | 3'-0" (5'-0" LANDSCAPE) |

VICINITY MAP

N.T.S.

CITY APPROVALS

KIVA # 17-3593

SDEV # 1700738

CITY QUARTER SECTION: 3-29

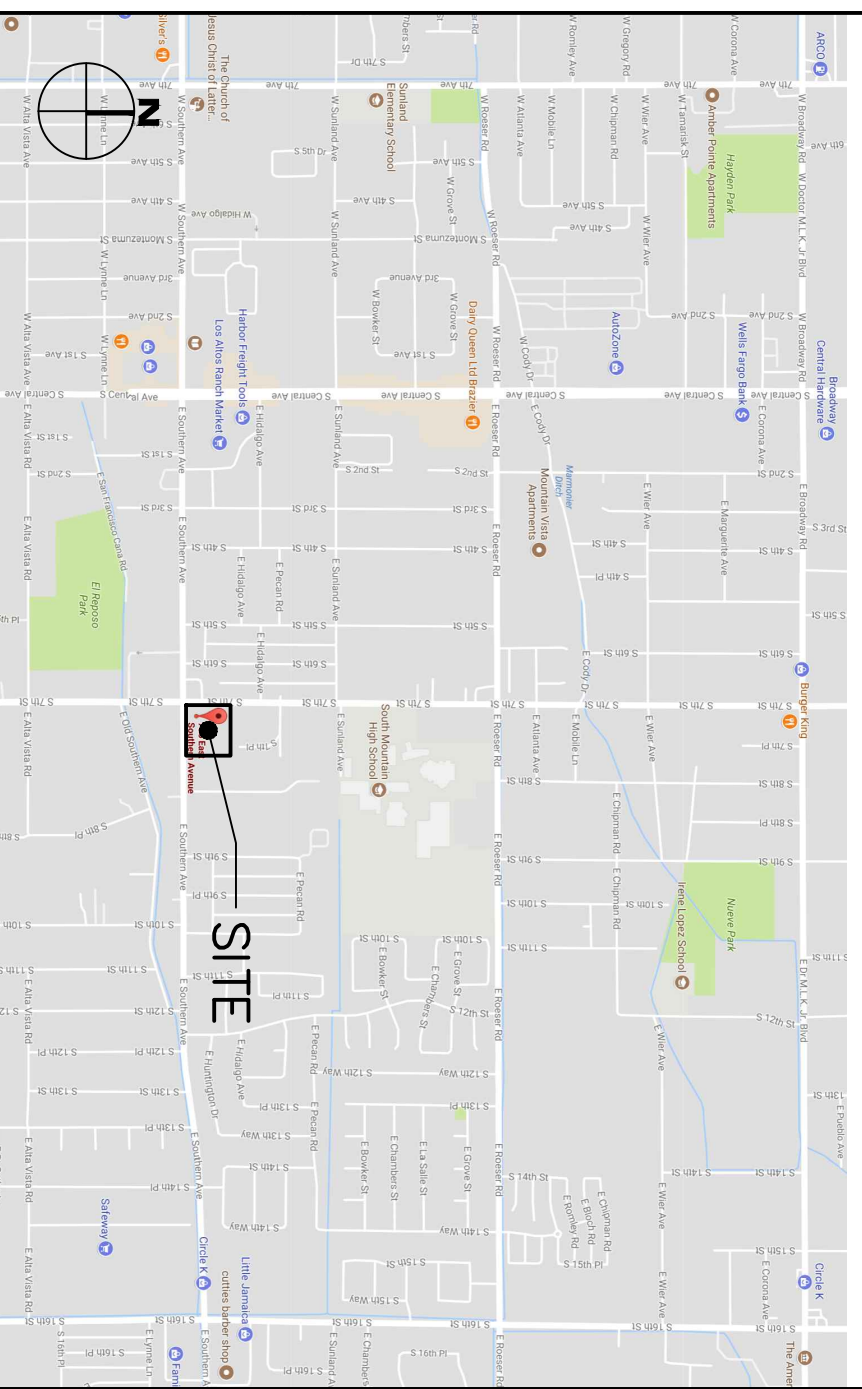


Diagram illustrating the ADA Ramp and Landing specifications:

- ADA RAMP:** A ramp with a 1:12 slope, a 60-inch wide ramp, and a 60-inch wide landing.
- ADA LANDING:** A landing area with a 60-inch wide ramp and a 60-inch wide landing.

KEYNOTES

XXX	DESCRIPTION
1	NEW 30" x 6" WIDE DRIVEWAY PER CITY OF PHOENIX. DETAIL P1255. (AREA OUTSIDE OF DRIVE ALSE)
2	EXISTING CONCRETE SIDEWALK TO REMAIN
3	EXISTING FIRE HYDRANT TO REMAIN
4	EXISTING WATER CONVEYANCE STRUCTURE AND WASH TO REMAIN
5	EXISTING LANDSCAPE & TREES TO REMAIN
6	REPLACE EXISTING C&G: ZONING ORNAMENT SEC. 702.6
7	CONCRETE SIDEWALK / HARDSCAPE
8	8'-0" WIDE DETACHED SIDEWALK WITH LANDSCAPE STRIP ALONGSIDE CURB (10' ALONG 7TH STREET, 8' ALONG SOUTHERN) RETURNING BASIN
9	PARKING AREA / STRIPING
10	CONCRETE PERSONEL CURBING AT TRASH CHUTE
11	REMOVE EXISTING TRASH BELT ROLLER DOOR FROM TRASH ROOMS BY MAINTENANCE PERSONNEL
12	BIKE RACKS (6)
13	10' WIDE STANDARDIZED D.G. WALKING PATH PER MAG STANDARDS
14	DECORATIVE SITE WALL / SEATS
15	CONCRETE SIDEWALK AT OUTDOOR COMMUNITY SPACE
16	LANDSCAPE AREA
17	6'-0" HIGH DECORATIVE SITE FENCING LOCATED OUTSIDE OF BUILDING SETBACK. DESIGN SHALL INCORPORATE ARTICULATION, VARIETY, RANGE, SIZE AS SHOWN
18	PERMETER SITE WALL, 6'-0" HIGH
19	DEDICATED BUS BAY PER CITY OF PHOENIX
20	STANDARD DETAIL P1256
21	BUS STOP PAD PER CITY OF PHOENIX
22	STANDARD DETAIL P1261
23	10'x30' LOADING AREA (AREA OUTSIDE OF DRIVE ALSE)

ARCHITECT

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OWNER / DEVELOPER

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