



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-65-19-2
February 13, 2020

Desert View Village Planning Committee March 3, 2020
Meeting Date:
Planning Commission **Hearing Date:** April 2, 2020
Request From: [RE-35 \(Single-Family Residence District\)](#) (7.67 acres)
Request To: [R1-10 \(Single-Family Residence District\)](#) (7.67 acres)
Proposed Use: Single-family residential
Location: Northeast corner of 42nd Street and Peak View Road
Owner: Roger Malcolm
Applicant: Michael S. Buschbacher II, Hunter Engineering Inc.
Representative: Ron Homyak, Cachet Homes
Staff Recommendation: Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Residential 2 to 5 dwelling units per acre Residential 0 to 2 dwelling units per acre	
<u>Street Map Classification</u>	Peak View Road	Collector	40-foot north half right-of-way easement
	42nd Street	Local	30-foot east half right-of-way easement
<i>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i>			

The site is currently a single-family ranch residence adjacent to similar properties to the east and south. The proposed increase in density will provide additional housing options in the area while still being mindful of the character of the surrounding area.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.

A reasonable increase in density on this property will provide compatibility with smaller lot single-family subdivisions to the north and southwest of the site while remaining compatible in design and scale to the surrounding community. With the RE-35 and S-1 lots to the east and south, and the R1-6 lots to the southwest and north of the site, the development of R1-10 lots will be compatible with existing conditions and will act as an appropriate transition between the different lot sizes present in the area. The proposed home designs are consistent with other homes in the area.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Require appropriate transitions/buffers between neighborhoods and adjacent uses.

The development of the site as a single-family subdivision will provide an appropriate transition between the existing ranch residences and the single-family residential subdivisions in the area. This project will further serve as a buffer between the self-storage facilities to the west of the site and the remainder of the neighborhood.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Enhance the compatibility of residential infill projects by carefully designing the edges of the development to be sensitive to adjacent existing housing.

Lots that abut the large ranch residences to the east will be limited to a maximum height of one story and twenty feet, and include larger lot widths, to provide a reasonable buffer between the existing neighborhood conditions and the new development.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHARE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The proposal, as stipulated, will provide tree-shaded sidewalks which will help to increase pedestrian activity and reduce the urban heat island effect.

Applicable Plans, Overlays and Initiatives	
<u>North Land Use Plan</u>	– See Background Item No. 4.
<u>Tree and Shade Master Plan</u>	– See Background Item No. 8.
<u>Complete Streets Guiding Principles</u>	– See Background Item No. 9.
<u>Reimagine Phoenix</u>	– See Background Item No. 10.

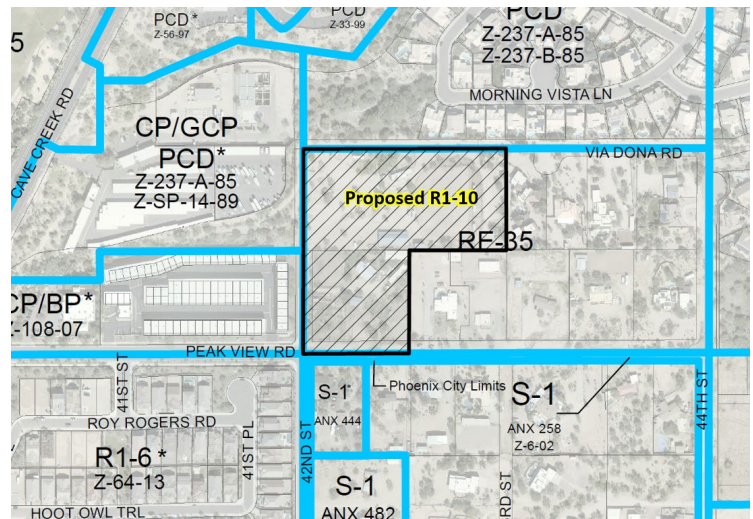
Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Single-family residence	RE-35
North	Single family residences	R1-6 PCD
South	Single-family residences	RE-35, S-1, County RU-43
East	Single-family residences	RE-35
West	Self-storage facilities	CP/BP, CP/GCP SP PCD

R1-10 Single-Family (Planned Residential Development Option)		
<i>*if variance required</i>		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed Site Plan</u>
Gross Acreage	-	7.67 acres
Total Number of Units	-	23
Density (du/ac)	3.5; 4.5 with bonus	Met – 3.0
Minimum lot width	45-foot minimum	Met – 70 feet
Common landscaped setback adjacent to perimeter streets (Peak View Road)	15 feet average, 10 feet minimum	Not shown
Minimum Perimeter Setbacks	<u>Street (Peak View Road):</u> 15 feet <u>Rear:</u> 15 feet (1-story), 20 feet (2-story) <u>Side:</u> 10 feet (1-story), 15 feet (2-story)	<u>Street (Peak View Road):</u> Not shown <i>All 1-story</i> <u>Rear:</u> 15 feet – Met <u>Side:</u> Not shown

	R1-10 Single-Family	*if variance required
Minimum Interior Setbacks	<u>Front:</u> 10 feet <u>Rear:</u> none (established by Building Code); <u>Street side:</u> 10 feet <u>Side:</u> none (established by Building Code)	<u>Front:</u> 10 feet – Met <u>Rear:</u> 15 feet – Met <u>Street side:</u> Not shown <u>Side:</u> 5 feet – Met
Lot Coverage	40%; 50% including shade structures	Not shown
Common Areas	Minimum 5% of gross area	11% – Met

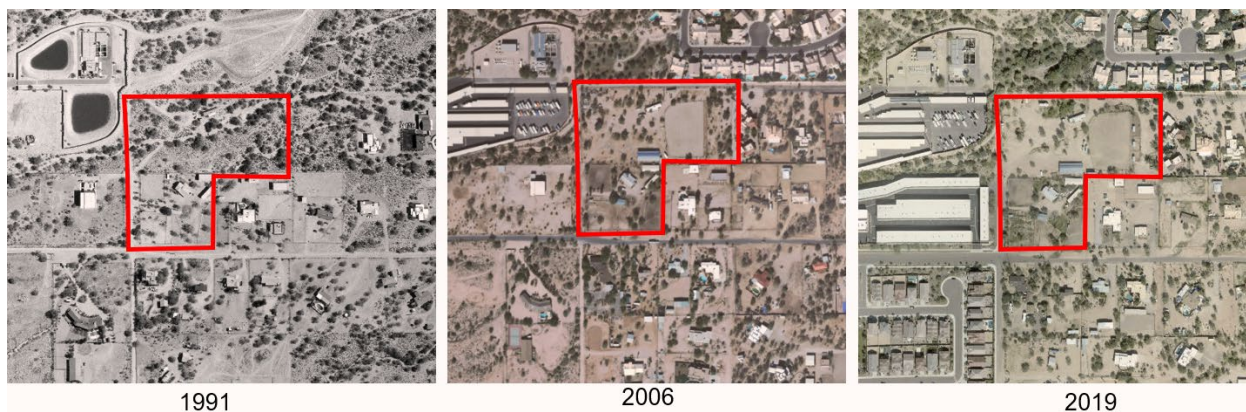
Background/Issues/Analysis

1. This is a request to rezone a 7.67-acre site located at the northeast corner of 42nd Street and Peak View Road from RE-35 (Residential Estate District) to R1-10 (Single-Family Residence District) to allow a single-family residential subdivision by Cachet Homes. The site is currently zoned RE-35 and, although it is located within the general area of the Tatum Ranch Planned Community District (PCD), it is not part of the PCD.



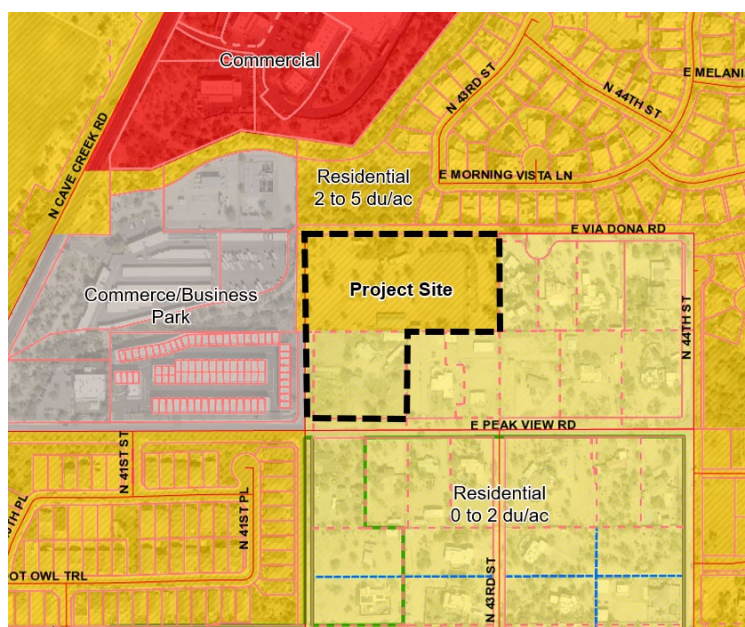
Source: City of Phoenix Planning and Development Department

2. The subject site was annexed into the City of Phoenix on January 19, 1975 under Annexation No. 121. The majority of the area was vacant land in 1991, with some large-lot single-family residences scattered throughout. Over time, the area has been developed into mostly single-family residential subdivisions, with some commercial uses to the west of the site along Cave Creek Road. The proposed development is similar in nature and design to the single-family residential subdivisions to the northeast and southwest of the site, which are zoned R1-6 (Single-Family Residence District).



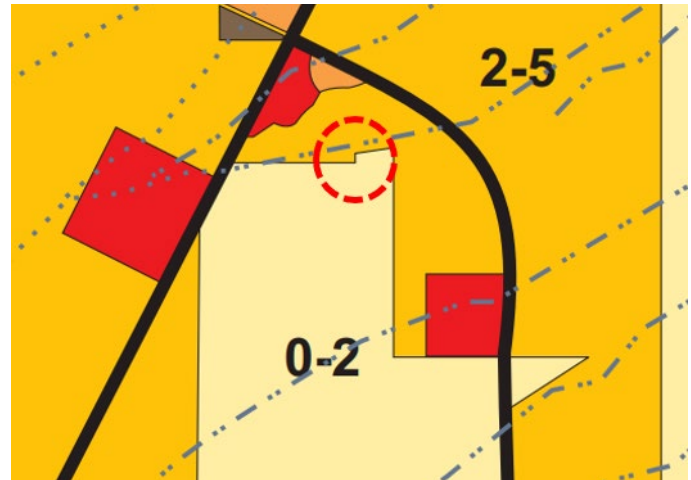
Source: Maricopa County Historical Aerials

3. The site has General Plan Land Use map designations of Residential 0 to 2 dwelling units per acre on the southern portion and Residential 2 to 5 dwelling units per acre on the northern portion. The northern portion is approximately 5 acres and, at a maximum allowed density of 5 dwelling units per acre, per the General Plan, can contain up to 25 units on site. The southern portion is approximately 2.7 acres, with a maximum density designation of 2 dwelling units per acre, which would result in a maximum of 5 dwelling units (rounded down from 5.4). As such, the entire project site permits a maximum of 30 dwelling units. The proposed development has a total of 23 dwelling units across both portions. As a combined development, the project will be consistent with the General Plan density designations.



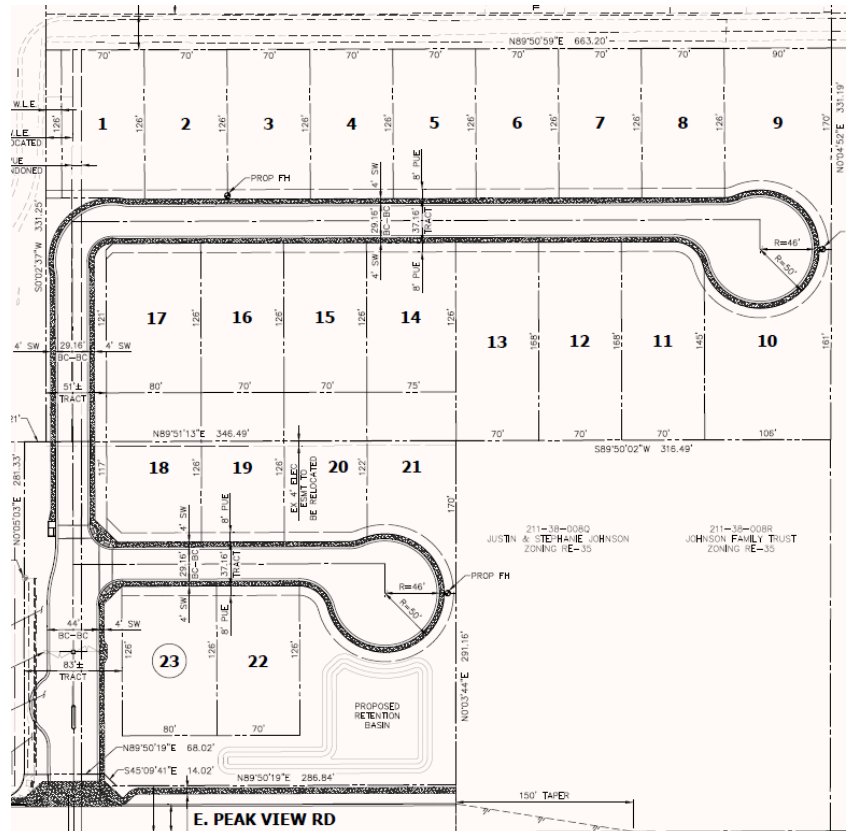
Source: City of Phoenix Planning and Development Department

4. The project site is located within the boundaries of the North Land Use Plan, which designates this area as Residential 0 to 2 dwelling units per acre on the southern portion of the site and 2 to 5 dwelling units per acre on the northern portion of the site. The North Land Use Plan was created in 1997 with the purpose of establishing growth patterns while preserving the desert landscape and character of the area. The plan recognizes the importance that the rural character and lifestyle play in determining appropriate land use densities. Similar to the General Plan Land Use Map designations, the North Land Use Plan lists two density designations for the project site: the northern portion is designated Residential 2 to 5 dwelling units per acre, and the southern portion is designated Residential 0 to 2 dwelling units per acre. As explained in Background Item No. 3, the development is permitted up to 30 dwelling units across the combined north and south parcels. The developer is proposing 23 residential lots, which is under the maximum allowed density. Further, staff is recommending that 23 lots be the maximum allowed on this site, which is addressed in Stipulation No. 3.



Source: City of Phoenix Planning and Development Department

5. The site plan depicts 23 single-family residential units under the Planned Residential Development option of the R1-10 zoning district. The common landscape area is located on the southeastern portion of the site and serves as a buffer between the project site and the property directly adjacent to the east, as well as providing some natural visual interest to the streetscape. The project will be a gated and contains two cul-de-sac interior streets. The site plan submitted with the request shows a minimum lot width of 70 feet.



Source: Hunter Engineering

- However, due to considerable site constraints such as water easement locations, street layouts and requirements regarding open space, landscaping, and pedestrian connectivity (see below), the minimum sizes of the lots are likely to fluctuate through the development process. The Planned Residential Development option of the R1-10 zoning requires a minimum lot size of 45 feet. To ensure that the proposed lots are compatible in scale to the surrounding neighborhoods, staff is recommending a minimum lot width of 65 feet, per Stipulation No. 4. The homes directly adjacent to the east of the project site are large lot residences. To minimize impact to these homes, staff is recommending that the development shall be limited to a maximum of 23 residential lots, per Stipulation No. 3, and all lots that abut the large lot neighbors will be limited to one story in height, per Stipulation No. 2.

6. Conceptual elevations were not submitted as part of this rezoning request. The Single-Family Design Review Standards in the Zoning Ordinance address building elements including, but not limited to the buildings' interface with the street, driveway orientation, street orientation, housing diversity, color diversity, roof diversity, building materials, plant palettes, exterior detailing, and garage treatment. Single-family design review is required for lots less than 65 feet in width. Although the proposed residential lots meet the threshold to not require Single-Family Design Review, staff is recommending Stipulation No. 1 to ensure high quality elevations.

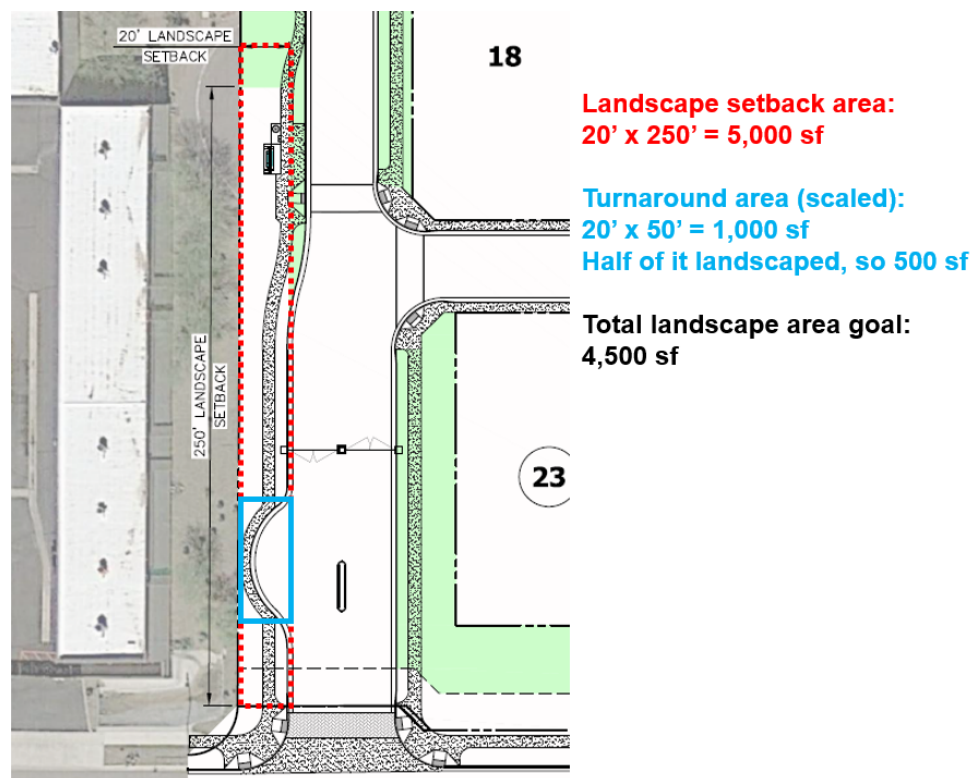
7. The developer has proposed high quality wall materials such as decorative split-face CMU block with scoured columns, which are required for all perimeter walls that are visible from public right-of-way or private streets, per Stipulation No. 10. Further, the developer has provided a Design Concept Plan which depicts an entryway with enhanced design and materials, therefore staff is recommending the development incorporates these features. This is addressed in Stipulation No. 11.



Source: Hunter Engineering

8. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff, increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. To support the City's urban forestry efforts, staff is recommending that the applicant provide a minimum 4,500 square-foot landscape area along the west side of 42nd Street and that the developer provide a minimum of 10 percent open space, both of which will be landscaped per Zoning Ordinance standards. These are addressed in Stipulations Nos. 5 and 7.

The minimum 4,500 square feet of landscape area on the west side of 42nd Street is being recommended in lieu of a minimum landscape setback due to site constraints - specifically, the street widths and the radius requirements for the vehicle turnaround south of the community gate. A minimum landscape setback width could create compliance difficulties as the developer moves through the development process to meet all technical street requirements. The minimum square footage stipulated is intended to guarantee that this area will be sufficiently landscaped while still giving the developer enough flexibility to change the layout if needed.



Staff is also recommending that the sidewalks along Peak View Road and the east and west sides of 42nd Street be detached with a 5-foot landscape strip between the sidewalk and back of curb, with trees planted on both sides of the sidewalk to provide pedestrians with adequate shade, per Stipulation No. 8. The size and layout of the site created challenges in providing detached sidewalks in all interior streets of the project, so the developer is required to plant at minimum two trees per residential lot to promote shade on the attached sidewalks, per Stipulation No. 9.

9. In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles, which are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To support these principles, staff has added stipulations to require that the developer construct a detached sidewalk, with the addition of landscaping between the sidewalk and the curb, on the north side of Peak View Road and the east side of 42nd Street, per Stipulation No. 8. The development has one main common open space area adjacent to Peak View Road. To provide connectivity from the northernmost residential lots to this open space, staff is recommending a pedestrian pathway be constructed, per Stipulation No. 6. Finally, staff recommends that the pedestrian crossing at the main entry driveway be constructed of a material other than that used to pave the drive aisles and parking surfaces to alert cars entering and exiting the community that pedestrians may be present, and increasing pedestrian safety. This is addressed in Stipulation No. 12.

10. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The City of Phoenix offers recycling collection for all single-family residences. The provision of recycling containers was not addressed in the applicant's submittals; however, per City Code, the City provides recycling containers and services to all single-family residences.

COMMUNITY INPUT SUMMARY

11. At the time this staff report was written, the applicant received one email from an adjacent neighbor stating concerns with the height of the proposed homes and potential light and noise pollution resulting from the proposal.

INTERDEPARTMENTAL COMMENTS

12. The Street Transportation Department has required that the developer dedicate 40-feet of right-of-way for the north half of Peak View Road and provide 25 feet of paving on this road from the monument line to the face of curb, per Stipulations No. 13 and 14. The department has also required that the developer extend and develop 42nd Street in accordance with City Code and development requirements if retained as a public street and that all streets be constructed with all required improvements, and comply to current ADA standards. These requirements are addressed in Stipulation Nos. 15 and 16.
13. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33 feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 17.

OTHER

14. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required

Findings

1. The overall proposal is consistent with the General Plan Land Use Map and North Land Use Plan designations of Residential 0 to 2 and 2 to 5 dwelling units per acre. On the entire site, a maximum of 30 dwelling units is permitted. The proposal consists of 23 units, making it consistent with the density designations.

2. As stipulated, the proposal is compatible with the surrounding land uses in specific regard to scale and density and will act as an appropriate buffer between the commercial use to the west and the existing single-family residences in the neighborhood.
3. The development will include detached sidewalks and trees along 42nd Street and Peak View Road which will provide increased connectivity as well as promote pedestrian-oriented design in the area.

Stipulations

1. The development shall be subject to Single-Family Design Review prior to final site plan approval, with the additional requirement that building materials and colors shall express a desert character and shall blend with, rather than strongly contrast with the desert environment, as approved by the Planning and Development Department.
2. Homes shall have a maximum height of one story and 20 feet on Lot Nos. 9, 10, 11, 12, 13, 21, 22, and 23, as depicted on the Site Plan date stamped December 9, 2019, as approved or modified by the Planning and Development Department.
3. The development shall not exceed 23 residential lots.
4. The minimum residential lot width shall be 65 feet.
5. The minimum open space provided shall be 10 percent.
6. A pedestrian connection shall be provided from the northern internal street to the common open space area abutting Peak View Road.
7. A minimum 4,500-square-foot landscape setback shall be provided on the west side of 42nd Street, as approved by the Planning and Development Department.
8. The sidewalks along the north side of Peak View Road, the east side of 42nd Street, and the first 250 feet of the west side of 42nd Street shall be detached with a minimum five-foot-wide landscaped strip located between the sidewalk and back of curb. Minimum 2-inch caliper shade trees shall be planted on both sides of the sidewalk at 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
9. On interior private accessways, shade trees shall be planted adjacent to sidewalks at a rate of a minimum of two, 2-inch caliper or greater shade tree provided at a spacing of 20 to 30 feet on center, depending on species, within the front yard of each residential lot and where sidewalks are adjacent to common area tracts, as approved by the Planning and Development Department.

10. All new perimeter walls where visible from Peak View Road shall include material and textural differences, such as stucco and/or split face block with a decorative element, such as tile, glass insets, or stamped designs, as approved by the Planning and Development Department.
11. The development entry shall incorporate decorative metal gates and signage as depicted on the Design Concept Plan date stamped January 31, 2020, as approved by the Planning and Development Department.
12. A pedestrian crossing, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided across the main entry driveway, as approved by the Planning and Development Department.
13. The developer shall dedicate 40 feet of right-of-way for the north half of Peak View Road, as approved by the Planning and Development Department.
14. The developer shall provide 25 feet of paving, from the monument line to the face of curb on Peak View Road, as approved by the Planning and Development Department.
15. The developer shall extend and develop 42nd Street in accordance with City Code and development requirements, if retained as a public street.
16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards
17. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Sofia Mastikhina

February 13, 2020

Team Leader

Samantha Keating

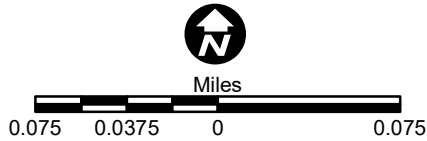
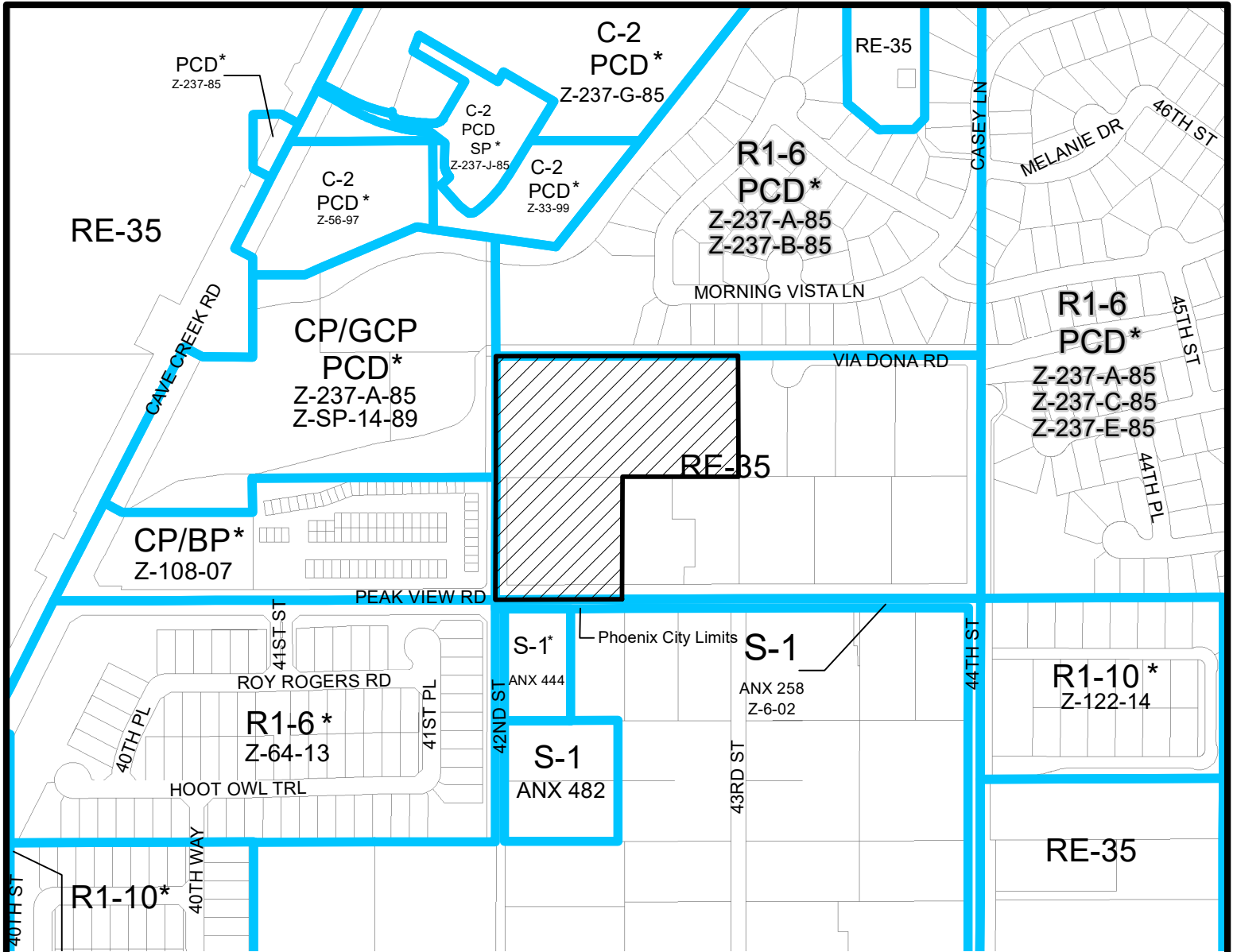
Exhibits

Sketch Map

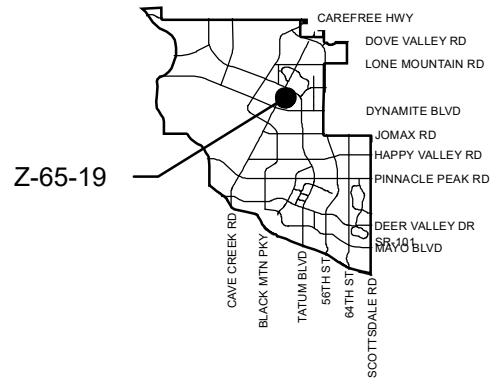
Aerial

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Site Plan date stamped December 9, 2019
Open Space Exhibit date stamped January 31, 2020
Design Concept Plan date stamped February 13, 2020
Community correspondence (2 pages)

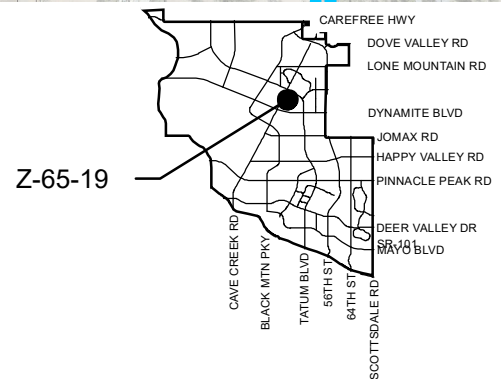
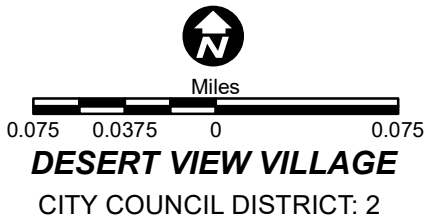
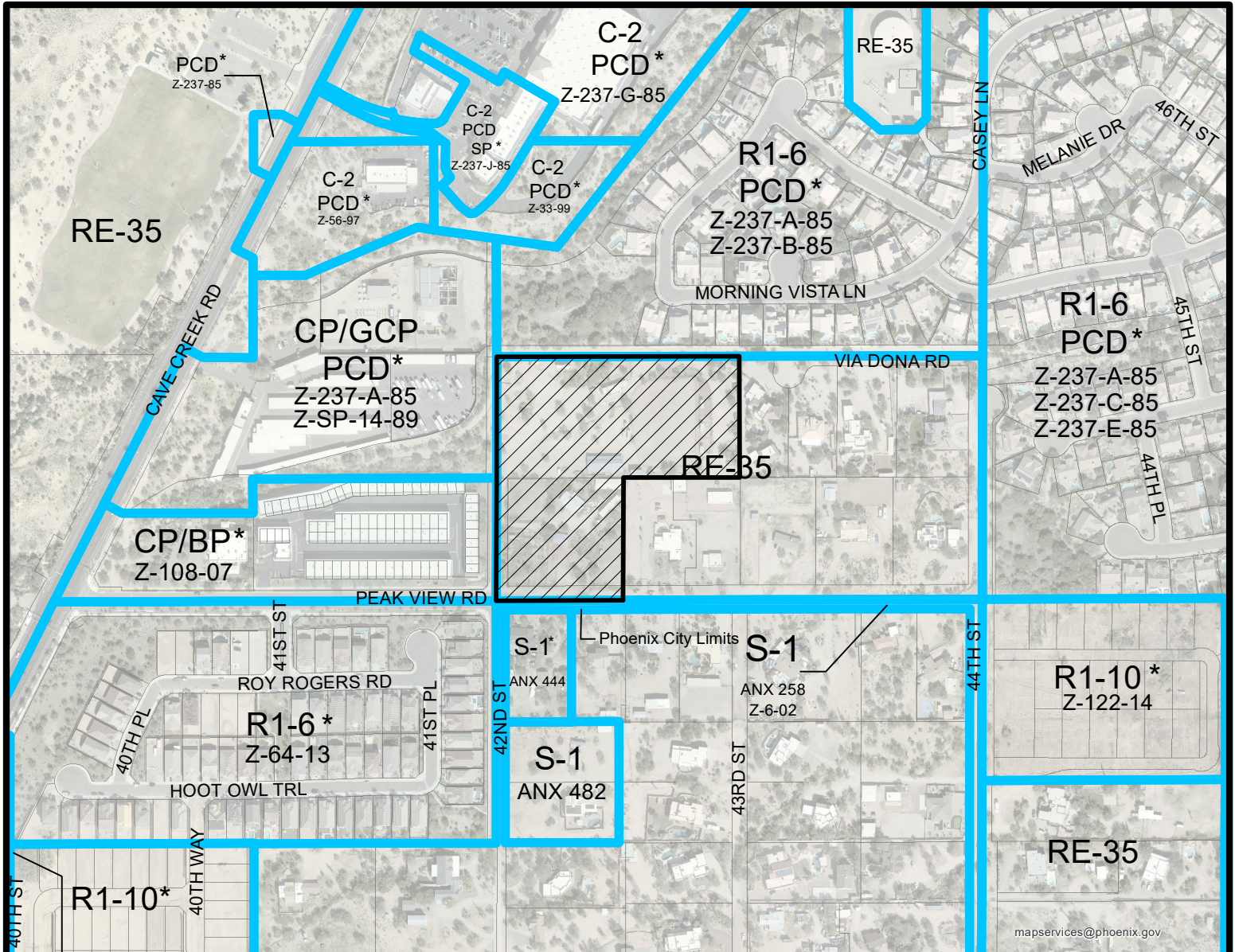


DESERT VIEW VILLAGE
CITY COUNCIL DISTRICT: 2



APPLICANT'S NAME: Michael S. Buschbacher II, Hunter Engg		REQUESTED CHANGE:	
APPLICATION NO. Z-65-19		FROM: RE-35 (7.67 a.c.)	
DATE: 1/06/2020 REVISION DATES: 2/04/2020		TO: R1-10 (7.67 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 7.67 Acres			
AERIAL PHOTO & QUARTER SEC. NO. QS 52-37		ZONING MAP Q-10	
MULTIPLES PERMITTED		* UNITS P.R.D. OPTION	
RE-35		10	
R1-10		34	
CONVENTIONAL OPTION		* UNITS P.R.D. Bonus	
8		10	
27		34	

* Maximum Units Allowed with P.R.D. Bonus



APPLICANT'S NAME: Michael S. Buschbacher II, Hunter Engg		REQUESTED CHANGE:	
APPLICATION NO. Z-65-19		FROM: RE-35 (7.67 a.c.)	
DATE: 1/06/2020 REVISION DATES:		TO: R1-10 (7.67 a.c.)	
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MULTIPLES PERMITTED		* UNITS P.R.D. OPTION	
RE-35		10	
R1-10		34	
* Maximum Units Allowed with P.R.D. Bonus		CONVENTIONAL OPTION	
		8	
		27	

SITE DESCRIPTION

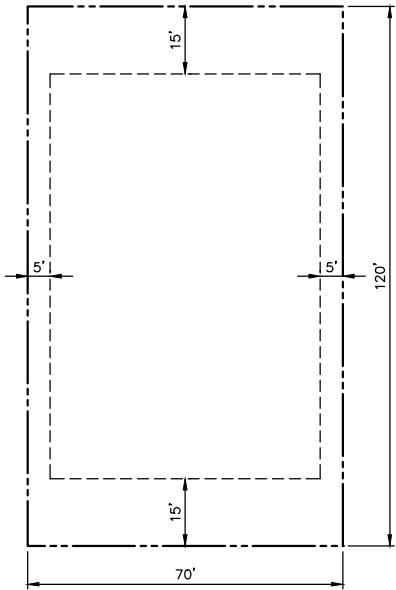
THE PROJECT ENCOMPASSES APPROXIMATELY 7.36 ACRES OF LAND AND IS LOCATED AT THE NWC OF PEAK VIEW ROAD AND NORTH 42ND STREET IN PHOENIX, ARIZONA. THE PROPOSED PROJECT WILL SEEK TO CREATE A NEW SINGLE-FAMILY RESIDENTIAL SUBDIVISION WITH A TOTAL OF 23 LOTS, COMMUNITY OPEN SPACE, THE ASSOCIATED ROADS AND THE REQUIRED UTILITIES. THE DEVELOPER OF THIS NEW SUBDIVISION WILL BE PROVIDING ADDITIONAL SINGLE-FAMILY HOUSING TO THE AREA WITH A DENSITY OF 2.98 DWELLING UNITS PER ACRE. THE PROJECT WILL SEEK A REZONE FROM RE-35 TO R1-8 PRO.

SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
3. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33'x33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
4. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
5. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.

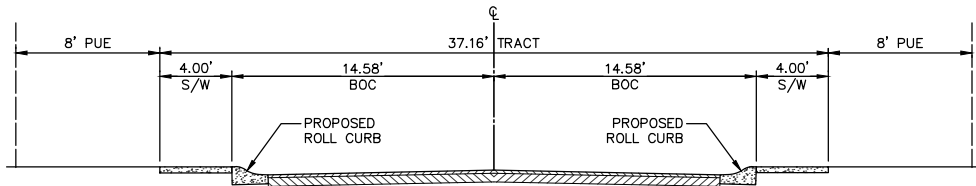
BUILDING SET BACKS

MINIMUM LOT WIDTH 70'
MINIMUM LOT DEPTH 120'
REQUIRED
MINIMUM FRONT 15' MIN
MINIMUM BACK 15' MIN
MINIMUM SIDES 5' MIN



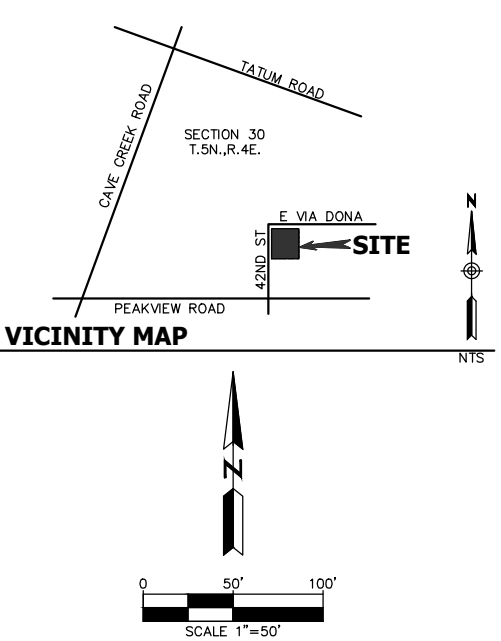
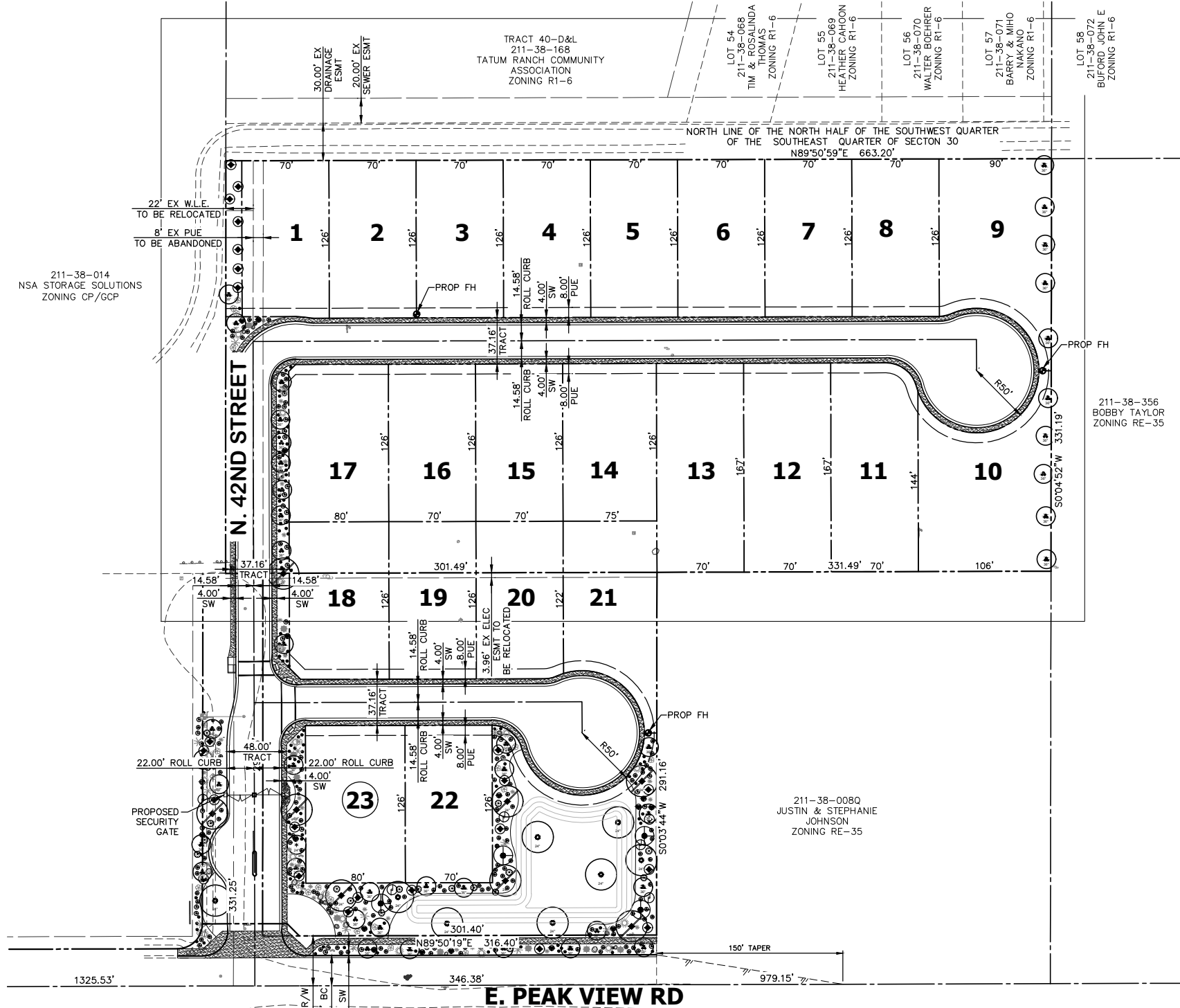
TYPICAL LOT
70' x 120' - 8,400 SF

TYPICAL PRIVATE DRIVE SECTION



SITE PLAN
FOR
PEAK VIEW SUBDIVISION
29025 N. 42ND ST.
PHOENIX, ARIZONA 85331

THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER; AND THE WEST 15 FEET OF THE EAST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;



SHEET INDEX

SITE PLAN. SP1.0

OWNER/DEVELOPER

CACHET HOMES
10446 N 74TH STREET SUITE 220
SCOTTSDALE, AZ 85258
PHONE: (480) 556-7000
CONTACT: MATT CODY
EMAIL: MHCODY@CACHETHOMES.NET

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
CONTACT: GRANT HIRNEISE, PE
EMAIL: GHIRNEISE@HUNTERENGINEERINGPC.COM

SITE LAYOUT SUMMARY

PARCEL NUMBER'S. 211-38-008K, & 211-38-335

SITE ACREAGE
NET. 7.36 ACRES±
GROSS. 320,601 SF±
GROSS. 7.71 ACRES±
GROSS. 335,817 SF±

ZONING
EXISTING. RE-35
PROPOSED. R1-8 PRD

LOT COVERAGE PROPOSED
MINIMUM LOT WIDTH. . . 70'
MINIMUM LOT DEPTH. . . 120'
NUMBER OF LOTS. . . . 23
DWELLING UNITS/ACRES. 2.98

GENERAL PLAN (UJ). . . . COMMERCE/BUSINESS PARK

SETBACKS
BUILDING FRONT. . . . 15'
BUILDING REAR. . . . 15'
BUILDING SIDES. . . . 5'
LANDSCAPE. 15'
GARAGE. 18' FROM SIDEWALK

BUILDING HEIGHT 30'
COMMON AREA PROVIDED . .
MAXIMUM DENSITY 5.0 DU/A

LEGAL DESCRIPTION

PARCEL NO. 1
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:
THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER; AND THE WEST 15 FEET OF THE EAST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER;
ALL IN SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE WEST 30 FEET THEREOF.

PARCEL NO. 2
THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE MERIDIAN, MARICOPA COUNTY, ARIZONA.

CITY OF PHOENIX

DEC 09 2019

Planning & Development
Department

NO. DATE REVISION BY

DESIGN BY: GH
DRAWN BY: KS
CHECKED BY: GH

PURPOSE:
PRELIMINARY SUBMITTAL

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

REGISTERED PROFESSIONAL ENGINEER
63946
GRANT D. HIRNEISE
Due 09/09/2019
ARIZONA, U.S.A.

SITE PLAN
FOR
CACHET AT PEAK VIEW
29025 N. 42ND STREET
PHOENIX, ARIZONA 85331

CONTRACT AROUND SITE AT LEAST 2 FEET
WORKING DAYS BEFORE YOU BEGIN EXCAVATION

AR ZONAS811
CALL 811 OR CLICK ARIZONAS811.COM

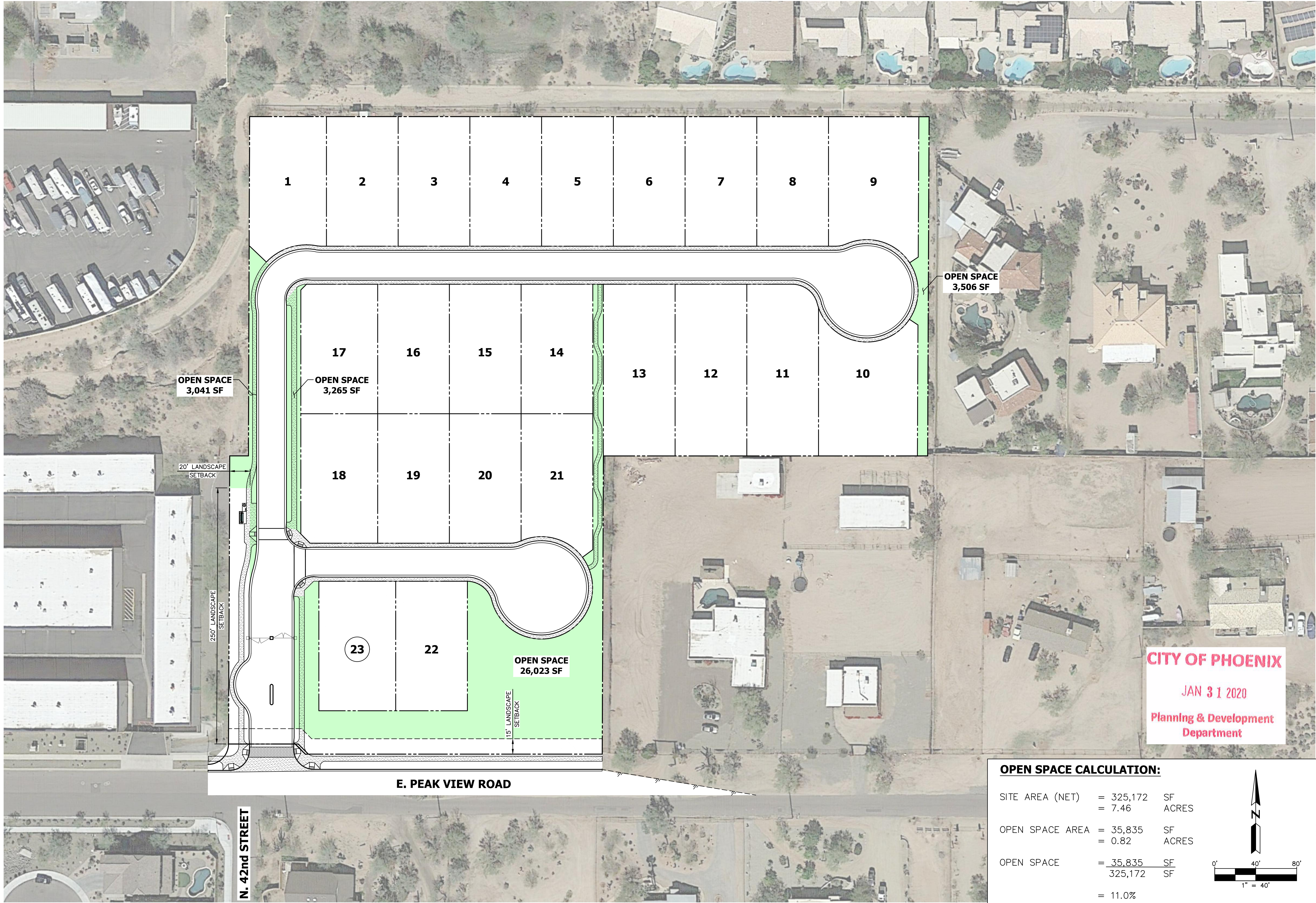
THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
PEAK
VIEW
SUBDIVISION

HE NO.: ADAM001
SCALE: 1"=50'

SHEET:
SP1.0

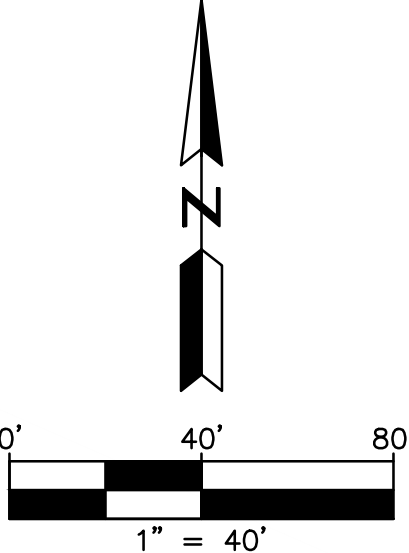
QS#52-37 KIVA #18-3908 SDEV 1800804



CITY OF PHOENIX
JAN 3 1 2020
Planning & Development
Department

OPEN SPACE CALCULATION:

SITE AREA (NET)	=	325,172	SF
	=	7.46	ACRES
OPEN SPACE AREA	=	35,835	SF
	=	0.82	ACRES
OPEN SPACE	=	35,835	SF
	=	325,172	SF
	=	11.0%	



NO. DATE REVISION BY

DESIGN BY: GDH
DRAWN BY: GDH
CHECKED BY: GDH

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

**OPEN SPACE EXHIBIT
FOR
PEAK VIEW SUBDIVISION
NEC E. PEAK VIEW RD AND N. 42ND ST
PHOENIX, ARIZONA**

CONTACT ARIZONA AT A LEAST 2-10
WORKING DAYS BEFORE THE PERM EXPIRATION
AR ZONAS811
CALL 811 OR VISIT ARIZONA811.COM

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MUNICIPALITY.

HE JOB NO.:
ADAM001

SCALE
1" = 40'

SHEET
1

PURPOSE:
AERIAL EXHIBIT

- 1 COMMUNITY GREAT LAWN
- 2 ENTRY SIGNAGE
- 3 ENTRY GATE
- 4 DESERT LANDSCAPE
- 5 DESERT WASH
- 6 SPLIT FACE CMU THEME WALL
- 7 THEME PILASTER
- 8 COMMUNITY MAILBOX
- 9 ENHANCED PAVING



CACHET AT PEAK VIEW
DESIGN CONCEPT

Sofia Mastikhina

From: Samantha Keating
Sent: Friday, January 17, 2020 8:43 AM
To: Sofia Mastikhina
Subject: FW: Rezoning case Z-65-19

FYI



Thank you,
Samantha Keating
Principal Planner
Long Range Planning
Office: 602-262-6823
200 West Washington Street
Phoenix, AZ 85003



From: Michael Buschbacher <mbuschbacher@hunterengineeringpc.com>
Sent: Friday, January 10, 2020 10:45 AM
To: Walter Boehrer <wboehrer@gmail.com>
Cc: Samantha Keating <samantha.keating@phoenix.gov>
Subject: RE: Rezoning case Z-65-19

Walter,

Again, thank you for your email. I have discuss this with the developer and the homes will be single story.

To summarize again, we will only be putting in the minimum required street lighting for a development with private streets. These few lights will be shielded.

We must comply with the City for the intersection of Peak View and 42nd Street since those are public streets, but that should be a good distance from your lot.

Thanks for your inquire, we hope you will support the project as we move forward.

Best Regards,

Michael S. Buschbacher II, AICP, ASLA
Principal Planner, Senior Urban Designer



[\[hunterengineeringpc.com\]](http://hunterengineeringpc.com)

10450 N. 74th Street, Suite 200

Scottsdale, AZ 85258
Phone: (480) 991-3985
Fax: (480) 991-3986

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From: Walter Boehrer <wboehr@gmail.com>
Sent: Friday, January 10, 2020 9:23 AM
To: Michael Buschbacher <mbuschbacher@hunterengineeringpc.com>
Cc: samantha.keating@phoenix.org
Subject: Rezoning case Z-65-19

Hi Michael,

I just got a letter in the mail a couple of days ago about rezoning case Z-65-19 near Peak View and 42nd Street.

My home is adjacent to the property and would be directly affected by this rezoning. When purchasing my property, the major reasons why I choose to purchase the property was the unobstructed views to the South, how quiet the area was, how dark the area was, and that the property to the South was zoned RE-35 so there would be limited development on the property.

Although in theory I don't mind that the property be rezoned, what I am concerned about is what the impact of the rezoning will have on what drew me to the location originally.

From what I see in the artist renditions is that these homes are single level homes. However, according to the site plan document, the homes can be up to 30 feet high, which could house a 2 story building. Since the site plan states that the structures can be 30 feet, this would not prevent the developer from putting up a 30 foot structure. This is of major concern as the setback or only 10 feet from the property line in the back of the property.

Another concern is the noise and light pollution to the area. Although Phoenix is not a dark sky community, the area is a dark sky area, with Cave Creek becoming certified as a dark sky community. What is being done to ensure that these properties do not impact the noise and light levels?

I hope to be at the meeting on Monday night, but due to the late notice I'm not sure if I will be able to attend.

Thanks,
Walter Boehrer