

PLEASE RESPOND ELECTRONICALLY TO BRAD WYLAM 2ND FLOOR, 602-256-3322



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned **Date:** July 14, 2022
From: Alan Stephenson
Planning & Development Department Director
Subject: **P.H.O. APPLICATION NO. PHO-5-22--Z-14-05-1** – Notice of Pending Actions
by the **Planning Hearing Officer**

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **August 17, 2022**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **July 21, 2022**.

DISTRIBUTION

Mayor's Office (Lisa Fernandez), 11th Floor
City Council (Sina Matthes, Tony Motola), 11th Floor
Aviation (Sheldon Daisley)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Aaron Conway), 2nd Floor
Light Rail (Joel Carrasco/Special TOD Only)
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Natasha Hughes), 16th Floor
Public Transit (Michael Pierce)
Street Transportation Department (Maja Brkovic, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Mailen Pankiewicz), 5th Floor
Street Transportation - Floodplain Management (Kristina Jensen, Elise Moore, Rudy Rangel), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Alan Stephenson, Joshua Bednarek), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Tricia Gomes, Adam Stranieri, Brad Wylam), 2nd Floor
Village Planner (Racelle Escolar/Sarah Stockham, Deer Valley Village)
Village Planning Committee Chair (Joseph Grossman, Deer Valley Village)



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-5-22--Z-14-05

Council District: 1

Request For: Stipulation Modification

Reason for Request: Modification of Stipulation 1 regarding general conformance with the site plans date stamped August 31, 2007 (PHO-1-07) and December 16, 2020 (PHO-3-20). Deletion of Stipulation 2 (PHO-1-07) regarding a master architectural theme. Modification of Stipulation 2 (PHO-3-20) and Stipulation 3 (PHO-1-07) regarding landscape setbacks along 7th Avenue and Misty Willow Lane. Deletion of Stipulation 5 regarding C-2 landscaping standards within parking lots (PHO-1-07). Modification of Stipulation 7 (PHO-1-07) regarding disclosure of Deer Valley Airport and Goodrich Universal Propulsion Company. Modification of Stipulation 7 (PHO-3-20) regarding right-of-way for Misty Willow Lane. Deletion of Stipulation 10 regarding a bus bay on Happy Valley Road (PHO-1-07 and PHO-3-20). Technical correction to Stipulation 4 (PHO-1-07).

Owner	Applicant	Representative
DIDSTRAW LLC, et al. 1720 Wazee Suite 1A Denver CO 80202 (303) 549-0196 jeff@readev.com	Michael S. Buschbacher II 10450 North 74th Street #200 Scottsdale AZ 85258 (480) 991-3985 mbuschbacher@hunterengineeringpc.com	Michael S. Buschbacher II 10450 North 74th Street #200 Scottsdale AZ 85258 P: (480) 991-3985 F: (480) 991-3986 mbuschbacher@hunterengineeringpc.com

Property Location: Approximately 1,000 feet south of the southeast corner of 7th Avenue and Happy Valley Road

Zoning Map: <u>O-8</u>	Quarter Section: <u>46-27</u>	APN: <u>210-16-012</u>	Acreage: <u>39.55</u>
Village: <u>Deer Valley</u>			
Last Hearing: <u>CC HEARING</u>			
Previous Opposition: <u>No</u>			
Date of Original City Council Action: <u>06/01/2005</u>			
Previous PHO Actions: <u>11/07/2007 12/17/2014 300 PM 01/20/2021 230 PM 06/16/2021 230 PM</u>			
Zoning Vested: <u>A-1 DVAO</u>			
Supplemental Map No.: <u>1117</u>			
Planning Staff: <u>CHales</u>			

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning.mailbox@phoenix.gov or visit our website at <http://phoenix.gov/pdd/licensetimes.html>.

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

Fee	Fee Waived	Fee Date	Receipt	Purpose
\$1,080.00	\$0.00	04/29/2022	22-0041542	Original Filing Fee

Signature of Applicant: _____ DATE: _____

Hearing Results

Planning Hearing Officer	Planning Commission	City Council
Date: <u>08/17/2022 1000 AM</u>	Date: _____	Date: _____
Appealed?: _____	Appealed?: _____	_____

Action: _____

Action: _____

Action: _____

**Project Narrative
For
7th Avenue Industrial Site
Phoenix Hearing Officer (PHO)
Submittal
Deer Valley – Happy Valley
1/4 Mile South of the
SEC of Happy Valley Road & 7th Avenue
Phoenix, Arizona**

PREPARED FOR:
REA Development Corporation

PREPARED BY

HUNTER ENGINEERING, INC.
10450 N. 74th STREET, SUITE 200
SCOTTSDALE, AZ 85258
(480) 991-3985

Galloway & Company, Inc.
6162 S. Willow Dr., Suite 320
Greenwood Village, CO 80111
303-770-8884

Submitted

April 29th, 2022

Revised: July 7th, 2022

H.E. PROJECT NO. READ003

April 29th, 2022
(Revised – July 7th, 2022)

City of Phoenix,
Planning and Development Department
Zoning Section
200 W Washington Street
Phoenix, Arizona 85003

**Re: Planning Hearing Officer (PHO) Submittal Project Narrative for 7th
Avenue Industrial Site, located ¼ mile south of the SEC of Happy Valley
Road and 7th Avenue**

Introduction

This project consists of portions of two tracts from the original zoning case Z-14-05. Specifically, the project includes the Central Tract and the east half of the Southern Tract, within the two APN noted in the paragraph below. This request will be further modifying the stipulations that pertain to zoning case Z-14-05 and its four previous PHO modifications. This request will be known as **PHO-5-22--Z-14-05-01**.

Site Background

This proposed industrial development is located on a total of +/- 37.32 acres south of Happy Valley Road, on the north side of W. Misty Willow Lane and the east side of N. 7th Avenue in the City of Phoenix. The north parcel is 26.01 acres and is APN 210-16-012. The south parcel is 11.31 acres and is APN 210-16-015, which is Lot 3 of "The Mint" Subdivision recorded in the Official Records of Maricopa County. The properties are currently vacant and Zoned A-1 Light Industrial District and within the Deer Valley Airport Overlay Regulatory Area 1.

The proposed project will consist of developing approximately 36 net acres with three buildings that combined would equal approximately 491,000 square feet. The buildings would be planned for Light Industrial uses. These uses would include associated truck parking, auto parking, landscape, and other on-site and off-site infrastructure improvements. Please see the draft conceptual site plan attached to this application.

Proposed Development Overview

The City of Phoenix land use designation for the property is industrial, which allows for the use of industrial developments which is appropriate for the region and the City. The property will remain Light Industrial, and no rezoning will be required for the intended use. This PHO request will combine approval letters from PHO-1-07 and PHO-3-20 to create PHO-5-22.

The developer is submitting this Site Plan to provide the unique development characteristics needed to meet the current demand for industrial warehouse and manufacturing space in the area.

Project Scope

Building 1 is proposed to be developed as a 252,000 sq. ft. industrial building on the 25-acre lot with a north/south orientation. Building 2 is proposed to be 140,000 sq. ft. with a north/south orientation. Building 3 is proposed to be 99,000 sq. ft. also with a north/south orientation. The proposed building height is 42 ft. to the top of the parapet. The parapet will screen the mechanical units on the roof from view from the adjacent roadways and properties. The building is tilt-up concrete construction with textured paint in neutral earth tone colors and architectural accents of formliner and glazing.

Parking areas are proposed on the outside perimeters of the buildings. 249 parking spaces are proposed to serve Building 1, 159 parking spaces are proposed for Building 2 and 106 parking spaces are proposed for Building 3. This meets the City Code required 1/1000 sq. ft. ratio. Landscape medians and end caps are proposed in the parking lot to break up the rows of parking.

Access to the parcels is proposed to be provided off of N. 7th Avenue at the north end of the site and off of Misty Willow Lane on the south side of the site. These access drives will allow trucks and passenger vehicles to circulate through the site.

Landscape streetscape and sidewalk improvements are proposed along the street frontage. Landscape design shall be developed to have a consistent look. The perimeter of the site shall incorporate the use of flowering desert shrubs, drought tolerant trees and groundcovers that will provide a sense of identity and be compatible with the environmental conditions of the area. Areas adjacent to the public right of way will be blended into the existing landscape edge treatment. Two connections to the adjacent canal will be provided per the zoning case stipulations for this site.

Our team has spent significant time during the past few months working on project research and determining the infrastructure requirements for the site. This written request will note the two sets of stipulations related to the Central Tract (PHO1) and the Southern Tract (PHO3). From these two list a comprehensive list of stipulations still in effect along with our proposed modifications will be prepared for this PHO-5.

Original PHO-1-07--Z-14-05 Stipulations Listing

A list of the approved stipulations from PHO 1 has been included below for reference.

STIPULATIONS

GENERAL CONFORMANCE

- 1) ~~That~~ **The** development shall be in general conformance ~~to~~ **with** the site plan date stamped ~~August 31, 2007,~~ **May 12th, 2022**, as approved or modified by the Development Services Department.
(Rationale – The site plan has changed significantly)
- 2) ~~That a master architectural theme, that unifies the landscaping and building materials for all development, shall be approved concurrent with preliminary site plan approval for the first phase of development as approved by the Development Services Department.~~ ***(Rationale – deleting to create consistency)***
- 3) An average 20-foot (minimum 10-foot) landscape setback shall be required along 7th Avenue and an average 10-foot (minimum 5-foot) landscape setback shall be required along ~~Misty Willow Lane~~ **Alameda Road** and all internal streets, as approved by the **Planning and** Development Services Department. ***(Rationale – Technical Correction -Transportation has asked us to refer to this segment of road as Alameda Road)***

TRAILS

- 4) ~~That~~ **The** applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the **Planning and** Development Services Department.

LANDSCAPING

- 5) ~~That landscaping shall be provided within parking lots per C-2 zoning district standards (Section 701.d), as approved by the Development Services Department.~~ ***(Rationale – deleting to create consistency)***

ARCHAEOLOGICAL

- 6) That the subject site has the potential to contain archeological resources. That the applicant shall submit an archeological survey for review and approval by the City Archeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

- 7) ~~That,~~ **At** such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport. ~~and Goodrich Universal Propulsion Company.~~ The form and content of such documents shall be reviewed by the City Attorney.

Additional stipulation request to add Stip 6 from PHO 3

6) The property owner shall record documents that disclose to prospective purchasers of property within the developments the nature of environmental remediation activities at the former site for the Goodrich Universal Propulsion Company. The form and contents of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney. (Rationale – This stipulation was added in PHO 3 to address Goodrich separately. It should be retained in PHO 5)

STREETS AND TRANSPORTATION**Additional stipulation request to add Stip 7 from PHO 3**

- 7) The developer shall dedicate 40 feet of right-of-way for the north half of Alameda Road, as approved by the Planning and Development Department. (Rationale – This stipulation was added in PHO 3 to address right-of-way dedication for Alameda Road. It should be retained in PHO 5)**
- 8) That right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
- 9) That a 21 foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
- ~~10) That sufficient right-of-way shall be dedicated to accommodate a bus bay on Happy Valley Road at 7th Avenue. (Rationale – This deletion is because the bus bay would be off-site)~~
- 11) That the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps,

streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.

- 12) That the applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
- 13) That the applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Original PHO-3-20--Z-14-05 Stipulations Listing

A list of the approved stipulations from PHO 3 has been included below for reference, please see the list below.

STIPULATIONS

GENERAL CONFORMANCE

- 1) The development shall be in general conformance with the site plan date stamped ~~December 16, 2020~~, **May 12th, 2022**, as approved or modified by the Planning and Development Department. ***(Rationale – The site plan has changed significantly)***
- 2) An average 20-foot (minimum 10-foot) landscape setback shall be required along 7th Avenue and an average 10-foot (minimum 5-foot) landscape setback shall be required along ~~Misty Willow Lane~~ **Alameda Road** and all internal streets, as approved by the Planning and Development Department. ***(Rationale – Technical Correction - Transportation has asked us to refer to this segment of road as Alameda Road)***

TRAILS

- 3) The applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Planning and Development Department.

ARCHAEOLOGICAL

- 4) The subject site has the potential to contain archaeological resources. The applicant shall submit an archaeological survey for review and approval by the City Archaeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

- 5) At such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport. The form and content of such documents shall be reviewed by the City Attorney.
- 6) The property owner shall record documents that disclose to prospective purchasers of property within the developments the nature of environmental remediation activities at the former site of the Goodrich Universal Propulsion Company. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

STREETS AND TRANSPORTATION

- 7) The developer shall dedicate 40 feet of right-of-way for the north half of Misty Willow Lane **Alameda Road** (~~Alameda Road alignment~~), as approved by the Planning and Development Department. **(Rationale – Technical Correction -Transportation has asked us to refer to this segment of road as Alameda Road)**
- 8) Right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
- 9) A 21-foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
- ~~10) Sufficient right-of-way shall be dedicated to accommodate a bus bay on Happy Valley Road at 7th Avenue. **(Rationale – This deletion is because the bus bay would be off-site)**~~
- 11) The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
- 12) The applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
- 13) The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement

Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Proposed PHO-5- --Z-14-05 Stipulations Listing with Modifications

A list of the proposed stipulation modification from PHO 1 & PHO 3 has been included below for reference, please see the list below.

STIPULATIONS**GENERAL CONFORMANCE**

- 1) The development shall be in general conformance with the site plan date stamped May 12th, 2022, as approved or modified by the Planning and Development Department.
- 2) An average 20-foot (minimum 10-foot) landscape setback shall be required along 7th Avenue and an average 10-foot (minimum 5-foot) landscape setback shall be required along Alameda Road and all internal streets, as approved by the Planning and Development Department.

TRAILS

- 3) The applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Planning and Development Department.

ARCHAEOLOGICAL

- 4) The subject site has the potential to contain archaeological resources. The applicant shall submit an archaeological survey for review and approval by the City Archaeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

- 5) At such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport. The form and content of such documents shall be reviewed by the City Attorney.
- 6) The property owner shall record documents that disclose to prospective purchasers of property within the developments the

nature of environmental remediation activities at the former site of the Goodrich Universal Propulsion Company. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

STREETS AND TRANSPORTATION

- 7) The developer shall dedicate 40 feet of right-of-way for the north half of Alameda Road, as approved by the Planning and Development Department.
- 8) Right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
- 9) A 21-foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
- 11) The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
- 12) The applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
- 13) The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Requested Stipulation Modifications

The revised stipulations above are no longer relevant to the site with our proposal, update language per comments from transportation, or are requested to be modified to provide entitlements typically requested for A-1 Light Industrial zoning project in accordance with today's market demands. We appreciate your consideration of our request.

Thank you,

Michael S. Buschbacher

Michael S. Buschbacher II, AICP
Principal Planner



**PHO-1-07--Z-14-05-1
APPROVAL LETTER**

City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

November 19, 2007
(Revised – October 8, 2014)

David Cisiewski
Law Office of David Cisiewski
11811 North Tatum Boulevard, Suite #1051
Phoenix, AZ 85028

Dear Applicant:

REVISED: RE: Z-14-05-1 – Southeast corner of 7th Avenue and Happy Valley Road

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.1 of the Zoning Ordinance, has on November 7, 2007, concurred with the recommendation of the Planning Hearing Officer and has ratified application Z-14-05-1 for modification of stipulation 1 regarding general conformance to the site plan, deletion of stipulation 2 regarding general conformance to the elevations, modification of stipulation 4 regarding the utilization of Commerce Park development standards.

STIPULATIONS

GENERAL CONFORMANCE

1. That development shall be in general conformance to the site plan date stamped August 31, 2007, as approved or modified by the Development Services Department.
2. That a master architectural theme, that unifies the landscaping and building materials for all development, shall be approved concurrent with preliminary site plan approval for the first phase of development as approved by the Development Services Department.
3. That an average 20-foot (minimum 10-foot) landscape setback shall be provided along 7th Avenue and Misty Willow Lane and an average 10-foot (minimum 5-foot) landscape setback shall be provided along all internal streets, as approved by the Development Services Department.

TRAILS

- TC
4. That the applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Development Services Department.

LANDSCAPING

5. That landscaping shall be provided within parking lots per C-2 zoning district standards (Section 701.d), as approved by the Development Services Department.

ARCHEOLOGICAL

6. That the subject site has the potential to contain archeological resources. That the applicant shall submit an archeological survey for review and approval by the City Archeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

7. That, at such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport and Goodrich-Universal Propulsion Company. The form and content of such documents shall be reviewed by the City Attorney.

STREETS AND TRANSPORTATION

8. That right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
9. That a 21 foot by 21 foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
10. That sufficient right-of-way shall be dedicated to accommodate a bus-bay on Happy Valley Road at 7th Avenue.
11. That the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
12. That the applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
13. That the applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Sincerely,



Alan Stephenson
Planning & Development Director

c: Book, Case File
HV & Canal, LLC 11811 North Tatum Boulevard #1051, Phoenix, AZ 85028
Sent electronically: Sandra Hoffman - P&D Planning, Penny Parrella - City Council, Adam Stranieri - P&D Planning, Greg Gonzales - NSD



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

PHO-3-20--Z-14-05-1
APPROVAL LETTER

January 28, 2021

Happy Valley II, LLC
11811 North Tatum Boulevard, Suite 1051
Phoenix, AZ 85028

RE: PHO-3-20—Z-14-05-1 – Approximately 633 feet east of the northeast corner of 7th Avenue and Misty Willow Lane

Dear Applicant:

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506 of the Zoning Ordinance, has on January 20, 2021, considered a request for 1) Modification of Stipulation 1 regarding general conformance to the site plan date stamped August 31, 2007. 2) Deletion of Stipulation 2 regarding a master architectural theme. 3) Modification of Stipulation 3 regarding landscape setbacks along 7th Avenue, Misty Willow Lane, and internal streets. 4) Deletion of Stipulation 5 regarding parking lot landscaping. 5) Modification of Stipulation 7 regarding recording documents that disclose the existence and characteristics of Goodrich-Universal Propulsion Company. 6) Technical correction to Stipulation 4.

The City Council ratified application PHO-3-20--Z-14-05-1 as recommended by the Planning Hearing Officer for approval.

Stipulations:

GENERAL CONFORMANCE

- 1 The development shall be in general conformance with the site plan date stamped December 16, 2020, as approved or modified by the Planning and Development Department.
- 2 An average 20-foot (minimum 10-foot) landscape setback shall be required along 7th Avenue and an average 10-foot (minimum 5-foot) landscape setback shall be required along Misty Willow Lane and all internal streets, as approved by the Planning and Development Department.

TRAILS

3. The applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Planning and Development Department.

ARCHAEOLOGICAL

4. The subject site has the potential to contain archaeological resources. The applicant shall submit an archaeological survey for review and approval by the City Archaeologist (602) 495-0901 prior to preliminary approval.

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5. At such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport. The form and content of such documents shall be reviewed by the City Attorney.
6. The property owner shall record documents that disclose to prospective purchasers of property within the developments the nature of environmental remediation activities at the former site of the Goodrich Universal Propulsion Company. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

STREETS AND TRANSPORTATION

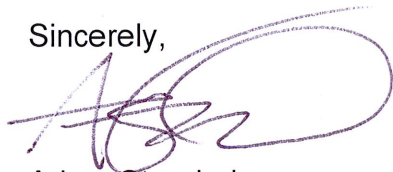
7. The developer shall dedicate 40 feet of right-of-way for the north half of Misty Willow Lane (Alameda Road alignment), as approved by the Planning and Development Department.
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9. A 21-foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
10. Sufficient right-of-way shall be dedicated to accommodate a bus-bay on Happy Valley Road at 7th Avenue.

January 28, 2021

Page 3

11. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
12. The applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
13. The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Sincerely,

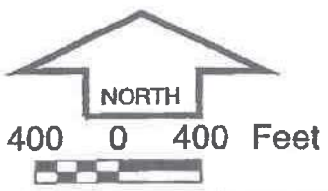
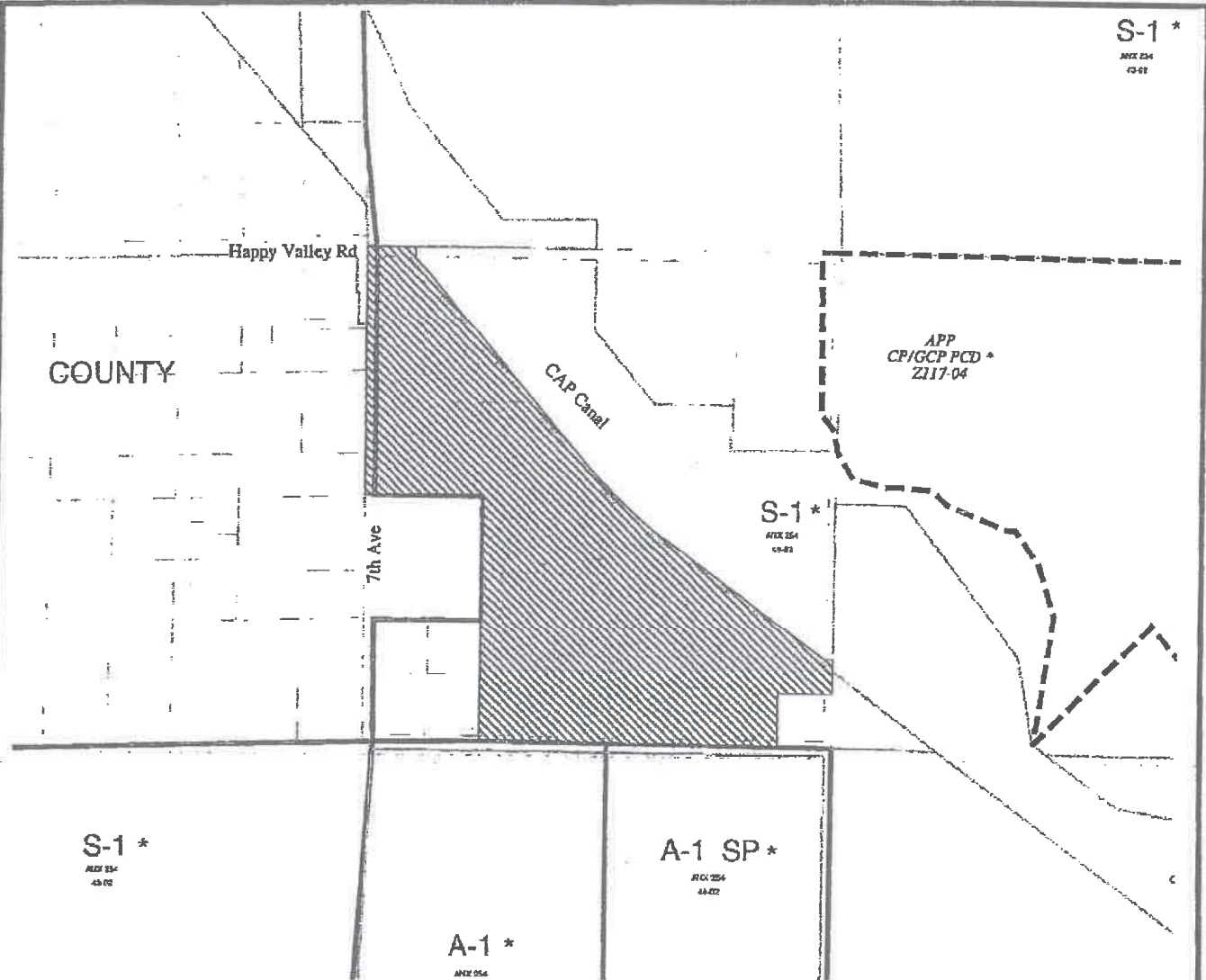


Adam Stranieri
Planner III

c: Law Office of David Cisiewski, PLLC
11811 North Tatum Boulevard, Suite 1051
Phoenix, AZ 85028

Julianna Pierre, PDD–Planning (Electronically)
Joshua Bednarek, PDD–Development (Electronically)
Greg Gonzales, NSD (Electronically)
Matthew Heil, City Council (Electronically)
Book
Case File

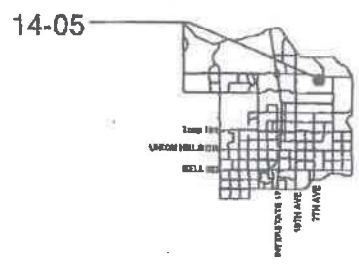
S-1 *
APX 254
 03-02



CITY OF PHOENIX PLANNING DEPARTMENT

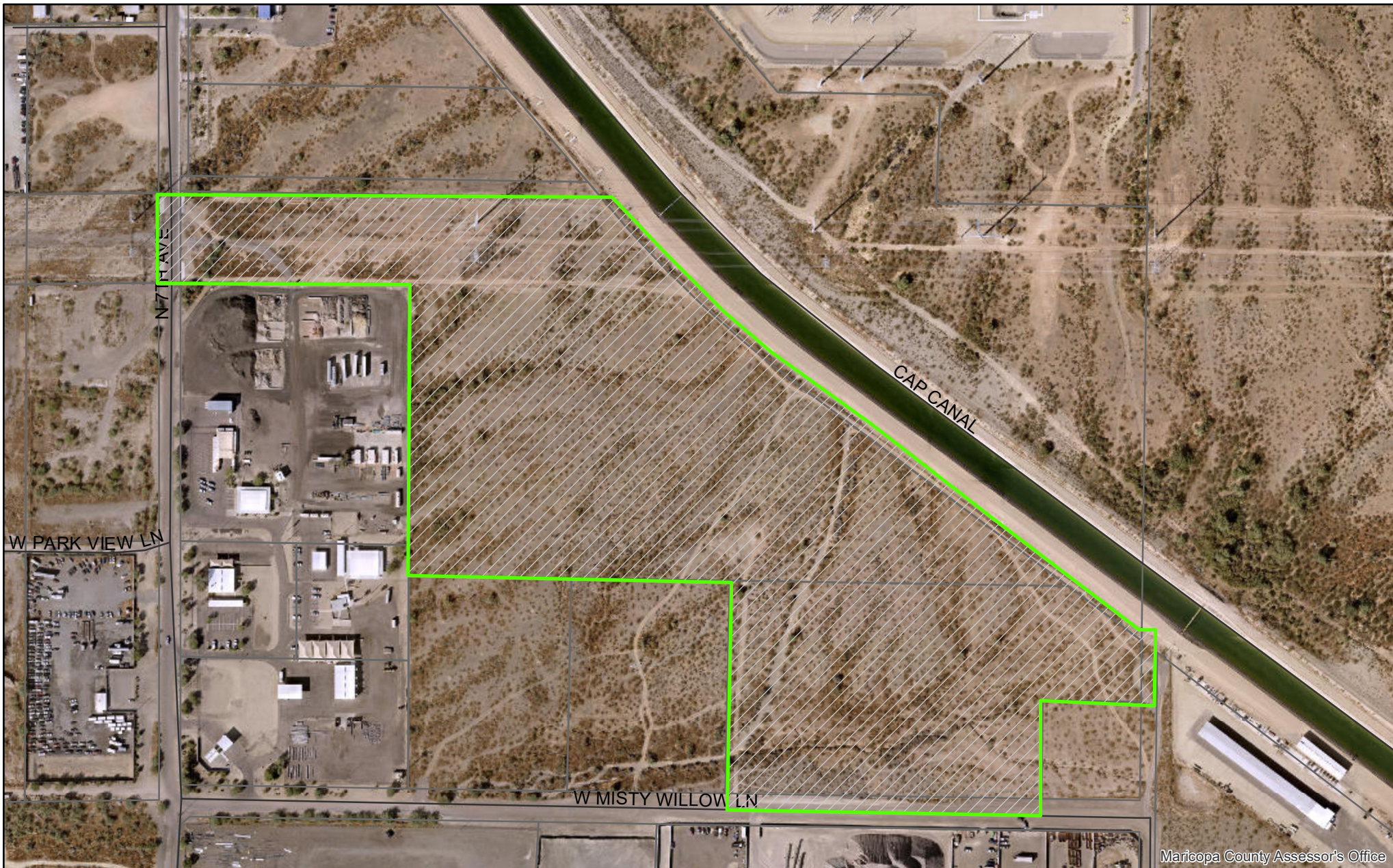
Deer Valley Village

CITY COUNCIL DISTRICT: 1



APPLICANT'S NAME: D. Precott/Earl, Curley & Lagarde		REQUESTED CHANGE:	
APPLICATION NO. 14-05	DATE: 2-7-2006 <small>REVISION DATES:</small>	FROM: S-1	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 67.54 Acres	AERIAL PHOTO & QUARTER SEC. NO. Q46-27	ZONING MAP O8	TO: A-1
MULTIPLES PERMITTED	CONVENTIONAL OPTION	* UNITS P.R.D. OPTION	

* Maximum Units Allowed with P.R.D. Bonus



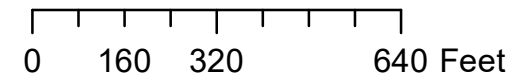
Maricopa County Assessor's Office

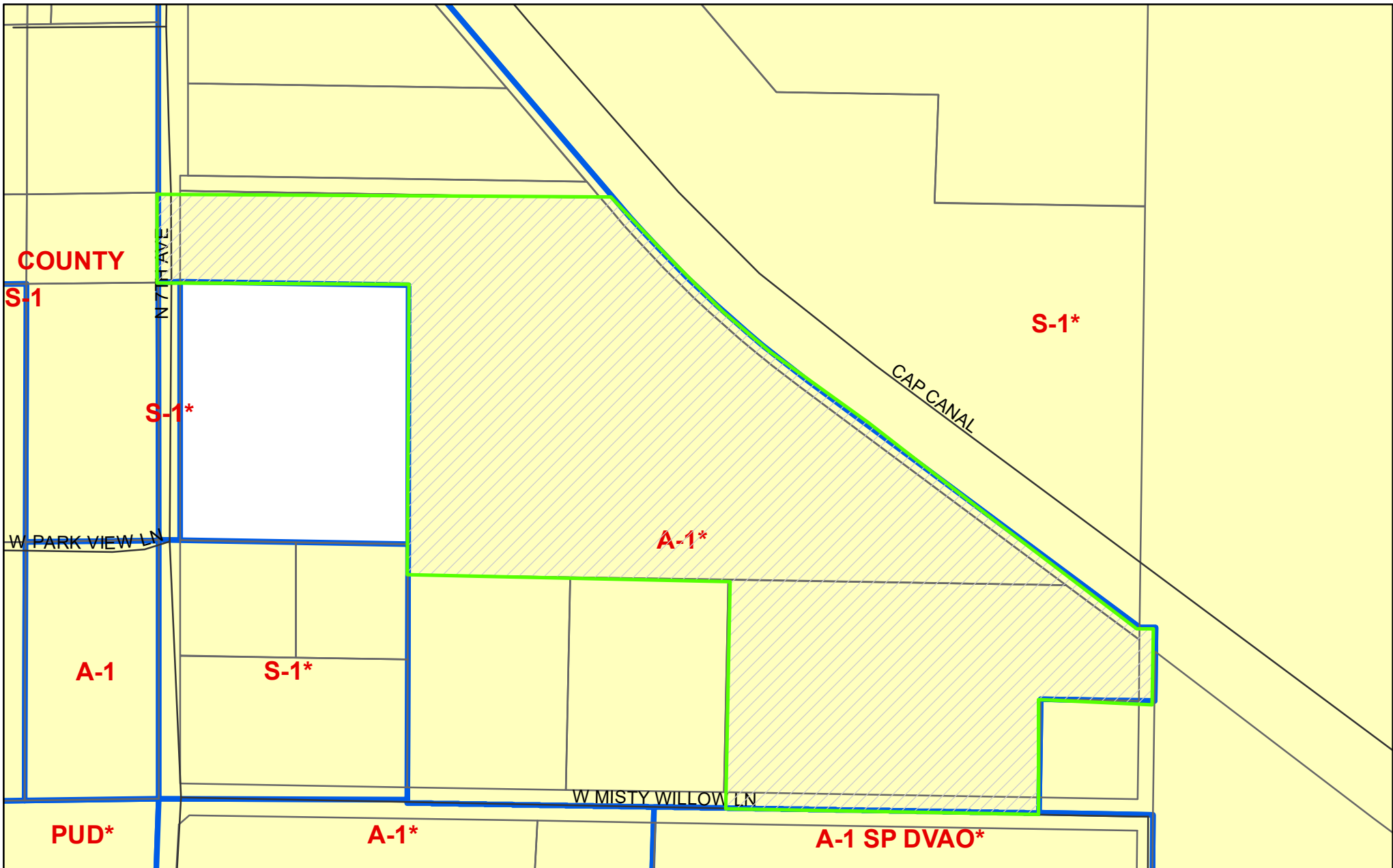
PHO-5-22--Z-14-05-1

Property Location: Approximately 1,000 feet south of the southeast corner of 7th Avenue and Happy Valley Road



Planning & Development Department





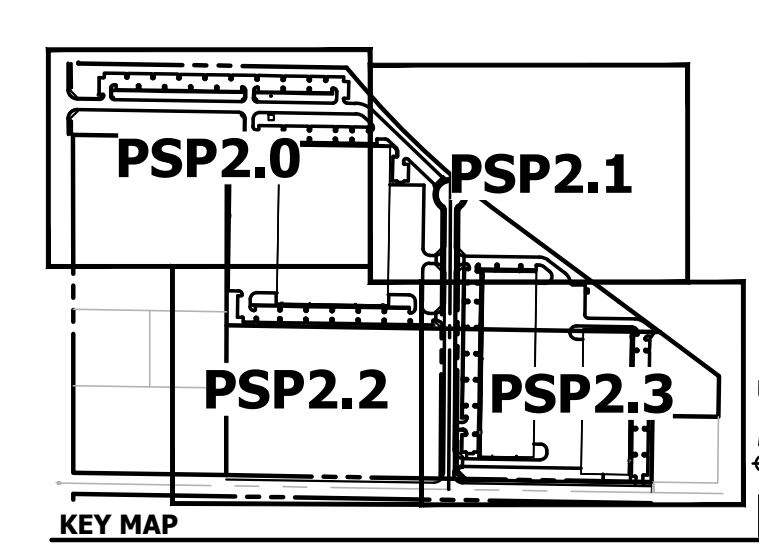
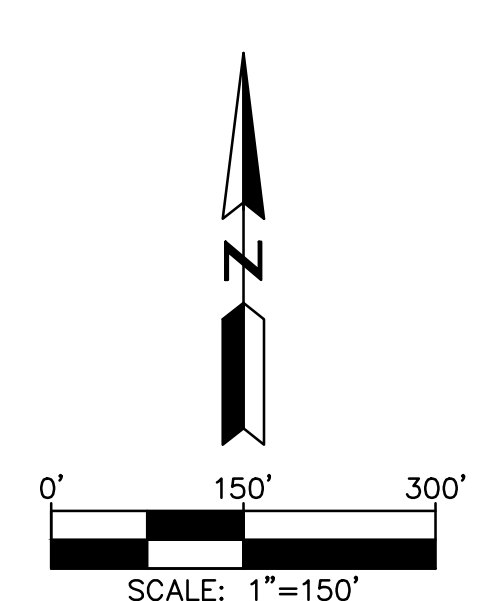
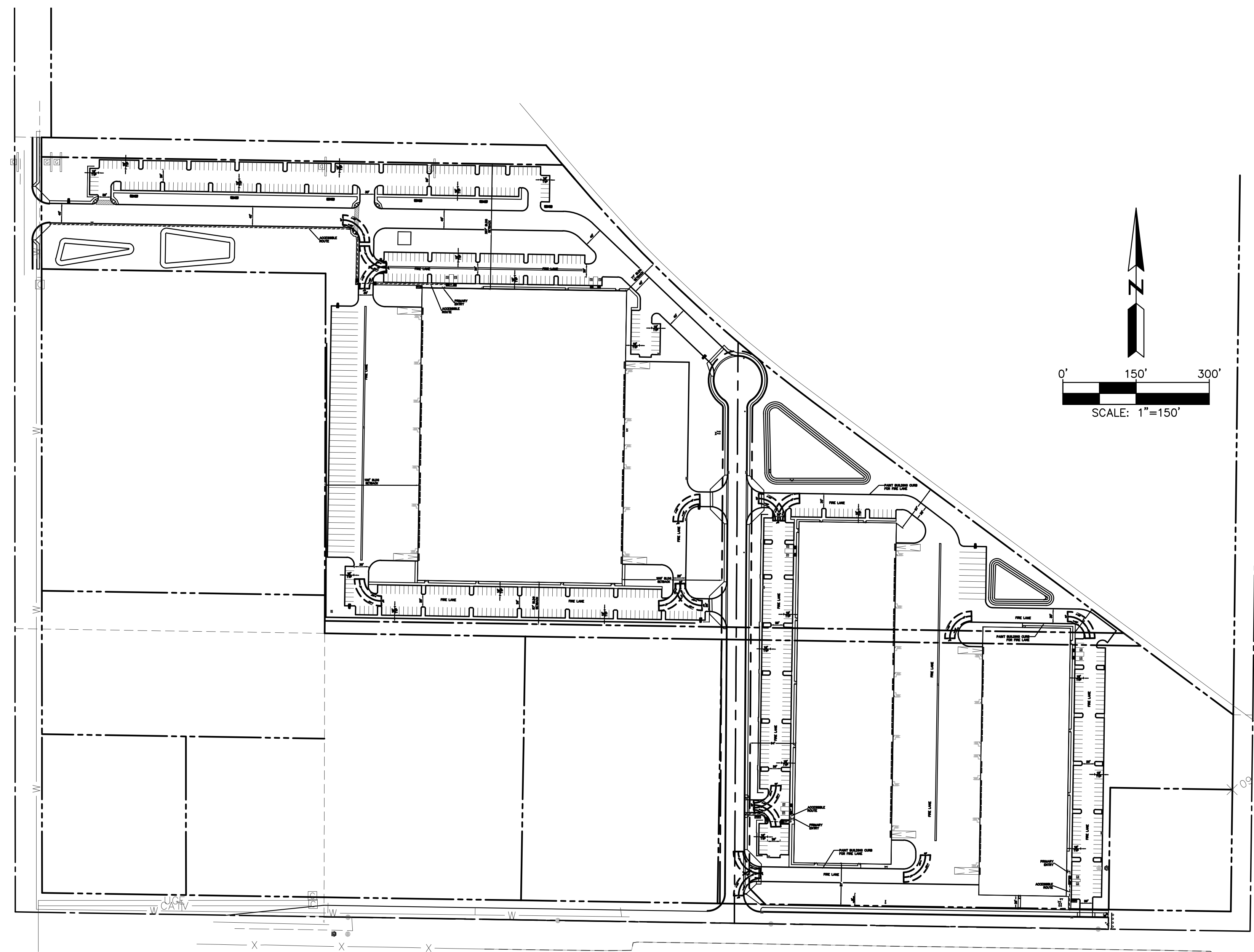
PHO-5-22--Z-14-05-1

Property Location: Approximately 1,000 feet south of the southeast corner of 7th Avenue and Happy Valley Road

PRELIMINARY COVER SHEET FOR 7TH AVENUE INDUSTRIAL HAPPY VALLEY ROAD & 7TH AVENUE PHOENIX, ARIZONA 85027

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AND LOT 3, OF THE FINAL PLAT "THE MINT," ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA RECORDED IN BOOK 1589 OF MAPS, PAGE 20, OF OFFICIAL RECORDS, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 8 MARKED BY A BRASS CAP IN A HANDHOLE, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION 8 MARKED BY A BRASS CAP IN A HANDHOLE STAMPED "MDO T4N/R3E S7/8 LS 33307," BEARS SOUTH 00°02'52" EAST, A DISTANCE OF 2635.53 FEET; THENCE SOUTH 00°02'52" EAST ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1047.71 FEET; THENCE SOUTH 89°06'38" EAST, A DISTANCE OF 55.01 FEET TO A POINT ON A LINE PARALLEL WITH AND 55.00 FEET EAST OF SAID WEST LINE, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 89°06'38" EAST, FOR A DISTANCE OF 1034.11 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF THE CENTRAL ARIZONA PROJECT CANAL; THE FOLLOWING THREE COURSES ARE ALONG SAID WEST RIGHT OF WAY LINE: THENCE SOUTH 40°25'56" EAST, FOR A DISTANCE OF 90.90 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2987.40 FEET, A CHORD BEARING OF SOUTH 46°54'56" EAST, FOR A CHORD DISTANCE OF 668.65 FEET; THENCE SOUTHEASTERLY, ALONG SAID NON-TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 12°51'04", AN ARC LENGTH OF 670.06 FEET TO A NON-TANGENT POINT; THENCE SOUTH 53°19'56" EAST, FOR A DISTANCE OF 1073.53 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF CENTRAL AVENUE AS RECORDED IN THE FINAL PLAT OF "THE MINT" IN BOOK 1598 OF MAPS, PAGE 20, OF OFFICIAL RECORDS, MARICOPA COUNTY, ARIZONA, SAID POINT ALSO BEING THE NORTHEAST CORNER OF LOT 3 OF SAID FINAL PLAT; THE FOLLOWING FIVE COURSES ARE ALONG THE BOUNDARY LINES OF SAID LOT 3: THENCE SOUTH 00°42'25" WEST, FOR A DISTANCE OF 153.43 FEET; THENCE NORTH 89°05'08" WEST, FOR A DISTANCE OF 250.33 FEET; THENCE SOUTH 00°43'43" WEST, FOR A DISTANCE OF 249.67 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF MISTY WILLOW LANE AS RECORDED IN SAID FINAL PLAT; THENCE NORTH 89°06'03" WEST, ALONG SAID RIGHT OF WAY LINE, FOR A DISTANCE OF 801.66 FEET; THENCE NORTH 00°54'16" EAST, FOR A DISTANCE OF 541.02 FEET; THENCE DEPARTING SAID LOT 3, NORTH 89°08'34" WEST, FOR A DISTANCE OF 402.59 FEET; THENCE NORTH 89°06'38" WEST, FOR A DISTANCE OF 411.05 FEET; THENCE NORTH 00°08'49" EAST, FOR A DISTANCE OF 737.45 FEET; THENCE NORTH 89°06'29" WEST, FOR A DISTANCE OF 582.19 FEET TO A POINT ON A LINE PARALLEL WITH AND 55.00 FEET EAST OF SAID WEST LINE; THENCE NORTH 00°02'52" WEST, ALONG SAID PARALLEL LINE, FOR A DISTANCE OF 269.69 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1,406,645 SQUARE FEET, OR 38.288 ACRES, MORE OR LESS.



OWNER/ DEVELOPER
REA DEVELOPMENT CORPORATION
 1720 WAZEE STREET, SUITE 1A
 DENVER, COLORADO
 CONTACT: MR. JEFF OBERG
 PHONE: -
 EMAIL: JEFF@READEV.COM

CIVIL ENGINEER
HUNTER ENGINEERING, INC.
 10450 N. 74TH STREET, SUITE #200
 SCOTTSDALE, ARIZONA 85258
 CONTACT: LARRY TALBOTT, PE
 PHONE: (720) 868-5068
 EMAIL: LTALBOTT@HUNTERENGINEERINGPC.COM

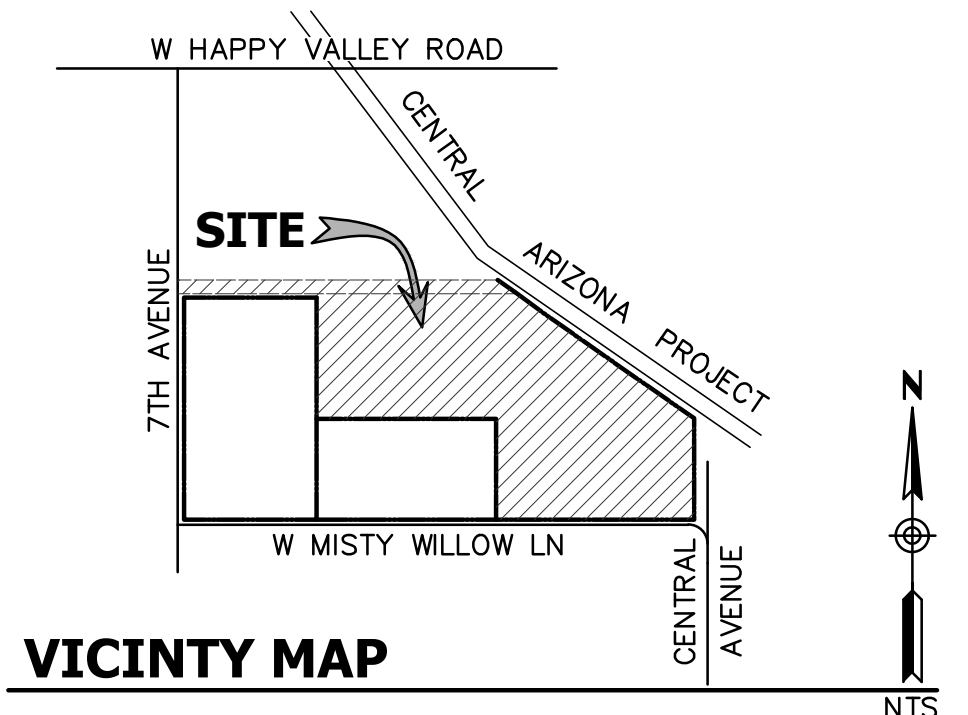
ARCHITECT
GALLOWAY
 6162 S. WILLOW DRIVE #320
 GREENWOOD VILLAGE, COLORADO 80111
 CONTACT: LISA METZGER, AIA, NEARB
 PHONE: (303) 770-8884
 EMAIL: LISAMETZGDL@GALLOWAY.US.COM

- SITE PLAN NOTES**
- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
 - ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
 - DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
 - STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33'X33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
 - STRUCTURES AND LANDSCAPING AT 'T'-TYPE INTERSECTIONS OF PUBLIC AND/OR PRIVATE STREETS WITHIN A TRIANGLE MEASURING 33' ALONG THE THROUGH STREET AND 15' ALONG THE TERMINATING STREET BOUNDARY LINES, WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
 - STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
 - OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY, OR A PROPERTY OWNER'S ASSOCIATION, WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
 - ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
 - ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
 - ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
 - BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
 - THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
 - REPLACE UNUSED DRIVEWAYS WITH CURB, GUTTER AND SIDEWALK BUILT TO CITY STANDARDS. ALSO, REPLACE ANY BROKEN OR OUT-OF-GRADE CURB, GUTTER, SIDEWALK, AND RAMPS ON ALL STREETS ON THE PROJECT SITE AND IN THE ROW ADJACENT TO THE SITE AND UPGRADE ALL OFF-SITE IMPROVEMENTS TO BE IN COMPLIANCE WITH CURRENT ADA GUIDELINES. ALSO, REPLACE ANY CURB, GUTTER OR SIDEWALK DAMAGED DURING CONSTRUCTION.
 - GATES ARE TO REMAIN OPEN, OR ARE TO OPEN AUTOMATICALLY BETWEEN HOURS OF 8AM - 5PM.
 - REQUIRED SETBACKS ADJACENT TO A STREET SHALL BE LANDSCAPED.

SHEET INDEX

	CIVIL SHEET
PRELIMINARY COVER SHEET	PSP1.0
PRELIMINARY SITE PLAN	PSP2.0 - PSP2.3
SITE PLAN DETAILS	PSP3.0

- KEYNOTES**
- | | |
|---|------------------------------------|
| 1 PROPERTY LINE | 19 NOT USED |
| 2 CONCRETE CURB | 20 SITE LIGHTING (SEE PHOTOMETRIC) |
| 3 CONCRETE SIDEWALK, MEDIUM BROOM FINISH (NATURAL GRAY COLOR) | 21 TRANSFORMER PAD (TBD) |
| 4 EASEMENT | 22 GENERATOR (TBD) |
| 5 PUE | |
| 6 ROW | |
| 7 RETENTION BASIN | |
| 8 SES CABINETS | |
| 9 RIP-RAP DRAINAGE | |
| 10 ACCESSIBLE ROUTE | |
| 11 ACCESSIBLE PARKING | |
| 12 FIRE HYDRANT | |
| 13 ASPHALT PAVEMENT | |
| 14 LANDSCAPE AREA | |
| 15 NOT USED | |
| 16 NOT USED | |
| 17 TRASH COMPACTOR | |
| 18 CONCRETE PAVEMENT | |



VICINITY MAP
PROJECT DESCRIPTION
 MULTIPLE DISTRIBUTION BUILDINGS WITH AUTOMOBILE PARKING, VAN PARKING, UNDERGROUND UTILITIES, STORMWATER FACILITIES AND ASSOCIATED LANDSCAPING.

BENCHMARK INFORMATION
 NORTHEAST CORNER INTERSECTION OF PINNACLE PEAK & 19TH AVENUE. NORTHWEST CORNER WAYNE BARNES CONSTRUCTION INC. PLATE IN SIDEWALK.
 ELEV=1440.17 (C.O.P. DATUM) (NAVD 29)

BASIS OF BEARING
 THE BASIS OF BEARING IS THE MONUMENT LINE OF 7TH AVENUE, ALSO BEING THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 8, USING A BEARING OF SOUTH 00 DEGREES 01 MINUTE 44 SECONDS EAST, PER MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY RECORDED IN BOOK 704 OF MAPS, PAGE 32, RECORDS OF MARICOPA COUNTY, ARIZONA.

SITE LAYOUT SUMMARY

PARCEL NUMBER'S: 210-16-012 & 210-16-015

EXIST ZONING:	A-1
PROP ZONING(WITH FULL VESTING):	A-1
GENERAL PLAN LAND USE DESIGNATION:	INDUSTRIAL
SUBDIVISION:	7TH AVE & PINNACLE PEAK ROAD PUBLIC

UTILITIES:
 SITE ACREAGE:
 GROSS 1,628,500 SF= 37.38 AC
 NET 1,551,651 SF= 35.62 AC

LOT COVERAGE: (PER A-1 ZONING DISTRICT)
 REQUIRED MAXIMUM: 50%
 PROPOSED: 30.15%
 BASED ON GROSS SITE: 1,628,500 SF

BUILDING: (BUILDING HEIGHT ALLOWED PER A-1 IS 56')
 WAREHOUSE A 252,000 SF HEIGHT: 42'
 WAREHOUSE B 140,000 SF HEIGHT: 42'
 WAREHOUSE C 99,000 SF HEIGHT: 42'

TOTAL 491,000 SF

BUILDING SETBACKS: (REQUIREMENTS PER SECTION 701.D.3)

	REQUIRED	PROVIDED
PERIMETER LOT LINE AT STREET	25'-0"	205',94',26"
NOT ON A STREET	25'-0"	297',97',57"
FROM INTERIOR LOT LINE	20'-0"	87',NA,NA

LANDSCAPE SETBACK:
 STREET FRONTAGE 30'AVG/25'MIN 30'AVG/25'MIN
 ALL OTHER SIDES 0' 0'

TOTAL LANDSCAPE AREA REQUIRED: 10% (162,850 SF)
 TOTAL LANDSCAPE AREA PROVIDED: 25.74% (469,556 SF)

PARKING DATA (UNDER 150K SF RATIO: 1/1000)

	REQUIRED	PROVIDED
STANDARD AUTO PARKING STALLS		
WAREHOUSE A	252	241*
WAREHOUSE B	140	148
WAREHOUSE C	99	102
ACCESSIBLE AUTO PARKING STALLS	REQUIRED	PROVIDED
WAREHOUSE A	4	4
WAREHOUSE B	4	4
WAREHOUSE C	3	3
TOTAL CAR PARKING STALLS	502	502
* OVERFLOW PARKING LOT STALLS PROVIDED:	185	
TOTAL OVERALL SITE CAR PARKING STALLS:		687

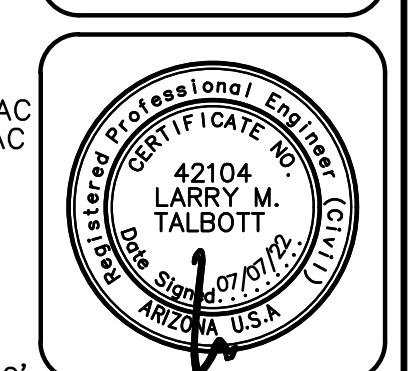
CITY OF PHOENIX
 JUL 07 2022
 Planning & Development
 Department

NO.	DATE	REVISION	BY

PURPOSE:
CONCEPTUAL SUBMITTAL

DESIGN BY: LT
 DRAWN BY: DC
 CHECKED BY: LT

HUNTER ENGINEERING
 CIVIL AND SURVEY
 10450 NORTH 74TH STREET, SUITE 200
 SCOTTSDALE, AZ 85258
 T 480 991 3985
 F 480 991 3986



PRELIMINARY COVER SHEET FOR HAPPY VALLEY HAPPY VALLEY RD AND 7TH AVE PHOENIX, ARIZONA

CONTACT ARIZONA 811 AT LEAST 7 FULL BUSINESS DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
 CALL 811 OR CLICK ARIZONA811.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME:
 HAPPY VALLEY

HE NO.: READ003
 SCALE: 40'-0"

SHEET:
PSP1.0

N 7TH AVENUE

APN: 210-16-011
HAPPY VALLEY II,LLC
(NOT A PART)

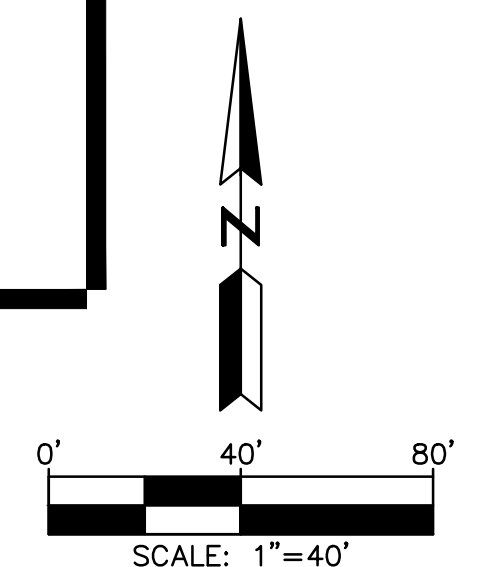
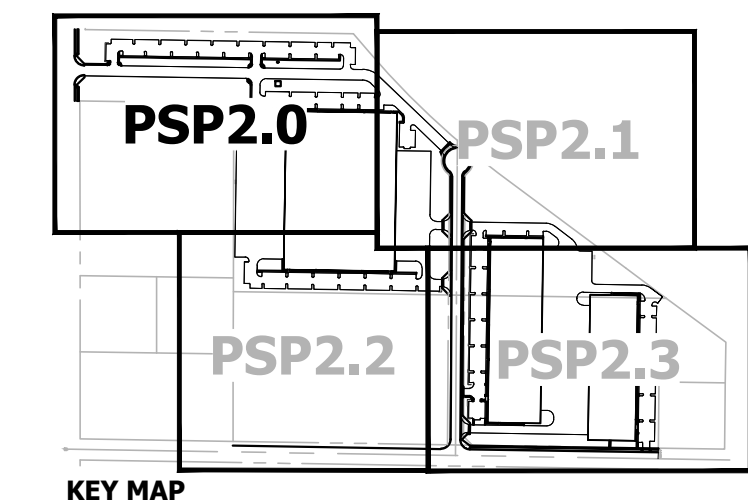
APN: 210-16-011
HAPPY VALLEY II,LLC
(NOT A PART)

APN: 210-16-001D
ARIZONA DEPT OF
TRANSPORTATION
(NOT A PART)

KEYNOTES

- | | |
|---|-----------------------------------|
| ① PROPERTY LINE | ⑭ LANDSCAPE AREA |
| ② CONCRETE CURB | ⑮ NOT USED |
| ③ CONCRETE SIDEWALK,
MEDIUM BROOM FINISH
(NATURAL GRAY COLOR)
EASEMENT | ⑯ NOT USED |
| ④ PUE | ⑰ TRASH COMPACTOR |
| ⑤ ROW | ⑱ CONCRETE PAVEMENT |
| ⑥ RETENTION BASIN | ⑲ NOT USED |
| ⑦ SES CABINETS | ⑳ SITE LIGHTING (SEE PHOTOMETRIC) |
| ⑧ RIP-RAP DRAINAGE | ㉑ TRANSFORMER PAD (TBD) |
| ⑨ ACCESSIBLE ROUTE | ㉒ GENERATOR (TBD) |
| ⑩ ACCESSIBLE PARKING | |
| ⑪ FIRE HYDRANT | |
| ⑫ ASPHALT PAVEMENT | |

BUILDING 1
252,000 SF
SINGLE STORY



MATCH LINE SEE SHEET PSP2.2

MATCH LINE SEE SHEET PSP2.1

CITY OF PHOENIX

JUL 07 2022

Planning & Development
Department

NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: DC
CHECKED BY: LT

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



**PRELIMINARY SITE PLAN
FOR
HAPPY VALLEY
HAPPY VALLEY RD AND 7TH AVE
PHOENIX, ARIZONA**

CONTRACT ARIZONA 811 AT LEAST 2 FULL
WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
CALL 811 OR VISIT ARIZONA811.COM

THESE PLANS ARE
NOT APPROVED FOR
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FROM THE GOVERNING
MUNICIPALITY.

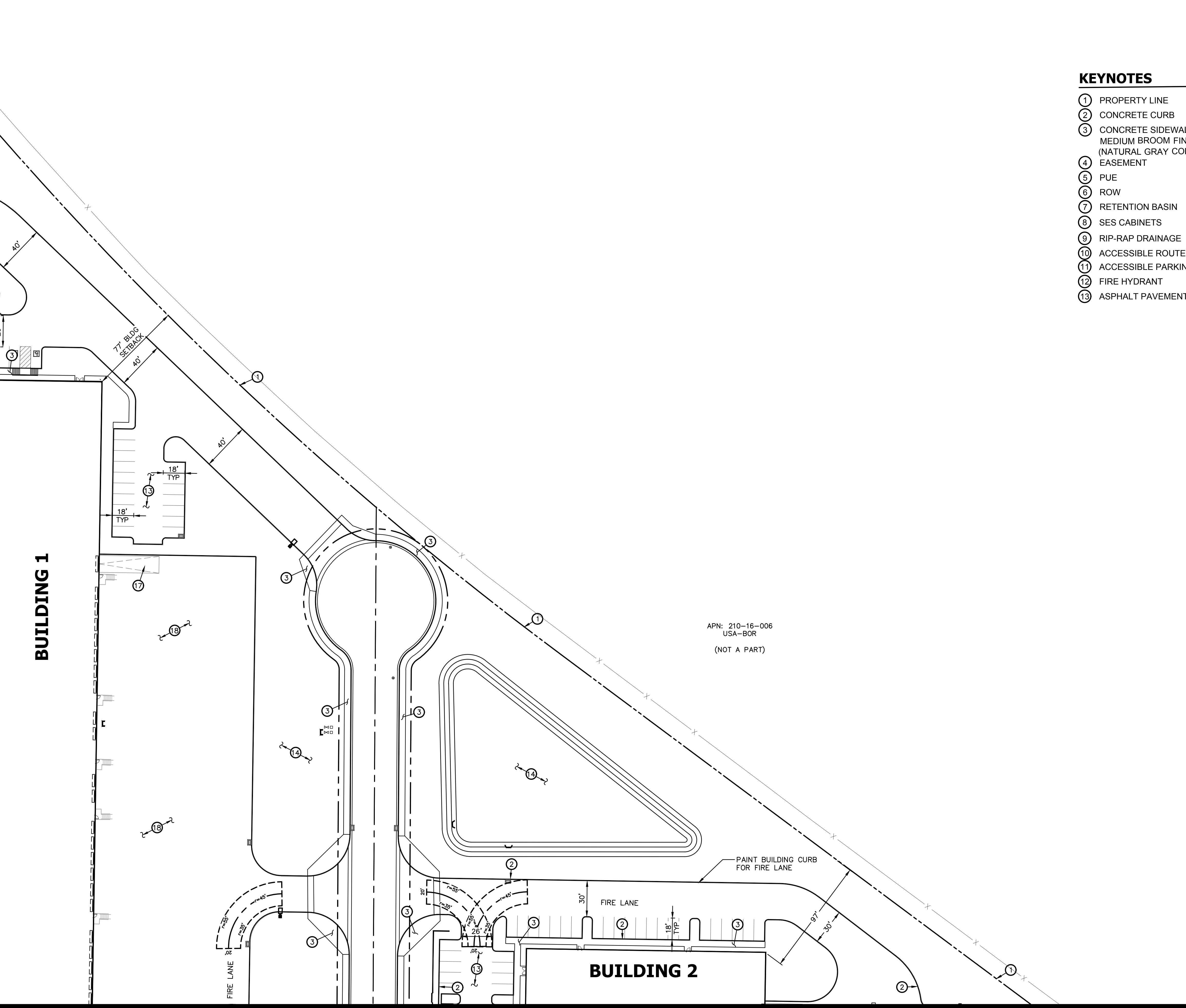
PROJECT NAME:
HAPPY
VALLEY

HE NO.: READ003
SCALE: 1"=40'

SHEET:
PSP2.0

MATCHLINE SEE SHEET PSP2.0

BUILDING 1



MATCH LINE SEE SHEET PSP2.2

MATCH LINE SEE SHEET PSP2.3

KEYNOTES

- ① PROPERTY LINE
- ② CONCRETE CURB
- ③ CONCRETE SIDEWALK, MEDIUM BROOM FINISH (NATURAL GRAY COLOR)
- ④ EASEMENT
- ⑤ PUE
- ⑥ ROW
- ⑦ RETENTION BASIN
- ⑧ SES CABINETS
- ⑨ RIP-RAP DRAINAGE
- ⑩ ACCESSIBLE ROUTE
- ⑪ ACCESSIBLE PARKING
- ⑫ FIRE HYDRANT
- ⑬ ASPHALT PAVEMENT
- ⑭ LANDSCAPE AREA
- ⑮ NOT USED
- ⑯ NOT USED
- ⑰ TRASH COMPACTOR
- ⑱ CONCRETE PAVEMENT
- ⑲ NOT USED
- ⑳ SITE LIGHTING (SEE PHOTOMETRIC)
- ㉑ TRANSFORMER PAD(TBD)
- ㉒ GENERATOR (TBD)

NO.	DATE	REVISION	BY

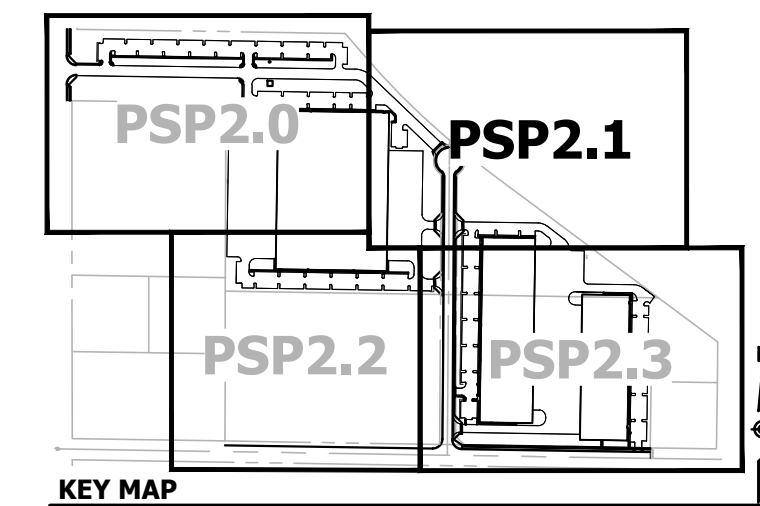
DESIGN BY: LT
 DRAWN BY: DC
 CHECKED BY: LT

HUNTER
 ENGINEERING
 10450 NORTH 74TH STREET,
 SUITE 200
 SCOTTSDALE, AZ 85258
 T 480 991 3985
 F 480 991 3986

CIVIL AND SURVEY



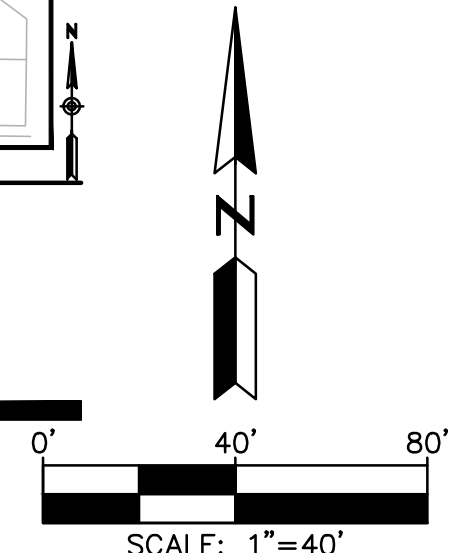
PRELIMINARY SITE PLAN FOR HAPPY VALLEY HAPPY VALLEY RD AND 7TH AVE PHOENIX, ARIZONA



CITY OF PHOENIX

JUL 07 2022

Planning & Development Department



CONTACT ARIZONA 811 AT LEAST 2 FULL BUSINESS DAYS BEFORE YOU BEGIN EXCAVATION.
 ARIZONA811
 CALL 811 OR CLICK ARIZONA811.COM

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PROJECT NAME: HAPPY VALLEY

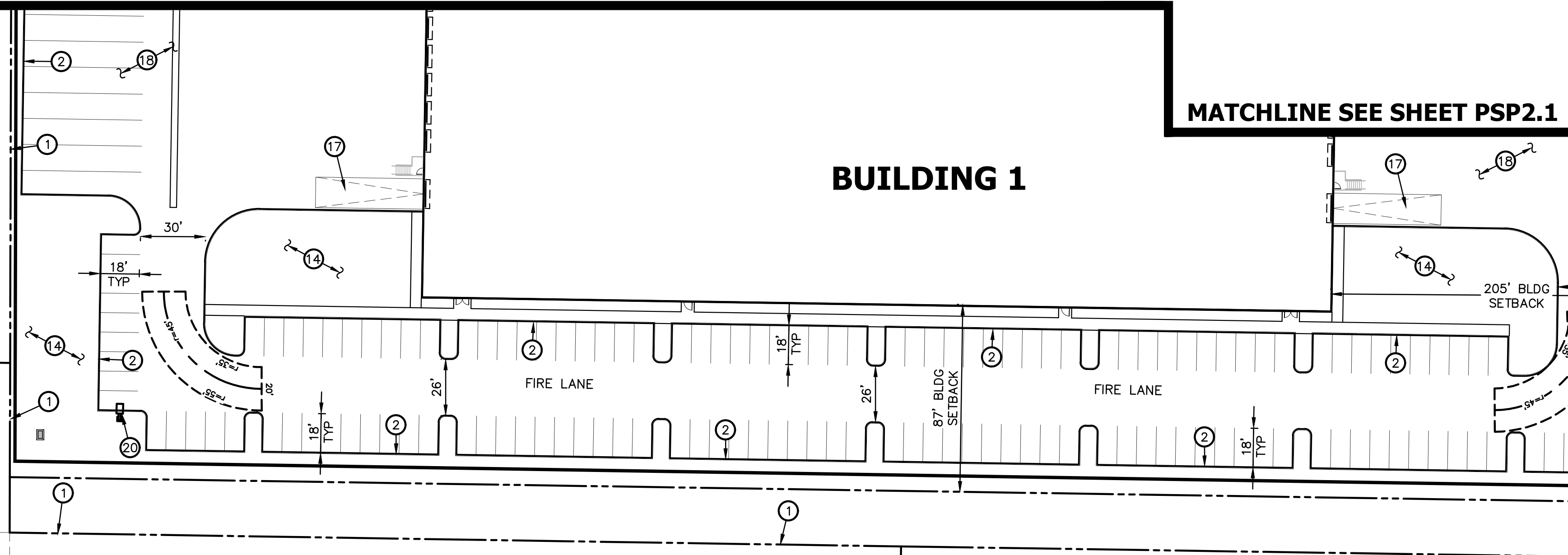
HE NO.: READ003
 SCALE: 1"=40'

SHEET: **PSP2.1**

MATCHLINE SEE SHEET PSP2.0

MATCHLINE SEE SHEET PSP2.1

BUILDING 1



KEYNOTES

- ① PROPERTY LINE
- ② CONCRETE CURB
- ③ CONCRETE SIDEWALK, MEDIUM BROOM FINISH (NATURAL GRAY COLOR) EASEMENT
- ④ PUE
- ⑤ ROW
- ⑦ RETENTION BASIN
- ⑧ SES CABINETS
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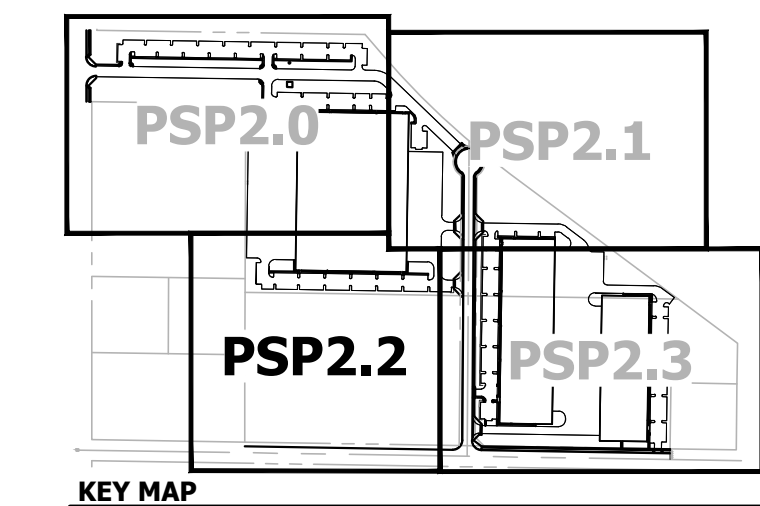
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ARIZONA STATE DEPT
OF TRANSPORTATION
(NOT A PART)

APN: 210-16-013
NLCP 500 W MISTY
WILLOW LANE AZ, LLC
(NOT A PART)

APN: 210-16-001J
ARIZONA STATE DEPT
OF TRANSPORTATION
(NOT A PART)

MATCHLINE SEE SHEET PSP2.3

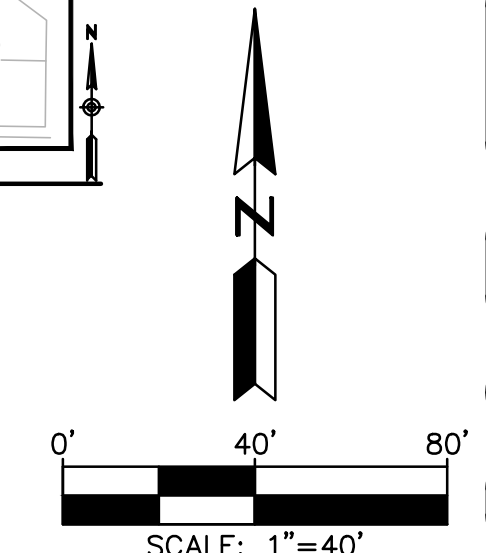
W MISTY WILLOW LANE



CITY OF PHOENIX

JUL 07 2022

Planning & Development
Department



NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: DC
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY



**PRELIMINARY SITE PLAN
FOR
HAPPY VALLEY
HAPPY VALLEY RD AND 7TH AVE
PHOENIX, ARIZONA**

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION.
ARIZONA811
CALL 811 OR CLICK ARIZONA811.COM

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PROJECT NAME:
HAPPY VALLEY

HE NO.: READ003
SCALE: 1"=40'

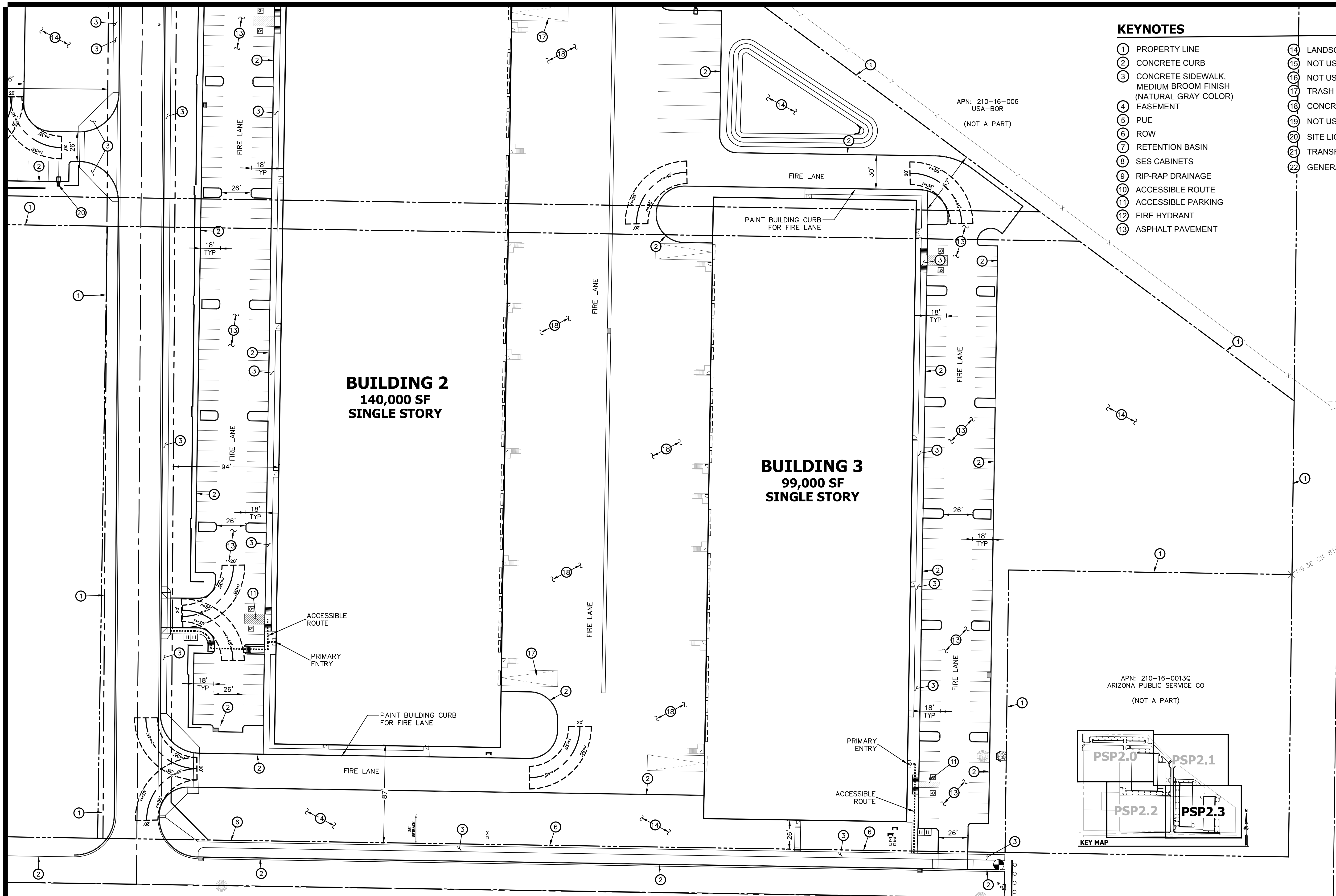
SHEET:
PSP2.2

MATCHLINE SEE SHEET PSP2.1

MATCHLINE SEE SHEET PSP2.2

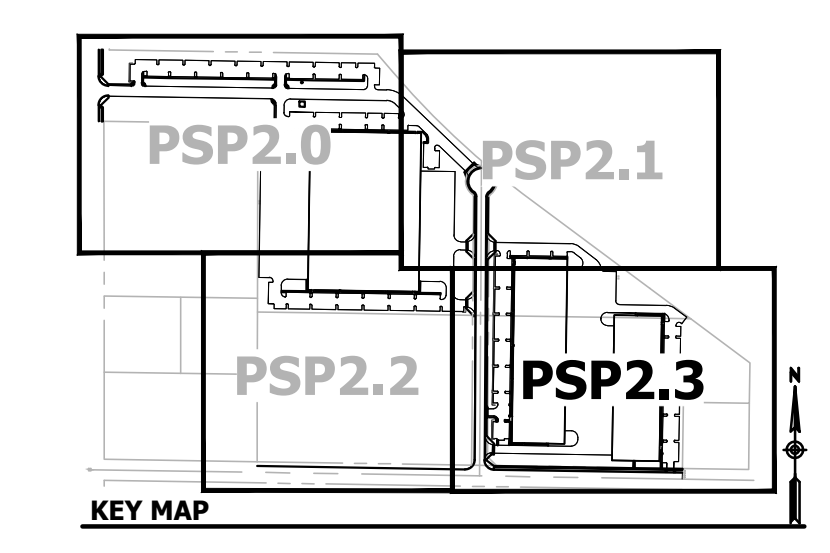
KEYNOTES

- ① PROPERTY LINE
- ② CONCRETE CURB
- ③ CONCRETE SIDEWALK, MEDIUM BROOM FINISH (NATURAL GRAY COLOR) EASEMENT
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- ⑥ ROW
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- ⑭ LANDSCAPE AREA
- ⑮ NOT USED
- ⑯ NOT USED
- ⑰ TRASH COMPACTOR
- ⑱ CONCRETE PAVEMENT
- ⑲ NOT USED
- ⑳ SITE LIGHTING (SEE PHOTOMETRIC)
- ㉑ TRANSFORMER PAD(TBD)
- ㉒ GENERATOR (TBD)



APN: 210-16-006
USA-BOR
(NOT A PART)

APN: 210-16-0013Q
ARIZONA PUBLIC SERVICE CO
(NOT A PART)



NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: DC
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY



**PRELIMINARY SITE PLAN
FOR
HAPPY VALLEY
HAPPY VALLEY RD AND 7TH AVE
PHOENIX, ARIZONA**



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HAPPY VALLEY

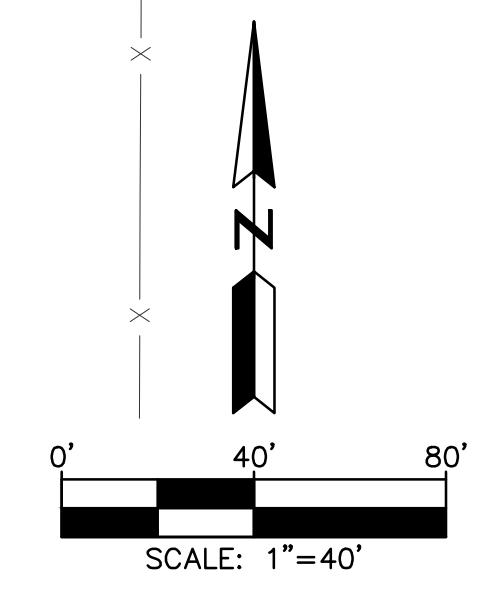
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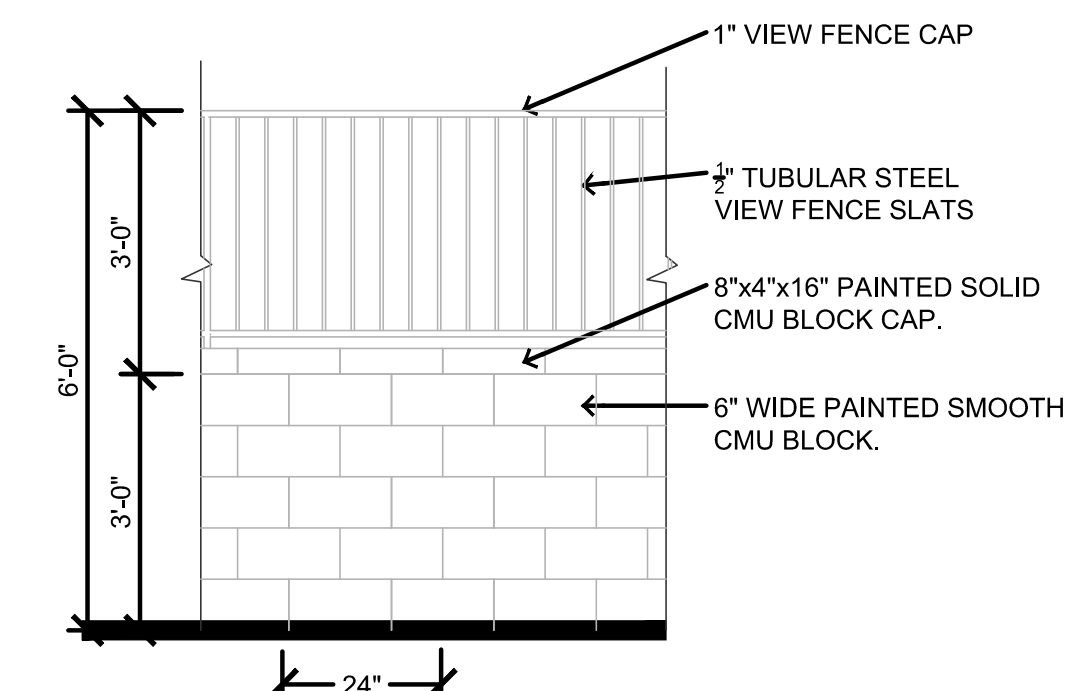
SHEET:
PSP2.3

CITY OF PHOENIX

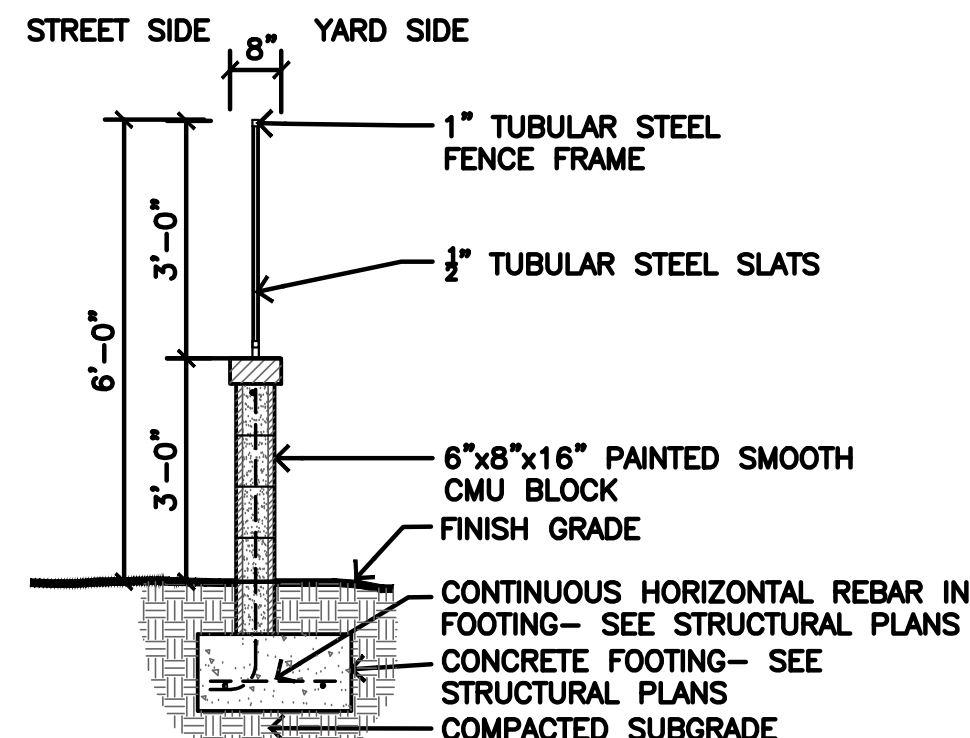
JUL 07 2022

Planning & Development
Department

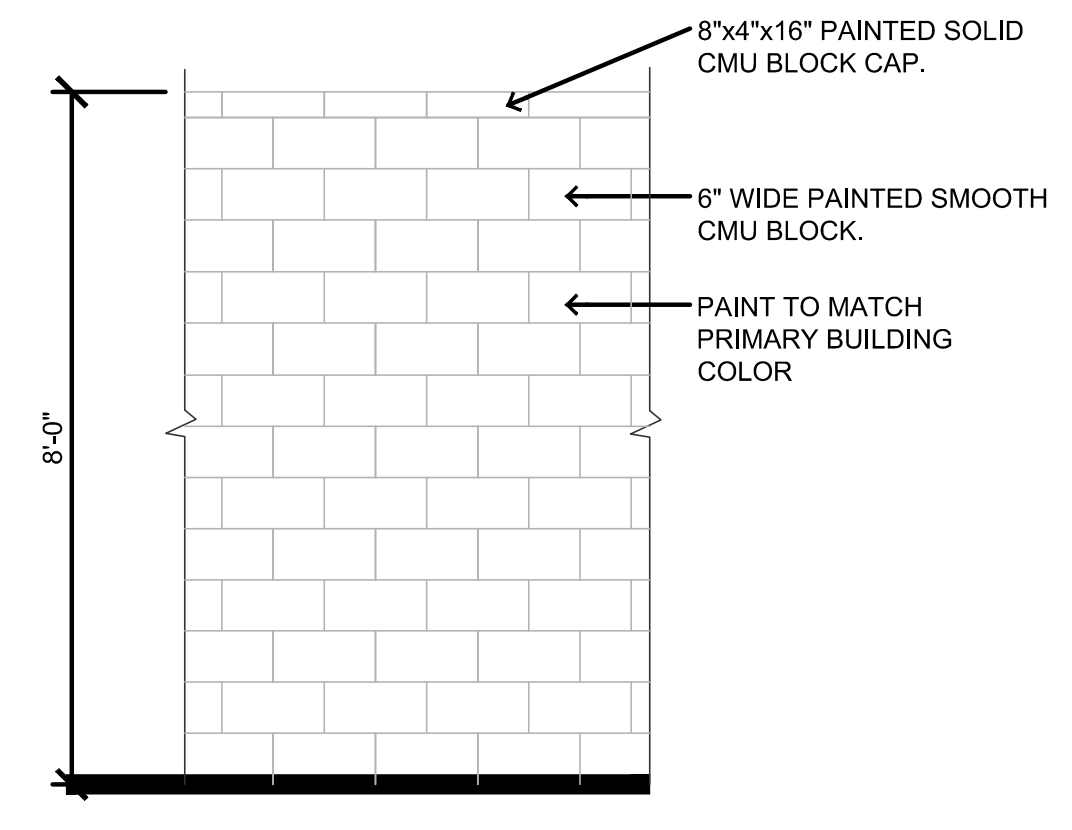




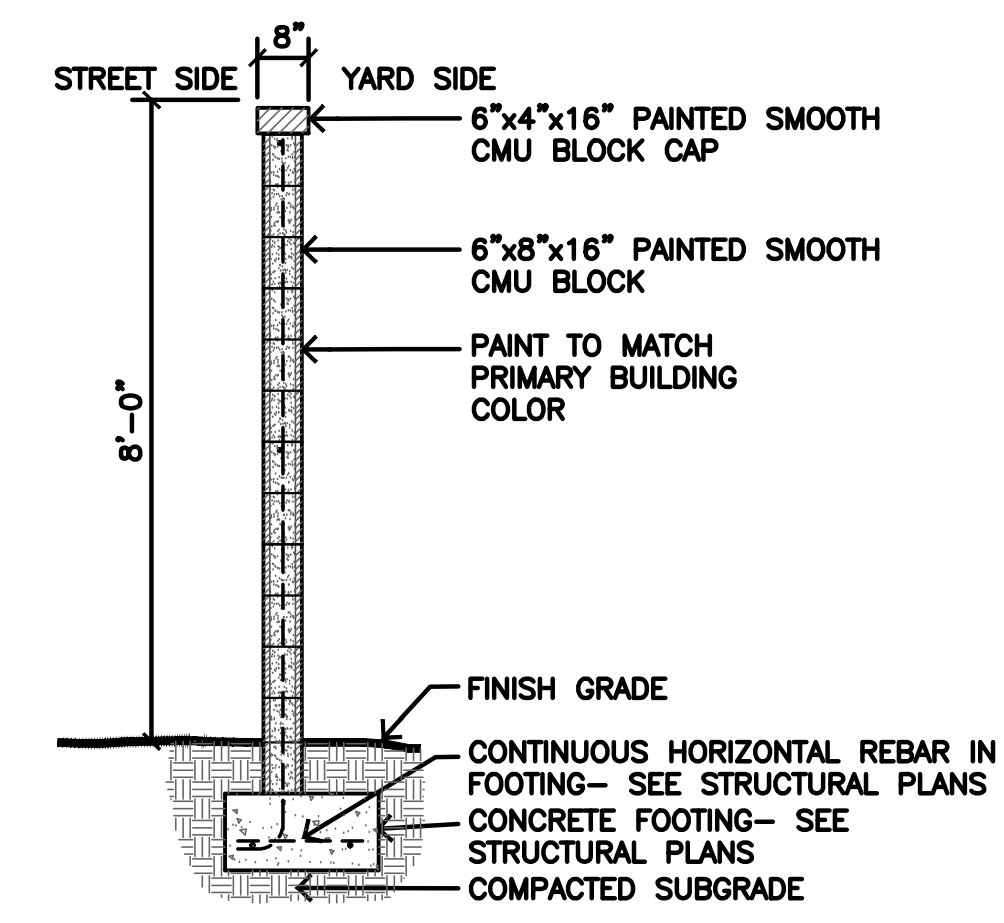
1 6' PARTIAL VIEW FENCE ELEVATION
SCALE: NTS



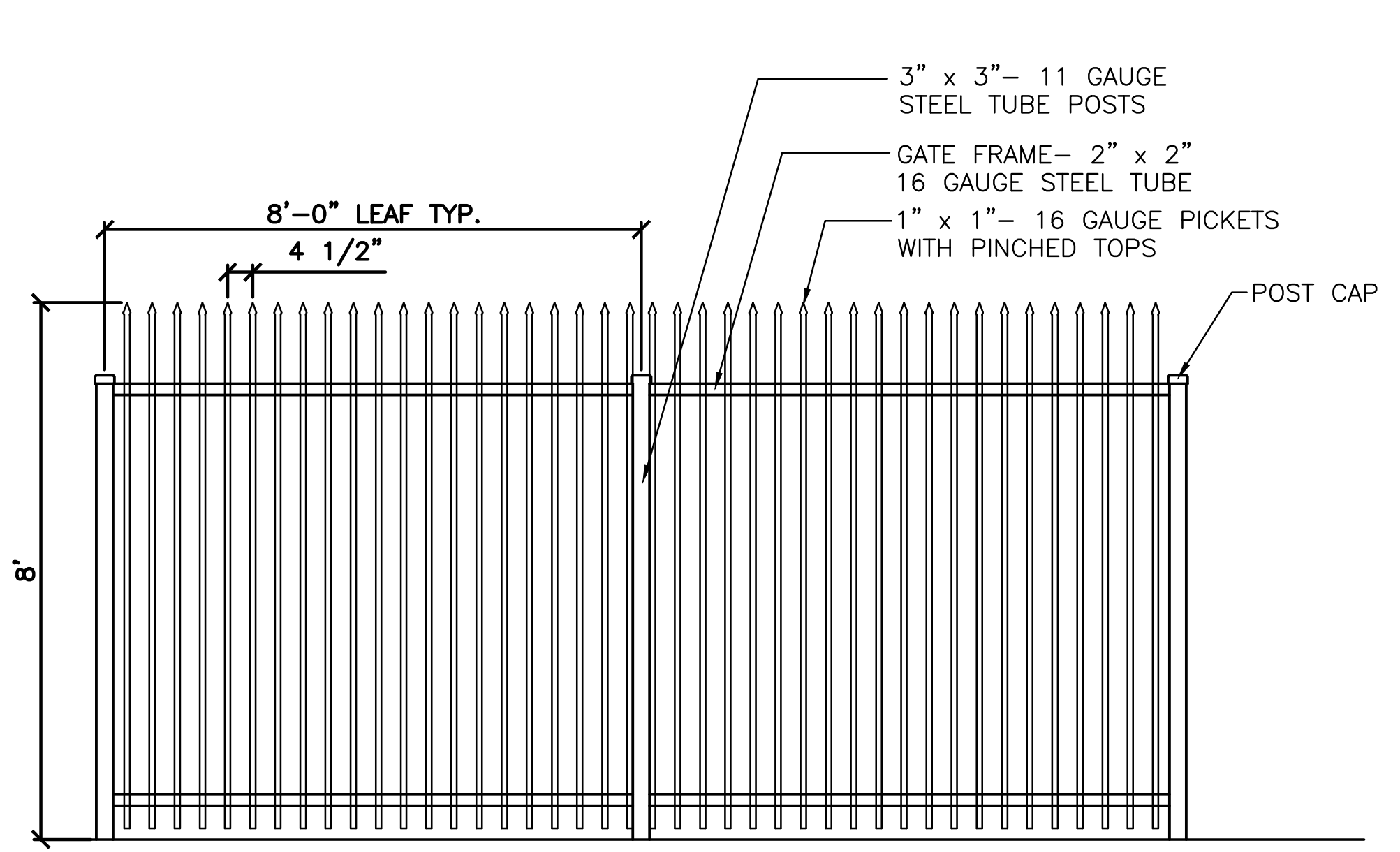
2 6' SCREEN WALL SECTION
SCALE: NTS



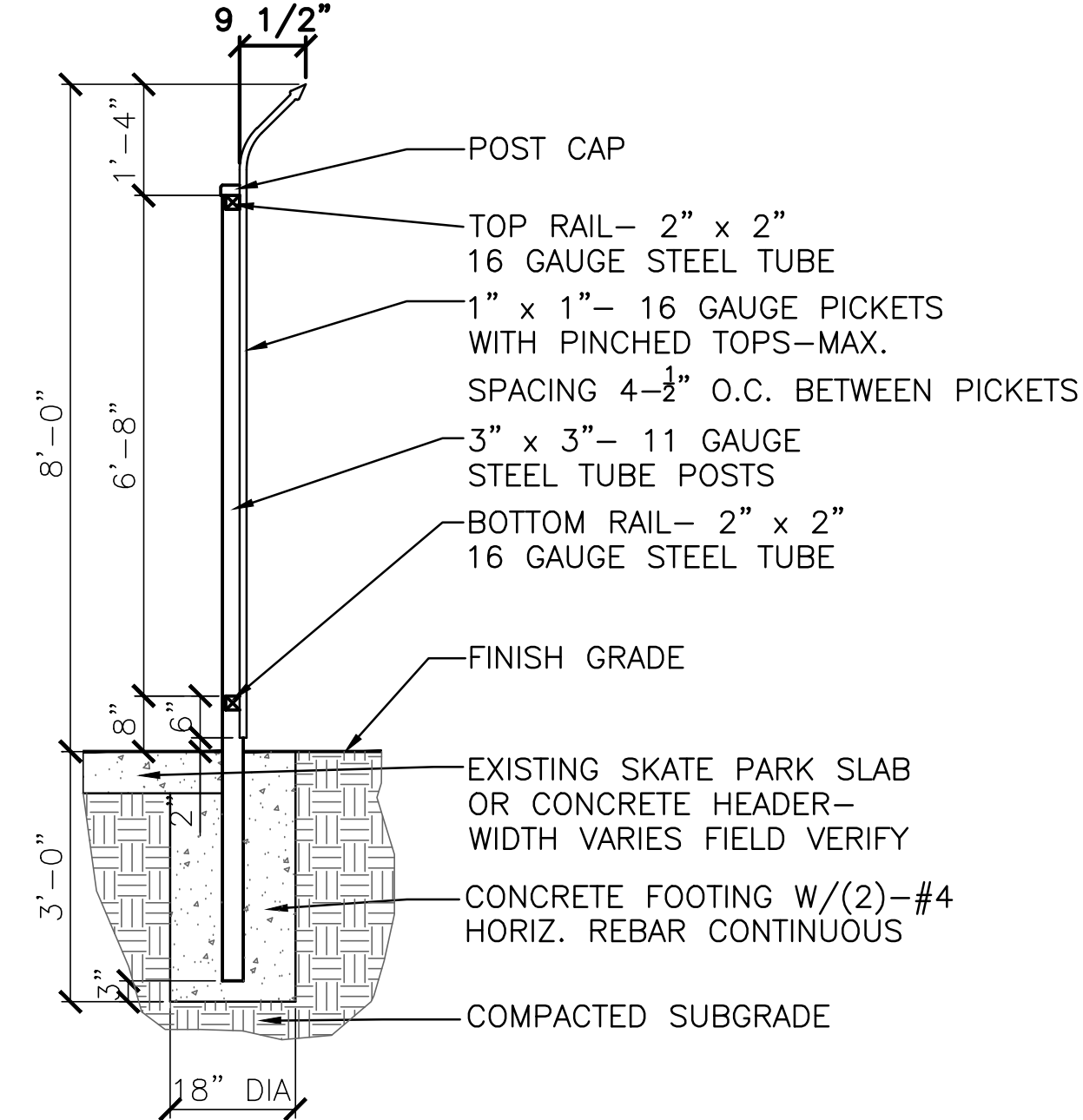
3 8' CMU BLOCK WALL ELEVATION
SCALE: NTS



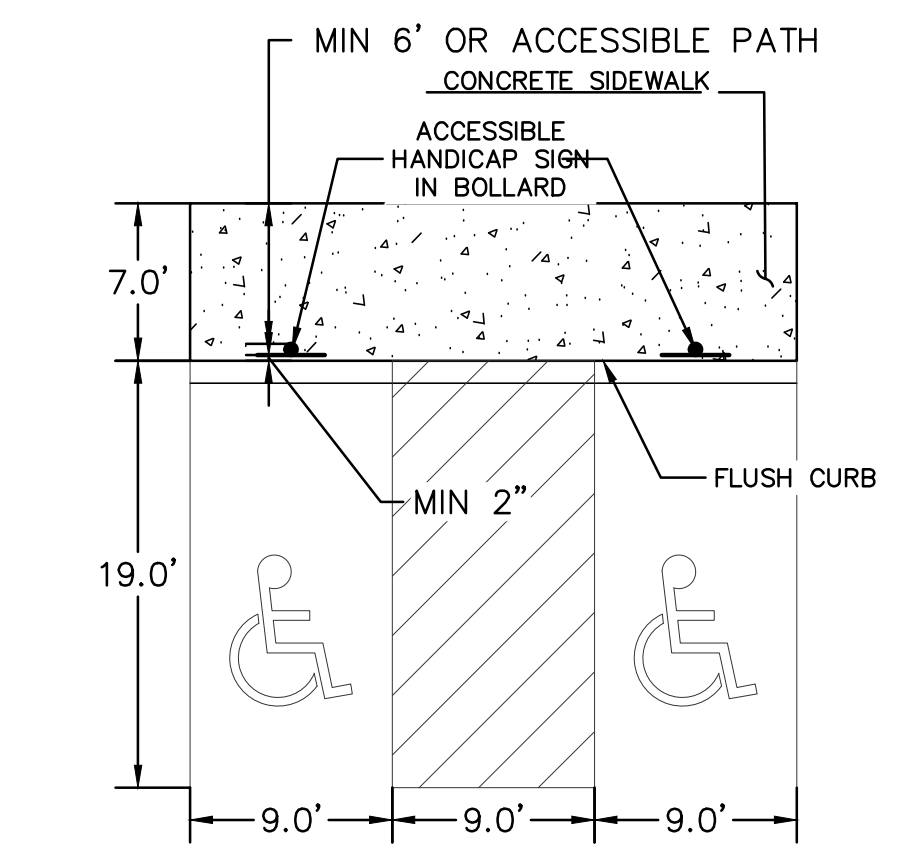
4 8' CMU WALL SECTION
SCALE: NTS



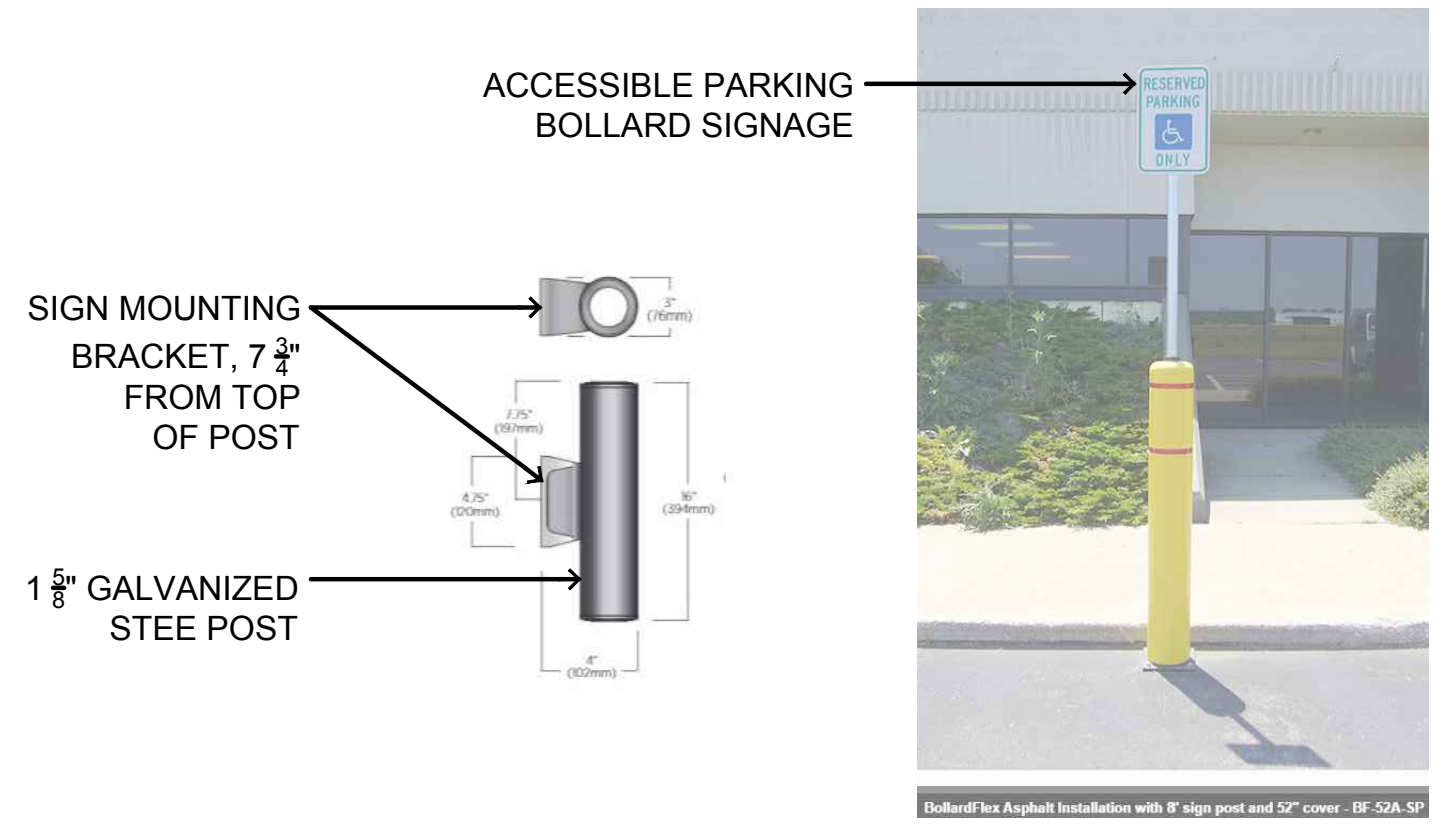
5 8' FENCE- ELEVATION
N.T.S.



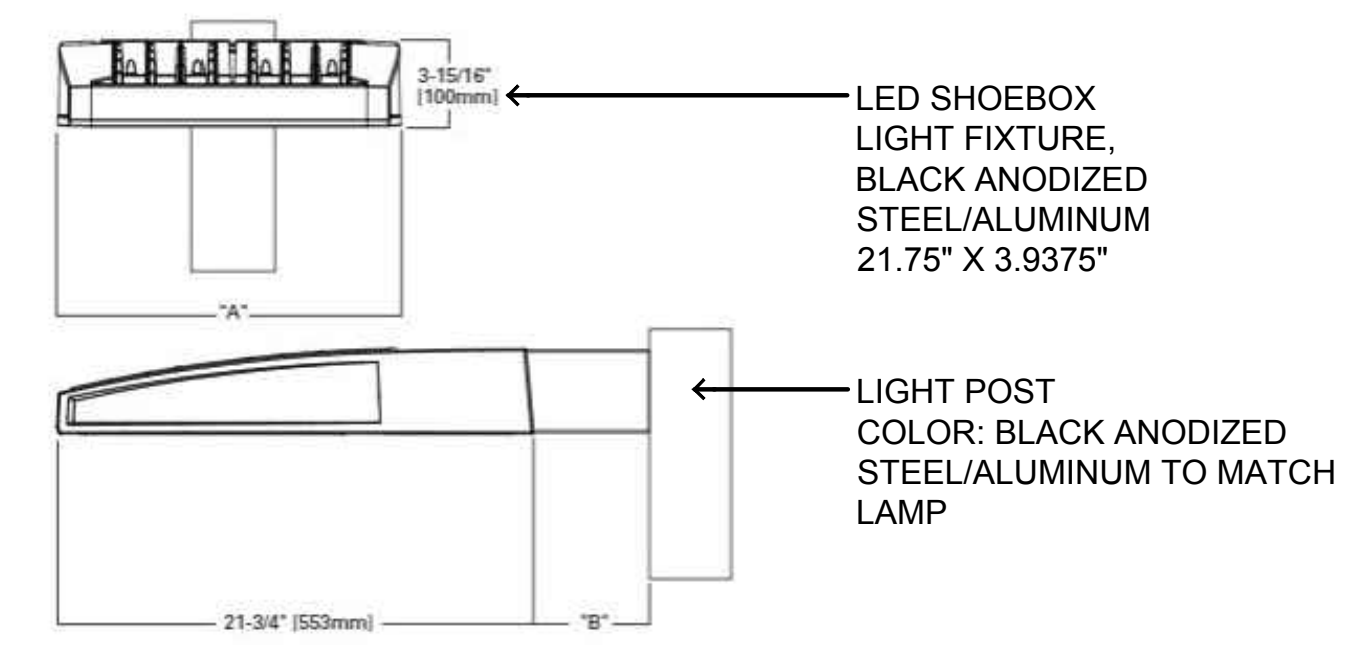
6 8' FENCE- SECTION
N.T.S.



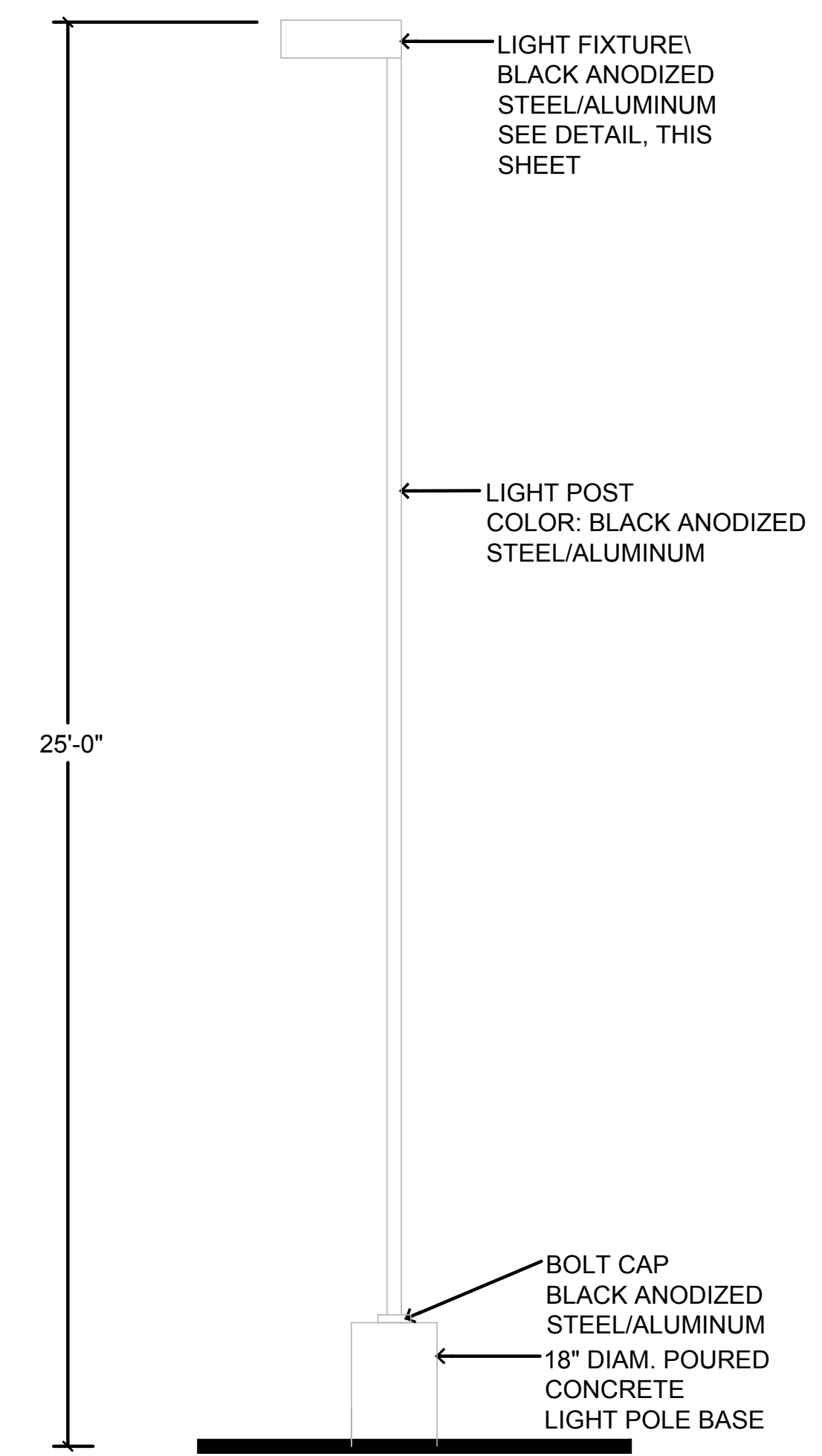
7 ADA RAMP DETAIL
SCALE: NTS



8 ADA SIGN BOLLARD DETAIL
SCALE: NTS



9 LIGHT FIXTURE DETAIL
SCALE: NTS

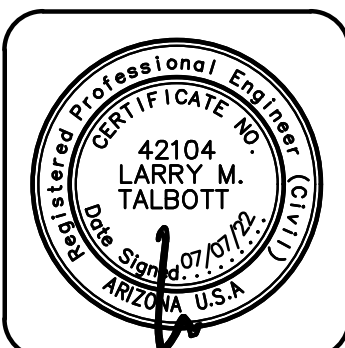


10 LIGHT POST COLUMN DETAIL
SCALE: NTS

NO.	DATE	REVISION	BY

DESIGN BY: LT
DRAWN BY: DC
CHECKED BY: LT

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986
CIVIL AND SURVEY



**PRELIMINARY SITE PLAN DETAILS
FOR
HAPPY VALLEY
HAPPY VALLEY RD AND 7TH AVE
PHOENIX, ARIZONA**

CONTACT ARIZONA811 AT LEAST 2 FULL BUSINESS DAYS BEFORE YOU BEGIN EXCAVATION
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CALL 811 OR VISIT ARIZONA811.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

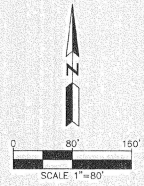
PROJECT NAME: HAPPY VALLEY

HE NO.: READ003
SCALE: NTS

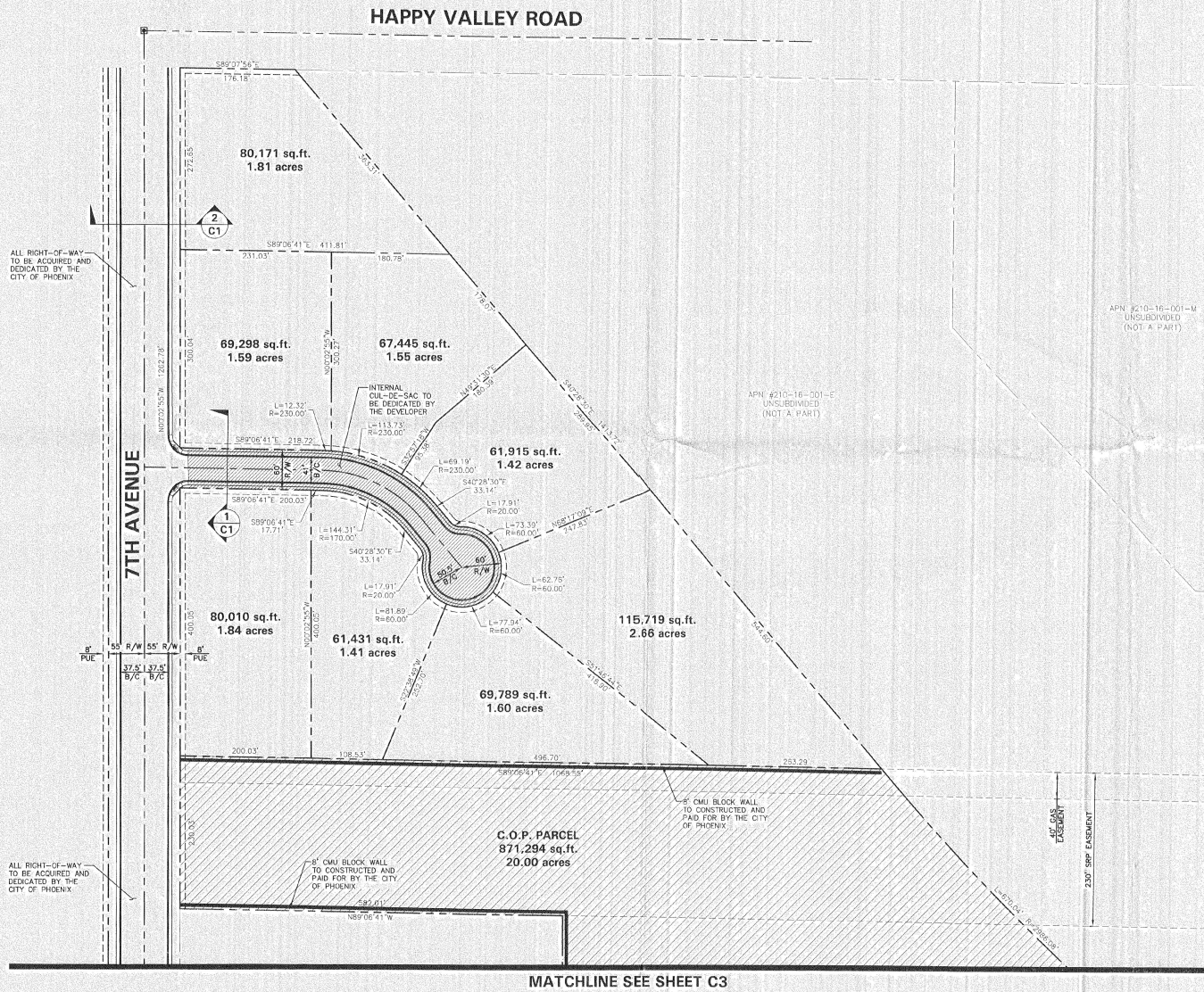
SHEET: **PSP3.0**

PRELIMINARY PLAT FOR 7TH AVENUE & HAPPY VALLEY ROAD SEC OF 7TH AVENUE & HAPPY VALLEY ROAD PHOENIX, ARIZONA

A PORTION OF THE NW 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 3 EAST, OF THE GLA
AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



NO.:	REVISION:	DATE:	BY:	FOR:
	REVISION 1	7/13/07	LMT	PRELIMINARY PLAT
DESIGN BY: LUT				
DRAWN BY: CEL				
CHECKED BY: LMT				
PURPOSE: PRELIMINARY PLAT				



ALL RIGHT-OF-WAY TO BE ACQUIRED AND DEDICATED BY THE CITY OF PHOENIX

ALL RIGHT-OF-WAY TO BE ACQUIRED AND DEDICATED BY THE CITY OF PHOENIX

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET
SUITE 200
SCOTTSDALE, AZ 85258
P 480 991 3886
F 480 991 3886



**PRELIMINARY PLAT
FOR
7TH AVENUE & HAPPY VALLEY ROAD
SEC 7TH AVE. & HAPPY VALLEY ROAD
PHOENIX, ARIZONA**

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

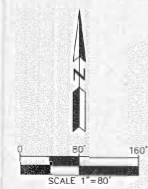
THE JOB NO.:
LIE6001
SCALE:
1"=80'
SHEET:
C2

REC'D AUG 31 2007

MATCHLINE SEE SHEET C3

PRELIMINARY PLAT FOR 7TH AVENUE & HAPPY VALLEY ROAD SEC OF 7TH AVENUE & HAPPY VALLEY ROAD PHOENIX, ARIZONA

A PORTION OF THE NW 1/4 OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 3 EAST, OF THE GLA
AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



NO.	DATE	REVISION	BY
1	7/10/07	REVISION 1	LMT
PURPOSE:			PRELIMINARY PLAT

MATCHLINE SEE SHEET C2



DESIGN BY: LMT
DRAWN BY: LMT
CHECKED BY: LMT

HUNTER ENGINEERING
10450 NORTH 74TH AVENUE, SUITE 200
SCOTTSDALE, AZ 85258
P: 480.991.3896
F: 480.991.3896

CIVIL AND SURVEY

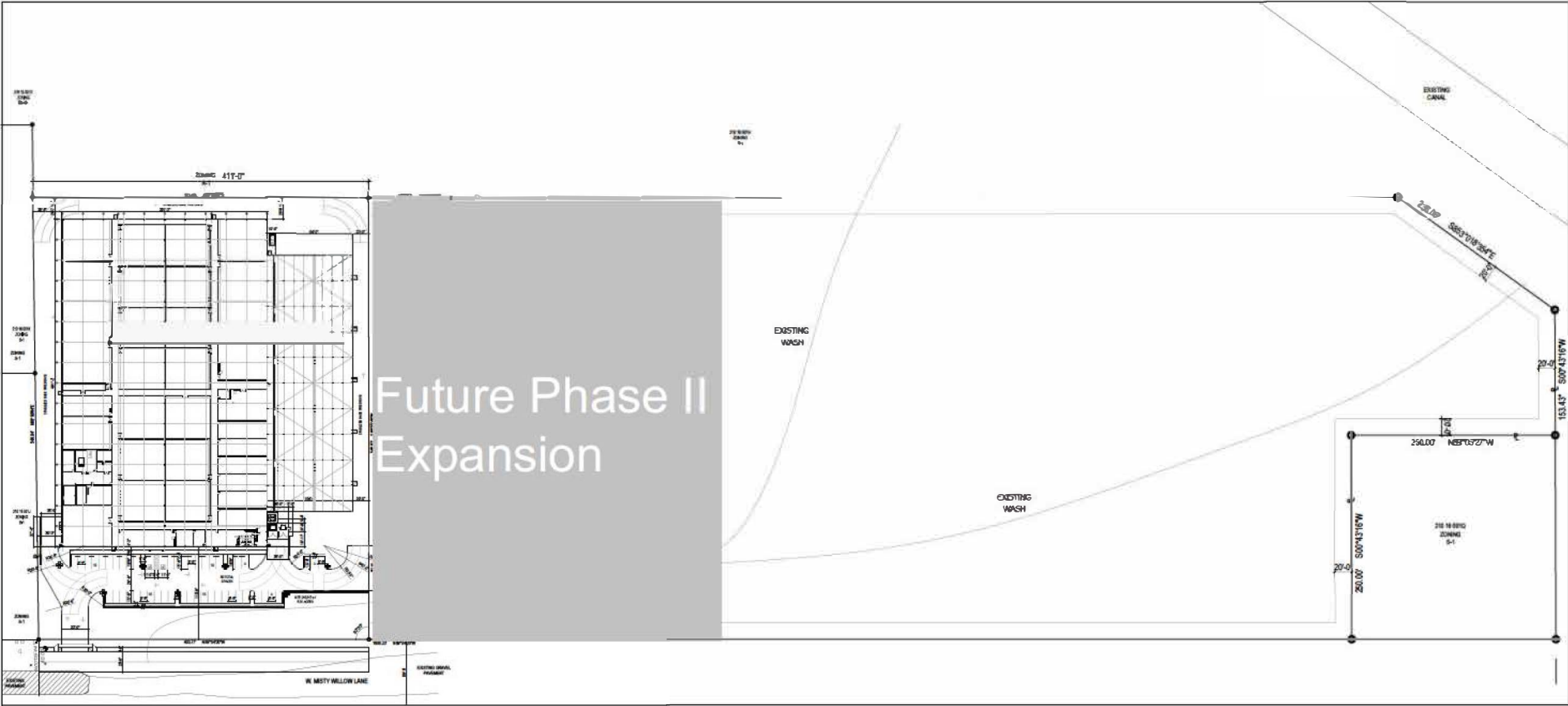


**PRELIMINARY PLAT
FOR
7TH AVENUE & HAPPY VALLEY ROAD
SEC 7TH AVE. & HAPPY VALLEY ROAD
PHOENIX, ARIZONA**

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: LIEB001
SCALE: 1"=80'
SHEET: C3

REC'D AUG 31 2007



CITY OF PHOENIX
DEC 1 6 2020
Planning & Development Department

2 SITE PLAN

↑ NORTH

<p>23-24-20</p> <p>1. Use existing site as a medical center building facility to be a 10-15 building district. Use parcel map and 1/4" = 100' plan to show existing building footprint. Use parcel map and 1/4" = 100' plan to show existing building footprint. Use parcel map and 1/4" = 100' plan to show existing building footprint.</p> <p>23-24-20</p> <p>1. The applicant shall submit a site plan to the Planning and Development Department for review and approval. The applicant shall submit a site plan to the Planning and Development Department for review and approval. The applicant shall submit a site plan to the Planning and Development Department for review and approval.</p>	<p>PROJECT LOCATION:</p> <p>THE MINT GROW CENTER AND INFUSION FACILITY MISTY WILLOW LANE PHOENIX, ARIZONA 85008</p> <p>PROJECT NARRATIVE:</p> <p>NEW MEDICAL MARIJUANA CULTIVATION AND INFUSION FACILITY</p> <p>UTILITIES:</p> <p>WATER - CITY OF PHOENIX SEWER - CITY OF PHOENIX ELECTRIC - APS GAS - SOUTHWEST GAS</p> <p>HEALTH DEPARTMENT:</p> <p>ARIZONA COUNTY HEALTH DEPARTMENT PHOENIX, AZ 85008-5000</p> <p>ZONING:</p> <p>MISTY WILLOW</p> <p>AMERSON PARCEL #:</p> <p>210-16-001W</p>	<p>TYPE OF CONSTRUCTION:</p> <p>TYPE III STORYED - 1</p> <p>TYPE OF OCCUPANCY:</p> <p>TYPE III GROW TYPE III INFUSION</p> <p>BUILDING AREA:</p> <p>BUILDING SQUARE FOOTAGE = 100,750 S.F. GREENHOUSE = 20,000 S.F.</p> <p>TENANT AREA BUILT GROW CENTER:</p> <p>BUILDING S.F. = 100,750 S.F.</p> <p>LOT SIZE:</p> <p>LOT GROSS SITE = 220,340 S.F. NET = 201,340 S.F.</p> <p>PARKING REQUIREMENTS:</p> <p>REQUIRED PARKING SPACES 1.5 EMPLOYEES PER PARKING SPOT 1.5 EMPLOYEES PER PARKING SPOT 40 = 1.5 x EMPLOYEES = 27 (20.00) 202 S.F. OFFICES = 11 (0.00) 247 = 20 PARKING SPACES REQUIRED</p> <p>27 SPACES REQUIRED 50 SPACES PROVIDED TOTAL</p> <p>ACCESSIBLE PARKING SPACES REQUIRED:</p> <p>3 SPACES ACCESSIBLE PARKING SPACES PROVIDED 3 SPACES</p> <p>SITE PROJECT INFORMATION</p> <p>11/22</p>	<p>GENERAL NOTES:</p> <p>1. The applicant shall submit a site plan to the Planning and Development Department for review and approval. The applicant shall submit a site plan to the Planning and Development Department for review and approval. The applicant shall submit a site plan to the Planning and Development Department for review and approval.</p> <p>2. The applicant shall submit a site plan to the Planning and Development Department for review and approval. 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The applicant shall submit a site plan to the Planning and Development Department for review and approval. The applicant shall submit a site plan to the Planning and Development Department for review and approval.</p>
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THE MINT GROW CENTER
MISTY WILLOW LANE
PHOENIX AZ 85008
PORTION OF APN : 210-16-001W

design: RDO
drawn: JO
check: JDO

revisions:

DATE: 10/30/20

SHEET

SP100

PROJECT: AG200520

November 7, 2007

PETITIONS, COMMUNICATIONS AND PUBLIC HEARINGS

ITEM 32 **DISTRICTS 1 AND 8** **MODIFICATION OF
STIPULATION REQUESTS FOR
RATIFICATION OF PLANNING
HEARING OFFICER ACTIONS**

The Council heard request to approve Planning Hearing Officer's recommendations without further hearing by the City Council on matters heard by the Planning Hearing Officer on Wednesday, November 7, 2007.

Due to a possible conflict of interest, Mr. Siebert withdrew from the voting body on Item 32A.

DISTRICT 1
7TH AVENUE AND HAPPY
VALLEY ROAD
APPLICANT: DAVID
CISIEWSKI - LAW OFFICE OF
DAVID CISIEWSKI
OWNER: HV & CANAL, LLC
REPRESENTATIVE: DAVID
CISIEWSKI - LAW OFFICE OF
DAVID CISIEWSKI

- A. Application: **Z-14-05-1**
Request: Deletion of Stipulation 1 regarding general conformance to the site plan.
 Deletion of Stipulation 2 regarding general conformance to the elevations.
 Deletion of Stipulation 4 regarding the utilization of Commerce Park development standards.
Location: Southeast corner of 7th Avenue and Happy Valley Road;
 Acreage: 67.5

Deer Valley Village Planning Committee - Chose not to review this case.

Planning Hearing Officer - October 17, 2007 - Approved to modify Stipulations 1 and 4 and delete Stipulation 2.

November 7, 2007

GENERAL CONFORMANCE

1. That development shall be in general conformance to the site plan date stamped August 31, 2007, January 24, 2005, with specific regard to street layout and landscaping, as approved or modified by the Development Services Department.
2. That ~~development shall be in general conformance to the elevations date stamped January 24, 2005, with specific regard to single story buildings, as approved or modified by the Development Services Department.~~
3. That a master architectural theme, that unifies the landscaping and building materials for all development, shall be approved concurrent with preliminary site plan approval for the first phase of development, as approved by the Development Services Department.
4. That an average 20-foot (minimum 10-foot) landscape setback shall be provided along 7th Avenue and Misty Willow Lane and an average 10-foot (minimum 5-foot) landscape setback shall be provided along all internal streets, ~~development shall utilize Commerce Park development standards,~~ as approved by the Development Services Department.

TRAILS

5. That the applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Development Services Department.

LANDSCAPING

6. That landscaping shall be provided within parking lots per C-2 zoning district standards (Section 701.d), as approved by the Development Services Department.

November 7, 2007

ARCHEOLOGICAL

7. That the subject site has the potential to contain archeological resources. That the applicant shall submit an archeological survey for review and approval by the City Archeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

8. That, at such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport and Goodrich-Universal Propulsion Company. The form and content of such documents shall be reviewed by the City Attorney.

STREETS AND TRANSPORTATION

9. That right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
10. That a 21-foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
11. That sufficient right-of-way shall be dedicated to accommodate a bus bay on Happy Valley Road at 7th Avenue.
12. That the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals as per plans approved by the City. All improvements shall comply with all Americans with Disabilities Act accessibility standards.
13. That the applicant shall submit paving plans for all arterial streets within and adjacent to the development to the Street Transportation Department for review and approval.
14. That the applicant shall complete and submit the Developer Project Information Form for the Maricopa Association of Governments Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the Environmental Protection Agency to meet clean air quality requirements.

November 7, 2007

MOTION was made by Mr. Mattox, **SECONDED** by Mr. Johnson, that Item 32A be granted. **MOTION CARRIED UNANIMOUSLY.**

Mr. Siebert returned to the voting body.

Items 32B and 32C were heard together.

DISTRICT 8
17TH AVENUE AND
MARICOPA STREET
APPLICANT: LETICIA FUERTE
OWNER: LETICIA FUERTE
REPRESENTATIVE: LETICIA
FUERTE

- B. Application: Z-9-01-8
Request: Modification of Stipulation 1 regarding general conformance to the site plan.
Modification of Stipulation 3 regarding 6-foot wrought iron fence.
Modification of Stipulation 7 regarding a time extension.
Modification of Stipulation 8 regarding the required off-site improvements.
Location: Approximately 210 feet west of the southwest corner of 17th Avenue and Maricopa Street; Acreage: 0.96

Central City Village Planning Committee - Did not review this case.

Planning Hearing Officer - October 17, 2007 - Denied as filed and approved of modifications to Stipulations 1, 3, and 7. Stipulation 8 will not be modified.

1. That development shall be in general conformance to the site plan submitted dated date stamped July 26, 2007 December 27, 2000, as may be modified by the stipulations below and as approved by the Development Services Department.
2. That a minimum 20-foot landscaped setback shall be provided along Maricopa Street. This landscaped area shall contain minimum 15-gallon trees placed 20 feet on center and five shrubs per tree. All landscaping shall be watered with an underground irrigation system.

REPORT OF PLANNING HEARING OFFICER ACTION
Mr. Alan Stephenson, Planner III, Hearing Officer
Molly Monserud, Planner II, Assisting

October 17, 2007

ITEM NO: 1

DISTRICT NO.: 1

SUBJECT:

Application #: Z-14-05-1
Zoning: S-1, App A-1 DVAO . Q.S. 46-27
Location: Southeast Corner of 7th Avenue and Happy Valley Road
Acreage: 67.5
Request: Deletion of stipulation 1 regarding general conformance to the site plan
Deletion of stipulation 2 regarding general conformance to the elevations
Deletion of stipulation 4 regarding the utilization of Commerce Park development standards.
Applicant: David Cisiewski/Law Office of David Cisiewski
Owner: HV & Canal, LLC
Representative: David Cisiewski/Law Office of David Cisiewski

ACTIONS:

Planning Hearing Officer Recommendation: The Planning Hearing Officer recommended approval to modify stipulations 1 and 4 and delete stipulation 2.

Village Planning Committee (VPC) Recommendation: The Deer Valley Village Planning Committee chose not to review this case.

DISCUSSION: Dave Cisiewski, 11811 North Tatum Boulevard, Suite 1051, stated that the request is to delete 3 of the 4 existing stipulations. Mr. Cisiewski presented an aerial photograph of the site. Over the last two years market conditions have changed. This, in conjunction with other intervening factors, shows it is more feasible for this property to be developed as industrial property.

Originally the site was designed to have 34 individual commerce/business park lots with a lower level of intensity. The property today is more suited toward warehousing and industrial type uses.

The property was originally rezoned with the intent to facilitate a large employment center.

Mr. Cisiewski stated that the City of Phoenix is acquiring a portion of the property to build a carbon generation recycling facility. This facility and the surrounding character of the area leans more towards industrial development of the underlying A-1 zoning rather than CP/GCP zoning.

Due to the land acquisition of the City, a new site plan and new elevations will have to be developed to fit the market standards.

Mr. Cisiewski stated that the real issue pertains to stipulation 4 regarding the commerce park development standards. The standards of this district are a bit overboard for an industrial development. The applicant is willing, as an abatement, to increase the landscaping standards of the A-1 district. Mr. Cisiewski proposed to provide an average of 20 foot landscaping setback along the major street and an average of 10 foot landscaping setback along internal streets. This will provide a good streetscape and address any remnant parcels as well as the City of Phoenix parcel. This standard of landscaping is more akin to the surrounding developments.

FINDINGS:

1. The City of Phoenix is acquiring a center portion of the property, which warrants the change in the proposed site plan.
2. Landscaping should be provided along all streets in the development, however the CP/GCP standards are slightly intense for the proposed development.

DECISION: The Planning Hearing Officer recommended approval to modify stipulations 1 and 4 and delete stipulation 2.

STIPULATIONS:

GENERAL CONFORMANCE

1. That development shall be in general conformance to the site plan date stamped ~~August 31, 2007~~ January 24, 2005, with specific regard to street layout and landscaping, as approved or modified by the Development Services Department.
2. ~~That development shall be in general conformance to the elevations date stamped January 24, 2005, with specific regard to single story buildings, as approved or modified by the Development Services Department.~~

3. That a master architectural theme, that unifies the landscaping and building materials for all development, shall be approved concurrent with preliminary site plan approval for the first phase of development as approved by the Development Services Department.
4. That an average 20-foot (minimum 10-foot) landscape setback shall be provided along 7th Avenue and Misty Willow Lane and an average 10-foot (minimum 5-foot) landscape setback shall be provided along all internal streets. ~~development shall utilize Commerce Park development standards,~~ as approved by the Development Services Department.

TRAILS

5. That the applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the Development Services Department.

LANDSCAPING

6. That landscaping shall be provided within parking lots per C-2 zoning district standards (Section 701.d), as approved by the Development Services Department.

ARCHEOLOGICAL

7. That the subject site has the potential to contain archeological resources. That the applicant shall submit an archeological survey for review and approval by the City Archeologist (602) 495-0901 prior to preliminary approval.

NOTIFICATION

8. That, at such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport and Goodrich-Universal Propulsion Company. The form and content of such documents shall be reviewed by the City Attorney.

STREETS AND TRANSPORTATION

9. That right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.

10. That a 21 foot by 21 foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
11. That sufficient right-of-way shall be dedicated to accommodate a bus-bay on Happy Valley Road at 7th Avenue.
12. That the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
13. That the applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
14. That the applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Upon request, this publication will be made available within a reasonable length of time through appropriate auxiliary aids or services to accommodate an individual with a disability. This publication may be made available through the following auxiliary aids or services: large print, Braille, audiotape or computer diskette. Contact Theresa Damiani regarding ADA, 602-262-6368/voice, 602-534-5500 City TTY Relay.

REPORT OF PLANNING HEARING OFFICER ACTION
Adam Stranieri, Planner III, Hearing Officer
Julianna Pierre, Planner I, Assisting

December 16, 2020

ITEM NO: 1

DISTRICT 1

SUBJECT:

Application #: PHO-3-20--Z-14-05-1
Zoning: A-1 DVAO
Location: Approximately 633 feet east of the northeast corner of 7th Avenue and Misty Willow Lane
Acreage: 24.07
Request: 1) Modification of Stipulation 1 regarding general conformance to the site plan date stamped August 31, 2007.
2) Deletion of Stipulation 2 regarding a master architectural theme.
3) Modification of Stipulation 3 regarding landscape setbacks along 7th Avenue, Misty Willow Lane, and internal streets.
4) Deletion of Stipulation 5 regarding parking lot landscaping.
5) Modification of Stipulation 7 regarding recording documents that disclose the existence and characteristics of Goodrich-Universal Propulsion Company.
6) Technical correction to Stipulation 4.
Applicant: Happy Valley II, LLC
Owner: Happy Valley II, LLC
Representative: Law Office of David Cisiewski, PLLC

ACTIONS

Planning Hearing Officer Recommendation: The Planning Hearing Officer recommended approval with modifications and additional stipulations.

Village Planning Committee (VPC) Recommendation: The Deer Valley Village Planning Committee heard this case on November 19, 2020 and recommended approval with a modification by a 10-0 vote.

DISCUSSION

David Cisiewski, representative with Law Office of David Cisiewski, PLLC, provided history of the property. He stated that the original rezoning case area was divided into three portions under different ownership. The northern parcel was developed with a medical marijuana dispensary and the central parcel is

vacant. He stated that the subject site of the current Planning Hearing Officer (PHO) request is the southernmost portion of the original rezoning case and the proposal is to develop a medical marijuana cultivation and infusion facility on a portion of that site.

Mr. Cisiewski stated that they were requesting modification of Stipulation 1, regarding general conformance to the site plan date stamped August 31, 2007, to allow for development of a medical marijuana cultivation and infusion facility on a portion of the southernmost parcel. He stated that the stipulated site plan from 2007 included the entire 67.5 acres of the original rezoning case, but the new proposed site plan comprised only the approximately 19 gross acre southernmost parcel and depicted a medical marijuana facility on approximately 5 acres on the western portion of this property. He stated that this is beneficial since the 67.5-acre site has been divided into three parcels and is under separate ownership.

Adam Stranieri stated that the site plan in the presentation was different from the site plan submitted with the PHO application. He asked for clarification regarding changes made to the site plan since the initial filing. Mr. Cisiewski stated that the plan shown in the presentation was the current plan and that there were minor changes to the layout of parking spaces and location of trash receptacles per comments received during the Site Plan Pre-Application process. He added that the plan in the presentation also outlined the area of a future phase two expansion. He clarified that this would be an expansion of the cultivation and infusion facility. Mr. Stranieri stated that the new site plan needed to be submitted to the City and would be date stamped with the hearing date.

Mr. Stranieri asked for clarification regarding the Zoning Adjustment for the property. Mr. Cisiewski stated that the use permits and variances related to the medical marijuana cultivation and infusion facility was for the entire 24-acre property. Mr. Stranieri stated that asking for general conformance to the proposed site plan may trigger a new PHO in the future if the site was going to be expanded because no development was depicted other than the phase one project on the westernmost 5 acres. Mr. Cisiewski stated that he understood that new development on the site may require a new PHO.

Mr. Stranieri stated that he had no concerns with the request to modify Stipulation 1. He added that the scale, use, and intensity is consistent and compatible with the uses in the surrounding area. He stated that the facility does not drive foot traffic because it does not have customers.

Mr. Cisiewski stated that they were requesting deletion of Stipulation 2 regarding a master architectural theme. He explained that the site of the original rezoning case has been divided and is under separate ownership, so a unified theme across all the properties would not be appropriate. Mr. Stranieri stated that the requirement for a master architectural theme was tied to the original proposed

concept of a large office park. He stated that the unified theme was no longer appropriate given the division of land and different uses being developed on the properties.

Mr. Cisiewski stated that they were requesting modification of Stipulation 3 regarding landscape setbacks along 7th Avenue, Misty Willow Lane, and internal streets. He added that a large landscape buffer along Misty Willow Lane is not warranted given that the street will not extend further west or east and is adjacent to heavy industrial uses. Mr. Stranieri stated that the stipulation was more applicable when the proposed use was going to be an office park. He added that it would be more appropriate for the property to utilize the landscape standards for industrial properties given the context of existing land uses and connectivity on Misty Willow Lane. Mr. Cisiewski asked for clarification about the meaning of internal streets. Mr. Stranieri clarified that the stipulated landscape setbacks would not apply to driveways, parking lots, or internal drive aisles and maneuvering areas, but if a street was developed and came through the property, the landscape setback would be required.

Mr. Cisiewski stated that they were requesting deletion of Stipulation 5 regarding parking lot landscaping. He stated that increased landscape standards are not warranted when considering the surrounding industrial uses. Mr. Stranieri stated that the property would not have customers, is surrounded by industrial uses, and Misty Willow Lane has limited use and connectivity. He added that there would be no benefit to having increased planting standards in the parking lot for this parcel.

Mr. Cisiewski stated that they were requesting modification of Stipulation 7 regarding recording documents that disclose the existence and characteristics of Goodrich-Universal Propulsion Company. He explained that the Goodrich-Universal facility has been closed and decommissioned, so notification would not be necessary. Mr. Stranieri stated that he was inclined to approve the request as submitted to decouple this requirement from the aviation notification but retain some notification regarding the Goodrich-Universal facility in a separate stipulation. He noted that the Deer Valley Village Planning Committee (VPC) expressed concerns about environmental remediation efforts at the site. The VPC recommended that the stipulation be modified to require notification of aquifer contamination resulting from the facility. Mr. Stranieri stated that he was unsure if aquifer contamination was the sole issue with the site and was inclined to use language referencing environmental remediation efforts generally as the recorded Declaration of Environmental Use Restriction (DEUR) may contain additional important information. Mr. Cisiewski stated that he had no issues with this recommendation.

Mr. Stranieri stated that the Street Transportation Department requested an additional stipulation for a 40-foot dedication for the north half of Misty Willow

Lane. Mr. Cisiewski stated that he was aware of the requirement since they received the same comment during the Site Plan Pre-Application process.

FINDINGS

- 1) The subject property of this request consists of approximately 24 acres of the 67.5 acres in the original rezoning case. The original case comprised property in an area between Happy Valley Road to the north, Misty Willow Lane to the south, the south bank of the Central Arizona Project (CAP) canal to the east, and 7th Avenue to the west. Rezoning Case No. PHO-1-07--Z-14-05 modified stipulations for the entire case area and represents the current stipulations for the subject property. The subject property is at the southern portion of the rezoning area adjacent to Misty Willow Lane. The current stipulated site plan, which took the form of a preliminary plat, depicted 22 separate parcels ranging from 0.85 acres to 2.08 acres in area. No specific development proposal was included for buildings on individual parcels.

The proposed conceptual site plan depicts a nonprofit medical marijuana cultivation and infusion facility on approximately 5 acres on the western portion of the site. The remaining 19 acres do not depict any proposed development. Future development on that area may require further PHO action. The proposed use is compatible with land uses in the surrounding area which include intense industrial activities such as an outdoor landscape supply company and an auto salvage and storage yard on the south side of Misty Willow Lane, and an ADOT fueling station adjacent to the west. General conformance to the site plan is recommended.

- 2) Stipulation 2 regarding a master architectural theme for landscaping and building materials throughout the entire original rezoning case area was established when it was envisioned that the 67.5 acres would develop concurrently in a unified fashion. This is no longer the case and the larger, original property is now subdivided and owned by multiple entities. Further, a nonprofit medical marijuana dispensary was developed on the northern portion of the site. It is appropriate to delete this stipulation as requested by the applicant as the original development plan is no longer viable and an unrelated portion of the site has already developed.
- 3) Stipulation 3 established enhanced landscape setback requirements along 7th Avenue, Misty Willow Lane, and internal streets. This stipulation was established in Rezoning Case No. PHO-1-07--Z-14-05, where the north and south portions of the site were intended to develop as office park style developments. However, this is no longer the case and Misty Willow Lane is dominated by intense, outdoor industrial uses. Further, Misty Willow Lane offers no connectivity to the east across the CAP canal and is unlikely to develop west of 7th Avenue. The modification to the landscape

setback as requested by the applicant is appropriate given these conditions. The same rationale applies to the applicant's request for deletion of Stipulation 5 regarding parking lot landscaping standards which is recommended for deletion.

- 4) At their November 19, 2020 meeting, the Deer Valley Village Planning Committee voted 10-0 to recommend approval with a modification to revise the notification requirement in Stipulation 7. The modification would revise the reference to the existence and characteristics of the Goodrich Universal Propulsion Company at the northeast corner of Central Avenue and Happy Valley Road (which is no longer present at this location) to notification of aquifer contamination. This property is encumbered by a Declaration of Environmental Use Restriction (DEUR) for Properties with Institutional Controls, which is recorded in the official records of Maricopa County, Arizona as instrument no. 20180899893, and a separate DEUR for Property with Engineering and Institutional Controls, which is recorded in the official records of Maricopa County, Arizona as instrument no. 20200066622. Additional, related information regarding the proposed redevelopment of this property is also available in the Development Narrative for the Central Foothills PUD in Rezoning Case No. Z-37-19-2.

A modification of the stipulation is recommended to address issues regarding the ongoing environmental remediation concerns at this site. However, this notification should be separated from the Deer Valley Airport notification requirement. Therefore, the applicant's request regarding Stipulation 7 is recommended for approval subject to an additional stipulation to establish a separate stipulation solely regarding the former Goodrich site.

- 5) The Street Transportation Department recommends an additional stipulation requiring the dedication of 40-feet of right-of-way for the north half of Misty Willow Lane. This stipulation is recommended to be added.

DECISION: The Planning Hearing Officer recommended approval with modifications and additional stipulations.

STIPULATIONS

GENERAL CONFORMANCE	
1.	That THE development shall be in general conformance to WITH the site plan date stamped DECEMBER 16, 2020 August 31, 2007, as approved or modified by the PLANNING AND Development Services Department.

2.	That a master architectural theme, that unifies the landscaping and building materials for all development, shall be approved concurrent with preliminary site plan approval for the first phase of development as approved by the Development Services Department.
2. 3.	That An average 20-foot (minimum 10-foot) landscape setback shall be REQUIRED provided along 7th Avenue and Misty Willow Lane and an average 10-foot (minimum 5-foot) landscape setback shall be REQUIRED provided along MISTY WILLOW LANE AND all internal streets, as approved by the PLANNING AND Development Services Department.
TRAILS	
3. 4.	That The applicant shall provide two pedestrian access points to the regional trail system located adjacent to the CAP Canal via the two public streets adjacent to the canal, as approved by the PLANNING AND Development Services Department.
LANDSCAPING	
5.	That landscaping shall be provided within parking lots per C-2 zoning district standards (Section 701.d), as approved by the Development Services Department.
ARCHAEOLOGICAL	
4. 6.	That The subject site has the potential to contain archaeological resources. That The applicant shall submit an archaeological survey for review and approval by the City Archaeologist (602) 495-0901 prior to preliminary approval.
NOTIFICATION	
5. 7.	That, At such time as the sale of any parcel, the property owner shall record documents that disclose to purchasers or occupants of property within the development(s) the existence and operational characteristics of Deer Valley Airport and Goodrich-Universal Propulsion Company. The form and content of such documents shall be reviewed by the City Attorney.
6.	THE PROPERTY OWNER SHALL RECORD DOCUMENTS THAT DISCLOSE TO PROSPECTIVE PURCHASERS OF PROPERTY WITHIN THE DEVELOPMENTS THE NATURE OF ENVIRONMENTAL REMEDIATION ACTIVITIES AT THE FORMER SITE OF THE

	GOODRICH UNIVERSAL PROPULSION COMPANY. THE FORM AND CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE TEMPLATES AND INSTRUCTIONS PROVIDED WHICH HAVE BEEN REVIEWED AND APPROVED BY THE CITY ATTORNEY.
STREETS AND TRANSPORTATION	
7.	THE DEVELOPER SHALL DEDICATE 40 FEET OF RIGHT-OF-WAY FOR THE NORTH HALF OF MISTY WILLOW LANE (ALAMEDA ROAD ALIGNMENT), AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
8.	That Right-of-way totaling 70 feet shall be dedicated for the south half of Happy Valley Road.
9.	That A 21-foot by 21-foot right-of-way triangle shall be dedicated at the southeast corner of 7th Avenue and Happy Valley Road.
10.	That Sufficient right-of-way shall be dedicated to accommodate a bus-bay on Happy Valley Road at 7th Avenue.
11.	That The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
12.	That The applicant shall submit paving plans for all arterial streets within and adjacent to the development, to the Street Transportation Department for review and approval.
13.	That The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.

Upon request, this publication will be made available within a reasonable length of time through appropriate auxiliary aids or services to accommodate an individual with a disability. This publication may be made available through the following auxiliary aids or services: large print, Braille, audiotope or computer diskette. Please contact the Planning and Development Department, Tamra Ingersoll at voice number 602-534-6648 or TTY use 7-1-1.

Mr. Ricardo Romero asked who the primary target is for the acquisition.

Mr. Edelman shared that there is not a specific target at this time.

7. **PHO-3-20-Z-14-05-1**: Presentation, discussion, and possible recommendation on a request to modify stipulations of entitlement for a property located approximately 633 feet east of the northeast corner of 7th Avenue and Misty Willow Lane. Request a modification of Stipulation 1 regarding general conformance to site plan; deletion of Stipulation No. 2 regarding a master architectural theme; modification of Stipulation No. 3 regarding landscape setbacks; deletion of Stipulation No. 5 regarding parking lot landscaping; modification of Stipulation No. 7 regarding disclosure statements; and a technical correction to Stipulation No. 4.

Mr. David Simmons, staff, went over the request with the committee. He explained each change that was being requested on each stipulation. He went over the original site plan and shared that the original parcel has been subdivided and is now under separate ownership.

Mr. Nico Howard, applicant, went over the request and shared that he is the owner of the southern most parcel, which triggered this PHO request. The southernmost parcel will be split further and 5.00 area of the parcel will house a medical marijuana grow facility, which already has entitlements for the use, the request is specifically targeted to alter existing stipulation, which no longer apply to the site.

Chairman Joseph Grossman inquired about odor issues from such a use and asked if there were stipulation in place to mitigate this as it is a potential nuisance.

Mr. Howard shared that this is regulated by the State, therefore, there is no need to stipulate to this.

Ms. Michelle Gardner asked if the site meets separation requirements and asked if any other grow facilities were in close proximity.

Mr. Howard shared that there are separation requirements for the proposed use, which is one mile. He shared that this is outlined in the City of Phoenix Zoning Ordinance.

Mr. Brandon Shipman asked if the committee were only considering the revised stipulations, not the proposed use.

Mr. Howard shared that we are here tonight to consider the PHO request as the use is already entitled.

Mr. Keith Greenburg asked if there were a security plan.

Vice Cahir Trilese DiLeo asked if the entire parcel was intended to house a grow facility.

Mr. Howard shared that only 5.00 acres of the southern parcel is planned for a grow facility, which is a fraction of the overall parcel. He shared a proposed site plan of the parcel reflecting the portion for the proposed grow facility.

Mr. Brandon Shipman shared that he is in support of the request.

Vice Chair DiLeo would like changes made to stipulation 7, which is requesting to strike the language related to the former rocket propulsion testing facility (Goodrich Universal Propulsion Co.). The Goodrich site is no longer in use, but is still undergoing environmental remediation and will be for the foreseeable future. She shared that striking this language could be detrimental to new users on the site. She emphasized the importance of keeping a disclosure requirement in the stipulation about the contaminated aquifer.

Ms. Gardner reminded the committee that we're just here to consider the requested stipulation changes, not the land use and stated that she is in support of the request.

MOTION: Vice Chair Trilese DiLeo motioned to recommend approval of Case No. PHO-3-20-Z-14-05-1 with the added caveat that a disclosure statement for the aquifer contamination resulting from the Universal Propulsion Co. be added to the language in Stipulation No. 7. Committee member **Ms. Michelle Gardner** seconded the motion.

VOTE: 10-0, motion to approve with a modification passed, with Committee Members Grossman, DiLeo, Gardner, Greenburg, Kenney, Levy, Lewis, Osborne, Romero, and Shipman in favor.

8. **Z-44-20-1**: Presentation, discussion and possible recommendation regarding a request to rezone 9.95 acres located approximately 350 feet south of the southeast corner of 19th Avenue and Happy Valley Road **from** CP/GCP DVAO (Approved C-2 or CP/GCP DVAO) and S-1 DVAO (Approved C-2 or CP/GCP DVAO) **to** C-2 HGT/WVR DNS/WVR DVAO to allow a multifamily residential development.

Mr. David Simmons, staff, went over the request with the committee. He covered the existing General Plan Land Use designation on the site, the uses in the surrounding area, the height limitations as well as the mitigation efforts for noise due to the close proximity to the Deer Valley Airport. He also went over stipulation rationale with the committee.

Mr. Ed Bull, representing Greenlight Communities, explained that the intent of the request was for a height and density waiver to achieve the applicants' goals for the proposed multifamily development. He went over the site plan, landscape plan and conceptual elevations.

Mr. Russell Osborn shared that he feels the site is overplanted with trees and requested a formal review of the Tree and Shade Master Plan document at a future meeting.

Chairman Joseph Grossman asked if the initial proposal capped out at 292 units or if the applicants reduced this density as a result of staff concerns with density.

Mr. Bull explained that the density was a bit higher at the initial phase of review but was reduced due to increased open space areas.