

## ATTACHMENT A

**THIS IS A DRAFT COPY ONLY AND IS NOT AN OFFICIAL COPY OF THE FINAL,  
ADOPTED ORDINANCE**

### ORDINANCE G-

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-1-22-6) FROM R-O (RESIDENTIAL OFFICE DISTRICT) TO C-O/G-O (COMMERCIAL OFFICE/GRNERAL OFFICE DISTRICT).

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BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 0.46 acre site located on the southeast corner of 32nd Place and Camelback Road in a portion of Section 24, Township 2 North, Range 3 East, as described more specifically in Exhibit "A", is hereby changed from "R-O" (Residential Office District) to "C-O/G-O" (Commercial Office/General Office District).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B".

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. All building elevations shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or overhang canopies, as approved by the Planning and Development Department.
2. A minimum of two bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near building entrances and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.
3. The developer shall dedicate a 10-foot-wide sidewalk easement for the south side of Camelback Road, as approved by the Planning and Development Department.
4. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
5. In the event archeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archeologist, and allow time for the Archeology Office to properly assess the materials.
6. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 6th day of April, 2022.

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MAYOR

ATTEST:

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Denise Archibald, City Clerk

APPROVED AS TO FORM:  
Cris Meyer, City Attorney

By:

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REVIEWED BY:

\_\_\_\_\_  
Jeffrey Barton, City Manager

Exhibits:

A – Legal Description (1 Page)

B – Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR Z-1-22-6

THE LAND REFERRED TO HEREIN BELOW IS SITUATED PHOENIX, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

Lot 10, of CHESTLEY VILLA, according to Book 61 of Maps, page 42; and also that portion of the abandoned alley lying East of and adjacent to Lot 10 as set forth in Resolution of Abandonment in Recording No. 88-079424 and in Re-Recording No. 88-083484 and Amended in Recording No. 88-357906, records of Maricopa County, Arizona.

PARCEL NO. 2:

That portion of Abandoned Roadway, pursuant to Resolution recorded in Recording No. 20180674912, records of Maricopa County, Arizona, described as follows:

The South 10 feet of the right-of-way for Camelback Road lying immediately North of and adjoining the North line of Lot 10, CHESTLEY VILLA, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, in Book 61 of Maps at page 42, bounded on the East by the Northerly prolongation of the East line of said Lot 10, and on the West by a curve, concave Southeasterly, having an external tangent distance of 30.12 feet, said curve being tangent to the West line of said Lot 10, and tangent to a line parallel with and 10 feet North of the North line of said Lot 10.

**APN: 170-20-010**

A PORTION OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

# ORDINANCE LOCATION MAP

EXHIBIT B

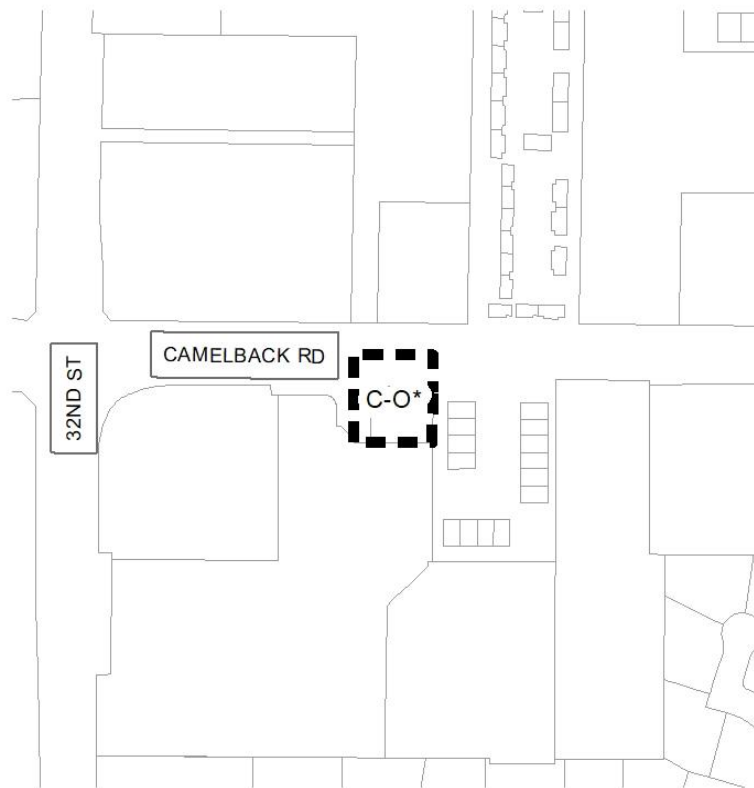
ZONING SUBJECT TO STIPULATIONS: \*

SUBJECT AREA: ■ ■ ■ ■ ■

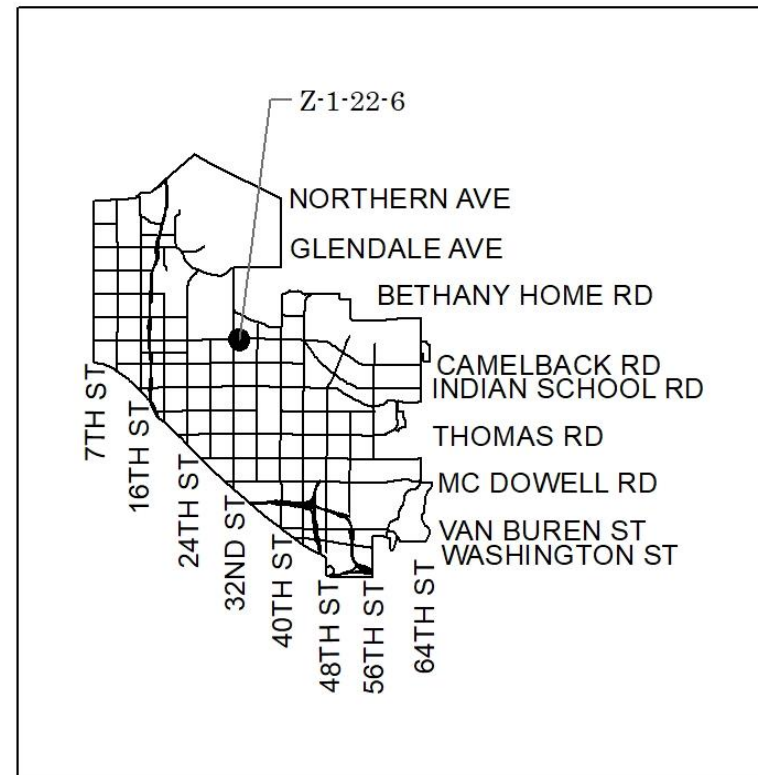
Zoning Case Number: Z-1-22-6

Zoning Overlay: N/A

Planning Village: Camelback East



0 130 260 520 Feet



NOT TO SCALE



Drawn Date: 3/2/2022