

PLEASE RESPOND ELECTRONICALLY TO BRAD WYLAM 2ND FLOOR, 602-256-3322



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned
From: Alan Stephenson
Planning & Development Department Director
Date: April 15, 2022
Subject: **P.H.O. APPLICATION NO. PHO-3-22--Z-120-00-7** – Notice of Pending Actions by the **Planning Hearing Officer**

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **May 18, 2022**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **April 22, 2022**.

DISTRIBUTION

Mayor's Office (Lisa Fernandez), 11th Floor
City Council (Sina Matthes, Tony Motola), 11th Floor
Aviation (Sheldon Daisley)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Aaron Conway), 2nd Floor
Light Rail (Joel Carrasco/Special TOD Only)
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Natasha Hughes), 16th Floor
Public Transit (Michael Pierce)
Public Works (Ray Dovalina, Kristina Jensen, Elise Moore, Rudy Rangel), 5th Floor
Street Transportation Department (Maja Brkovic, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Mailen Pankiewicz), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Alan Stephenson, Joshua Bednarek), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Tricia Gomes, Adam Stranieri, Brad Wylam), 2nd Floor
Village Planner (Nayeli Sanchez Luna, Estrella Village)
Village Planning Committee Chair (Mark Cardenas, Estrella Village)



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-3-22--Z-120-00-7

Council District: 7

Request For: Stipulation Modification

Reason for Request: Modification of Stipulation 1 regarding general conformance to site plan date stamped January 28, 2008 and elevations date stamped April 14, 2005 and January 11, 2008. Technical corrections to Stipulations 5, 6, and 10.

Owner	Applicant	Representative
GDC 25TH & PEORIA LLC 6900 East Camelback Road Scottsdale AZ 85251 (480) 970-4005 tina@gdc-az.com	Jesse Macias, M3 Design 2645 North 7th Avenue Phoenix AZ 85007 (480) 528-3136 jmacias@m3designllc.com	Jesse Macias, M3 Design 2645 North 7th Avenue Phoenix AZ 85007 P: (480) 528-3136 F: jmacias@m3designllc.com

Property Location: Approximately 375 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road

Zoning Map: E-4 Quarter Section: 7-13 APN: 104-37-635 Acreage: 2.31

Village: Estrella

Last Hearing: CC HEARING

Previous Opposition: No

Date of Original City Council Action: 12/13/2000

Previous PHO Actions: 06/22/2005 03/19/2008

Zoning Vested: C-2

Supplemental Map No.: _____

Planning Staff: 065957

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning.mailbox@phoenix.gov or visit our website at <http://phoenix.gov/pdd/licensetimes.html>.

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

Fee	Fee Waived	Fee Date	Receipt	Purpose
\$1,080.00	\$0.00	03/14/2022	22-0024176	Original Filing Fee

Signature of Applicant: _____ DATE: _____

Hearing Results

Planning Hearing Officer	Planning Commission	City Council
Date: <u>05/18/2022 1000 AM</u>	Date: _____	Date: _____
Appealed?: _____	Appealed?: _____	Appealed?: _____
Action: _____	Action: _____	Action: _____



**COBBLESTONE CAR WASH
PROJECT NARRATIVE**

April 14th, 2022

CITY OF PHOENIX
ZONING DEPARTMENT
200 W. WASHINGTON
PHOENIX, AZ 85003

RE: **PHO –CAR WASH/DRIVE-THRU FACILITY**
Proposed Cobblestone Express/Drive-thru Pad
NEC 67th Avenue & Lower Buckeye Rd
Phoenix, AZ 85043

Dear City of Phoenix Zoning Team:

We are very pleased to be submitting for PHO review of Proposed Cobblestone Express Car Wash/Drive-Thru Landscape Plan located at NEC 67th Avenue and Lower Buckeye Rd. The 1.95 Acre parcel which is Zoned C-2 and is currently vacant parcel just north of existing CVS Pharmacy.

The proposed facility will include proposed 5,600 sf Car Wash Building that will include a Car Wash Tunnel/Equipment/Electrical Room. We are also proposing 28 On-Site Parking spaces, with 25 that also function as Covered Vacuum Stanchion requiring said CUP. All Vacuum equipment (Motors/VFD) will be housed within Main Building or CMU Enclosure thus eliminating any concerns with Noise at Customer Stanchions as well as existing adjacent development. A Use Permit for Open Car Wash was secured on 2-24 ZA Hearing (ZA-694-21). The future Drive-thru Restaurant is an 800sf facility with no indoor public service/dining with Drive-thru and 2 parking spaces provided. Use Permit for Drive-thru and Outdoor Dining has been submitted and awaiting ZA Hearing.

There are 2 Existing Curb Cuts off of 67th Avenue, Frontage Landscape and on-site access connection to existing CVS, all which will remain with no proposed revisions. Our proposed Development will provide On-Site Landscaping and Lighting all which fulfill one of City's Infill Program to develop vacant, unsafe and blighted parcels within existing Commercial/Residential communities. We are confident our proposed development meets and exceed General Plan and provides much needed quality services and goods to the local South Phoenix Community.

Z-120-00-7:

Stipulation 1 - Modification

1)That Development shall be in general conformance to the site plan date stamped ~~January 28, 2008~~ **March 14th, 2022** and elevations date stamped ~~April 14, 2005 and January 11, 2008,~~ **March 14th, 2022** as may be modified by the ~~Development Services Department~~ **PLANNING AND DEVELOPMENT DEPARTMENT.**



**COBBLESTONE CAR WASH
PROJECT NARRATIVE**

Per PHO Stipulation our proposed Site Plan is more in compliance with Site Plan approved in 2005 PHO, however varies from Site Plan in 2008 case, thus requires re-approval. Our proposed Site Plan is comprised of 2 Pad Buildings, Express Car Wash, which we have secured Use Permits for Open Car Wash, and Future Drive-thru User. The proposed Drive-thru Pad is in same location as previously proposed Drive-thru Pad on both 2005 and 2008 Approved Site Plans. Commercial Development is ever-changing and what was proposed in 2008 has changed due to Development Market shifts, available Retailers thus parcel remains vacant. We are confident our proposed Development meets and exceeds General Plan Commercial Designation as well as provide quality services and goods to the local South Phoenix Community.

We appreciate the opportunity to be submitting for PHO Hearing. Please do not hesitate to contact us if you should have any questions and/or need any additional clarifications or supplement information.

Respectfully



A handwritten signature in blue ink, appearing to read 'Jesse Macias'.

Jesse Macias
President
2645 N 7th Avenue
Phoenix, AZ 85007
jmacias@m3designllc.com



City of Phoenix
PLANNING DEPARTMENT

March 20, 2008

K & I Architects, Mark Bowker
1850 North Central Avenue, Suite 200
Phoenix, AZ 85004

RE: Z-120-00-7 - Approximately 340 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road.

Dear Applicant:

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.1 of the Zoning Ordinance, has on March 19, 2008, concurred with the recommendation of the Planning Hearing Officer and has ratified application Z-120-00-7 for modification of stipulation 1 regarding general conformance to the site plan.

STIPULATION

- 1.** That development shall be in general conformance to the site plan date stamped January 28, 2008 and elevations date stamped April 14, 2005 and January 11, 2008, as may be modified by the Development Services Department.
2. That loading dock areas be depressed.
3. That only two driveways be allowed on each street frontage.
4. That a minimum 75 x 75 foot landscape entry be provided at the 67th Avenue and Lower Buckeye Road.
- 5.** That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Multi-Purpose Trails Plan along Lower Buckeye Road.
- 6.** That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Major Street Landscape Program designed for all arterial streets.
7. That proposed development adjacent to future transit locations shall integrate the transit stop/shelter with the site, providing convenient access to pedestrians and

- persons with disabilities, as may be approved by the Public Transit Department. That right-of-way for arterial streets shall be dedicated as per the approved Street Classification Map.
8. That adjacent streets shall be constructed with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
 9. That landscaping shall be provided along east property line and main entry ways with 2 inch caliper trees placed 20 feet on center. A landscape plan shall be submitted for administrative approval by the Planning Hearing Officer prior to final site plan approval.
 10. A bus bay and transit pad shall be located northbound 67th Avenue on the far side on Lower Buckeye Road as approved by the Streets Transportation Department.

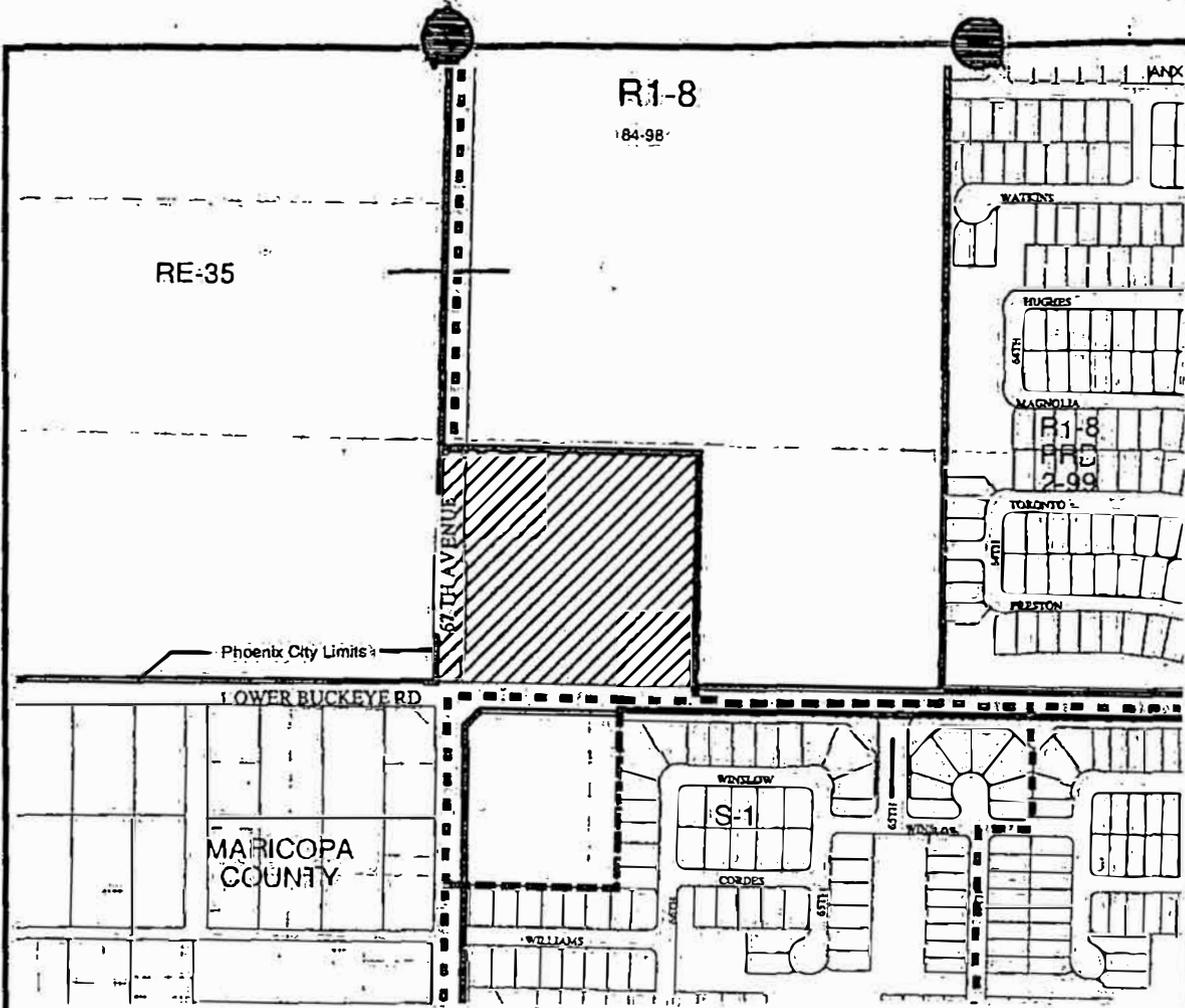
Development and use of the site is subject to compliance with all applicable codes and ordinances.

Sincerely,



Alan Stephenson
Principal Planner

cc: Book Case File
ABS Group/Aaron Sher 9907 East Bell Road, Suite 110 Scottsdale AZ 85206
(Sent electronically) Kelly Walker; Racelle Escolar; Jay Neville; Dave Barrier;
E.J. Hyncik, Public Transit



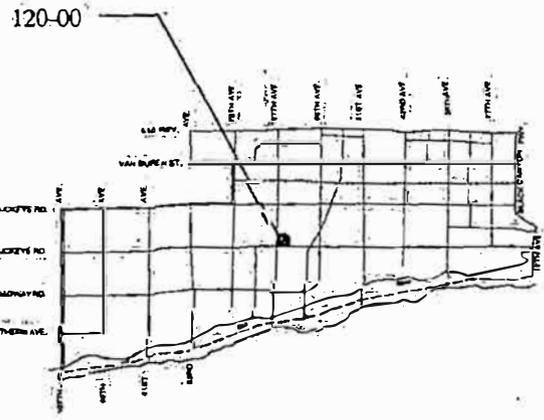
400 0 400 Feet

GRAPHIC SCALE IN FEET

CITY OF PHOENIX PLANNING DEPARTMENT

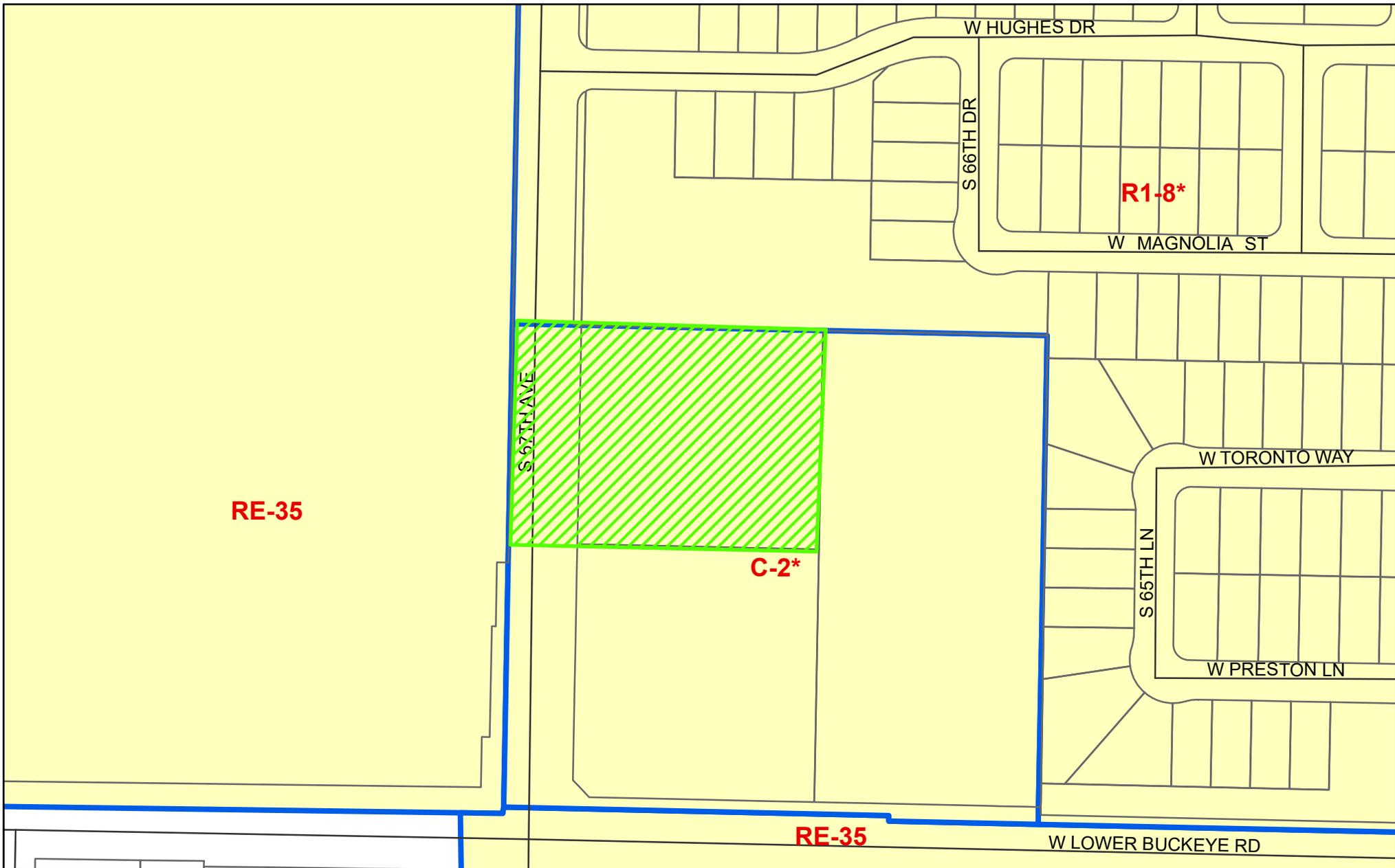
Estrella Village

CITY COUNCIL DISTRICT: 7



APPLICANT'S NAME: CITY OF PHOENIX PLANNING COMMISSION		REQUESTED CHANGE:	
APPLICATION NO.: 120-00	DATE: 10-13-2000 REVISION DATES:	FROM: County C-2 P.D.	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 9.60 Acres	AERIAL PHOTO & QUARTER SEC. NO. 7-13	ZONING MAP: E-4	TO: C-2
MULTIPLES PERMITTED	UNITS STANDARD OPTION	* UNITS P.R.D. OPTION	

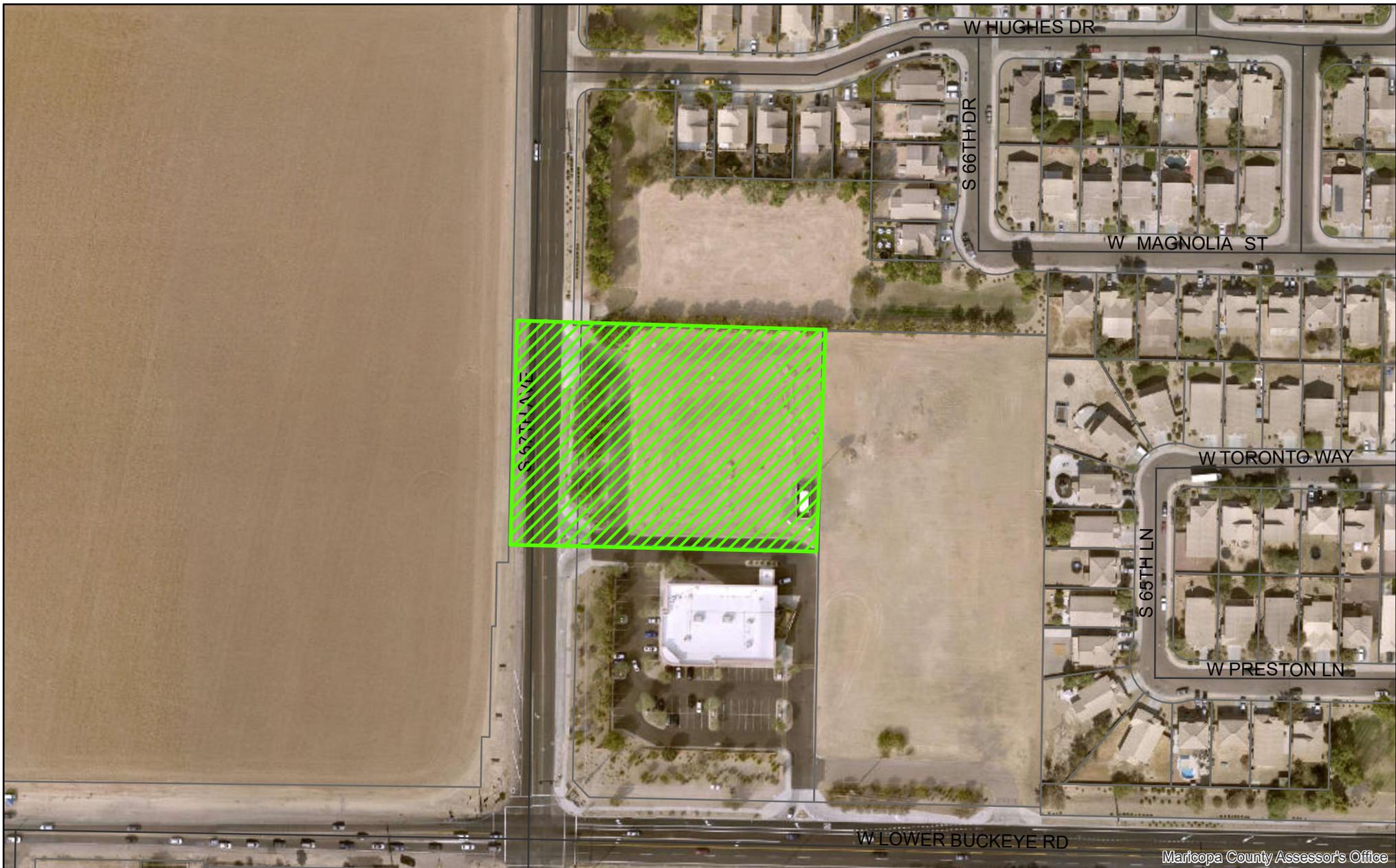
* Maximum Units Allowed with P.R.D. Bonus



PHO-3-22--Z-120-00-7

Property Location: Approximately 375 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road



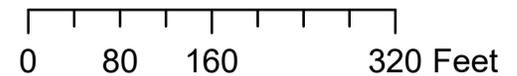


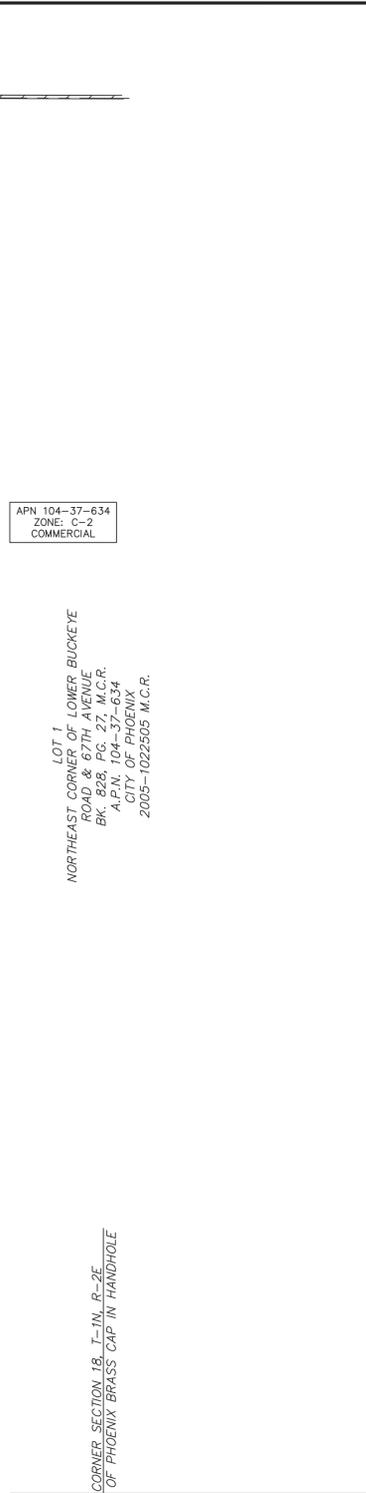
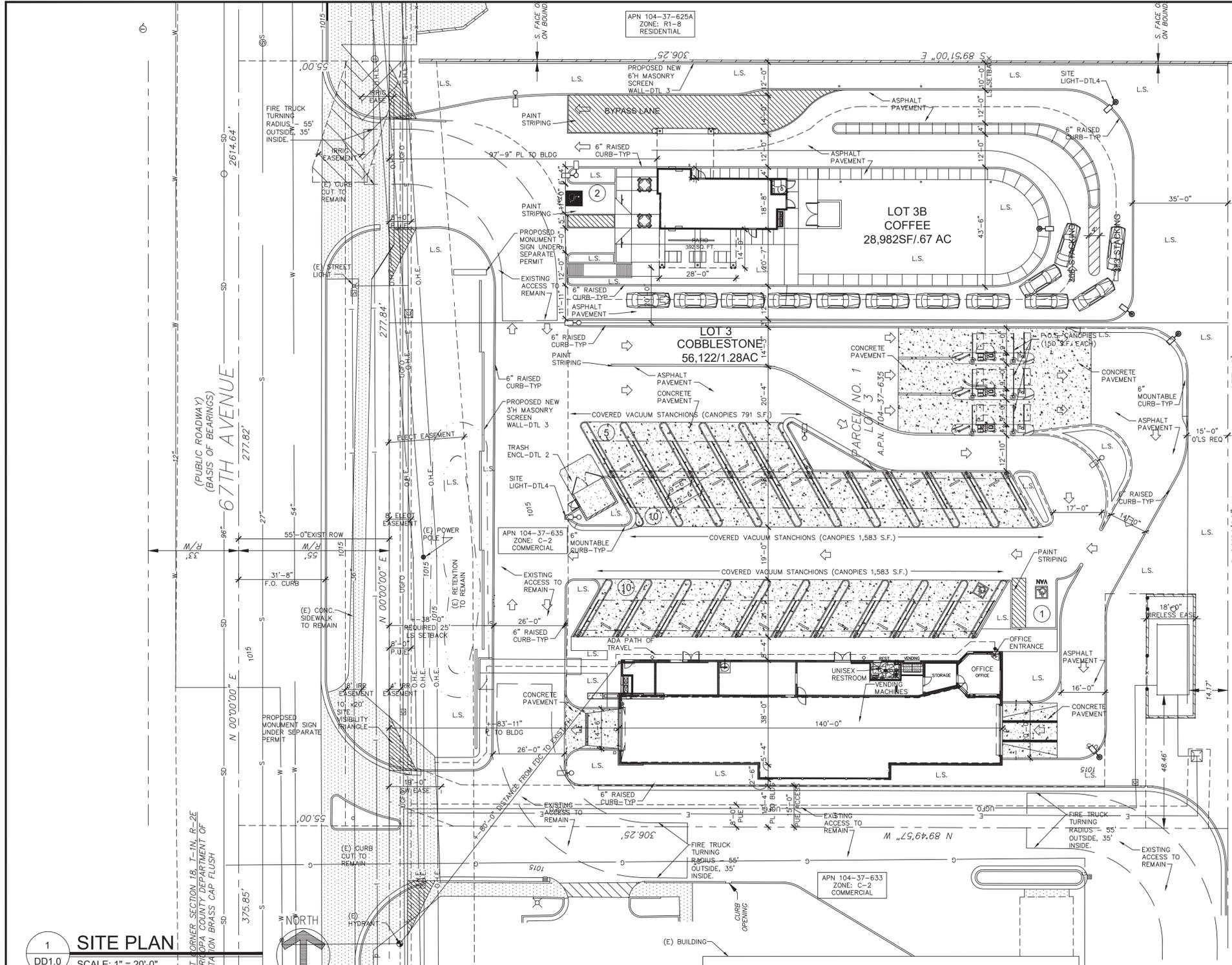
PHO-3-22--Z-120-00-7

Property Location: Approximately 375 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road



Planning & Development Department





PROJECT DATA

PROJECT NAME:	COBBLESTONE EXPRESS CARWASH COMMERCIAL DEVELOPMENT NEC 67TH AVENUE & LOWER BUCKEYE PHOENIX, ARIZONA 85043
EXISTING USE:	VACANT
PROPOSED USE:	EXPRESS CAR WASH
OWNER:	COBBLESTONE AUTO SPA 8900 E BAHIA DRIVE SCOTTSDALE, AZ 85043 (602) 787-0808 CONTACT: TUCK BETTIN
ARCHITECT:	M3 DESIGN 2645 N 7TH AVE PHOENIX, ARIZONA 85007 (480)528-3136 CONTACT: JESSE MACIAS

SITE DATA

SITE GROSS AREA:	100,381 S.F. / 2.30 AC															
SITE NET AREA:	85,101 S.F. / 1.95 AC															
APN #:	104-37-635															
GENERAL PLAN DESIGNATION:	COMMERCIAL															
ZONING:	C-2															
BUILDING FOOTPRINT:	5,600 S.F. CAR WASH 800 S.F. COFFEE															
PARKING COVERAGE:	6,400 S.F. / 85,101 S.F. = 7.5%															
PARKING CANOPIES:	3,957 S.F.															
P.O.S. CANOPIES:	450 S.F.															
TOTAL CANOPIES:	4,962 S.F.															
BUILDING HEIGHT:	MAXIMUM: 30'-0" PROVIDED: ±30'-0"															
LANDSCAPE:	29,415 S.F. / 85,101 S.F. = 34.6%															
IMPERVIOUS COVERAGE:	49,286 S.F. / 85,101 S.F. = 57.9%															
SETBACKS:	<table border="1"> <tr> <th>SETBACKS</th> <th>REQD.</th> <th>PROVIDED:</th> </tr> <tr> <td>STREET FRONT (WEST)</td> <td>38'-0"</td> <td>38'-0"</td> </tr> <tr> <td>SIDE (NORTH)</td> <td>10'</td> <td>10'-0"</td> </tr> <tr> <td>SIDE (SOUTH)</td> <td>0'</td> <td>2'-6"</td> </tr> <tr> <td>REAR (EAST)</td> <td>0'</td> <td>15'-0"</td> </tr> </table>	SETBACKS	REQD.	PROVIDED:	STREET FRONT (WEST)	38'-0"	38'-0"	SIDE (NORTH)	10'	10'-0"	SIDE (SOUTH)	0'	2'-6"	REAR (EAST)	0'	15'-0"
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STREET FRONT (WEST)	38'-0"	38'-0"														
SIDE (NORTH)	10'	10'-0"														
SIDE (SOUTH)	0'	2'-6"														
REAR (EAST)	0'	15'-0"														
TYPE OF CONSTRUCTION:	VB - SPRINKLERED															
OCCUPANCY TYPE:	B (BUSINESS)															
PARKING:	CAR WASH REQUIRED: (1) SPACE PER 3 NON-OFFICE EMPLOYEES AND (1) SPACE PER 300 S.F. OF OFFICE AND SALES AREA AND (2) SPACES PER 24' OF WASH BAY NUMBER OF EMPLOYEES: 3 NON-OFFICE, 1 OFFICE = 1 SPACE TOTAL S.F. OF OFFICE SPACE = 1 SPACE 190 S.F. = 1 SPACE TOTAL LINEAR FOOTAGE OF WASH BAY: 140'-0"/24' X 2 = 12 SPACES TOTAL REQUIRED: 14 SPACES COFFEE REQUIRED: (1 SPACE PER 50SF DINING/PATIO) 392/50 = 8 SPACES PARKING PROVIDED: 25 SPACES COVERED PARKING SPACES: 2 SPACES ACCESSIBLE PARKING SPACES: 1 SPACE STANDARD PARKING SPACES: 1 SPACE TOTAL PROVIDED: 28 SPACES															

PROJECT DESCRIPTION

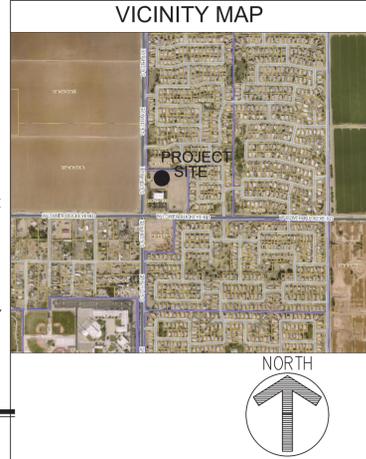
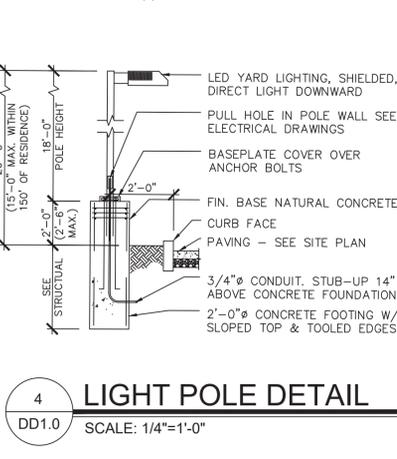
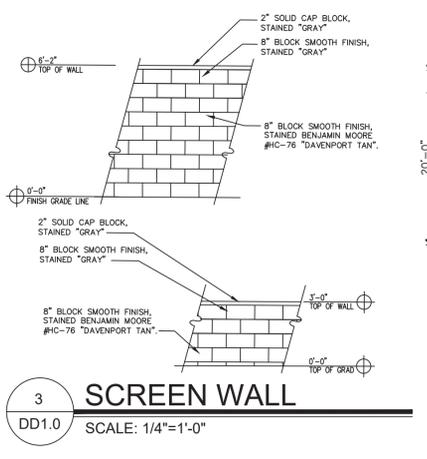
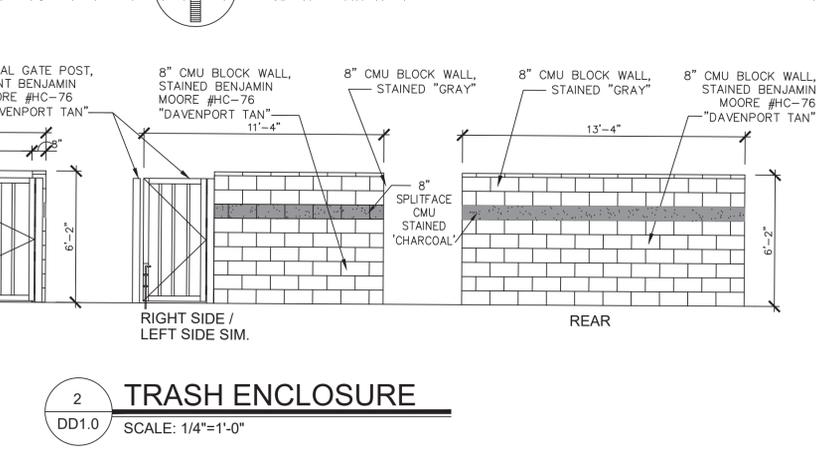
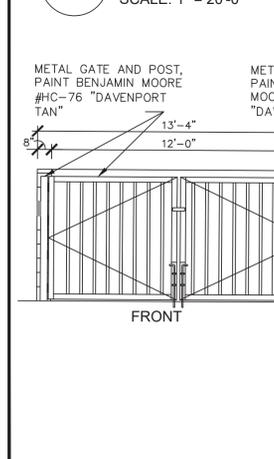
NEW EXPRESS CAR WASH FACILITY WITH 5,600 S.F. CAR WASH BUILDING, TWENTY-EIGHT (28) SELF-SERVE COVERED VACUUM STATIONS, THREE (3) PARKING SPACES AND THREE (3) COVERED PAY STATIONS. NEW 800SF COFFEE KIOSK WITH (1) ADA AND (1) STD SPACE WITH OUTDOOR PATIO

LEGAL DESCRIPTION

LOT 1 AS SHOWN ON FINAL PLAT FOR MARYVALE MALL AMENDED ACCORDING TO BOOK 691 OF MAPS PAGE 29 THEREOF, RECORDS OF MARICOPA COUNTY, ARIZONA.

CITY OF PHOENIX SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.



APPROVAL STAMPS

CITY OF PHOENIX

MAR 14 2022

Planning & Development Department

KIVA: _____

SDEV: _____

PAPP: _____

Q.S.: 17-16

ZA: _____

2645 NORTH 7TH AVENUE
 PHOENIX, ARIZONA 85007

COBBLESTONE EXPRESS CARWASH
NEC 67TH AVENUE & LOWER BUCKEYE
PHOENIX, ARIZONA 85043
 SITE PLAN

DATE: 2020-01-22

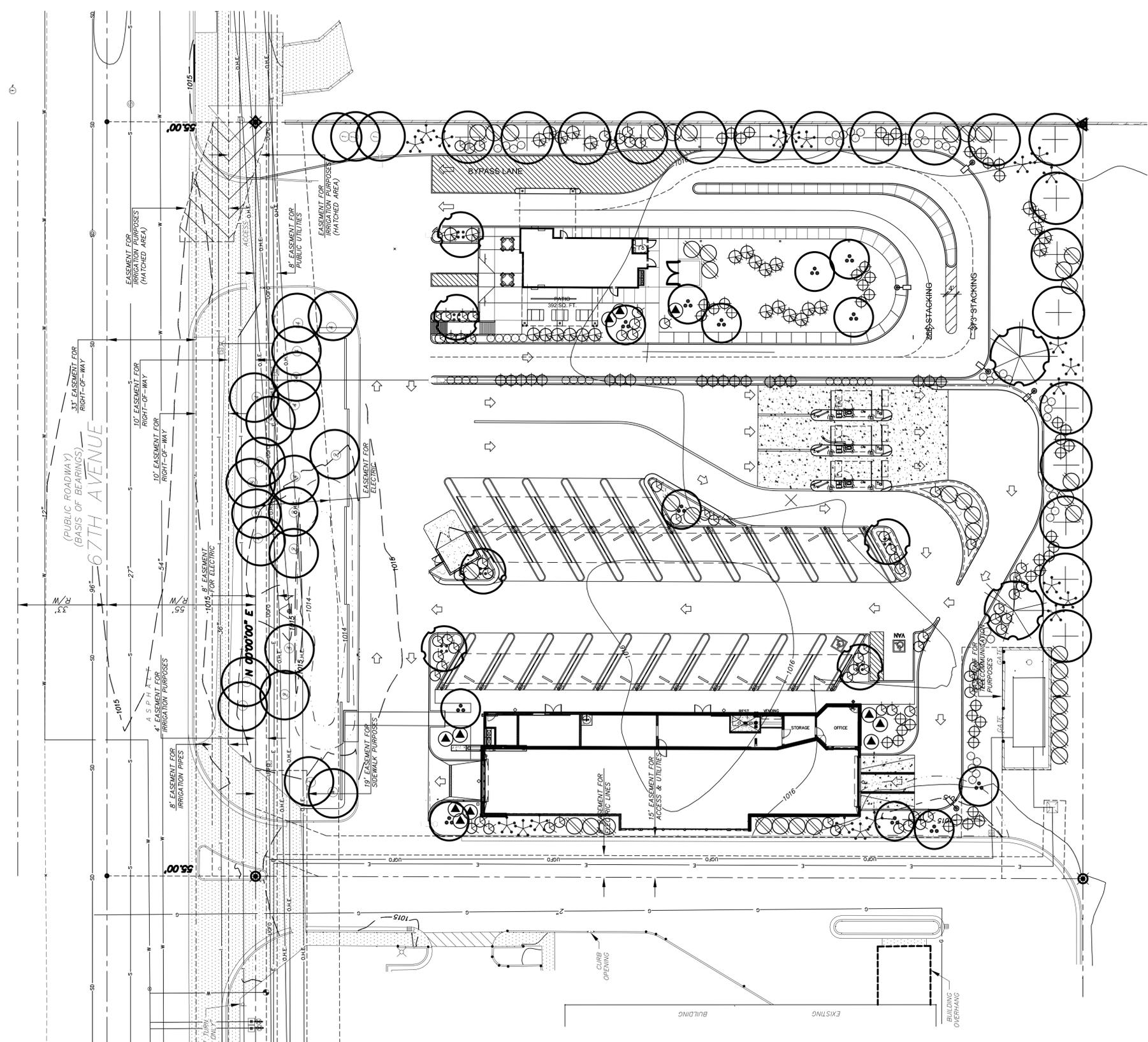
SCALE: SCALE

DRAWN BY: JM

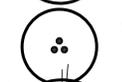
PROJECT NUMBER: CBL19001.0

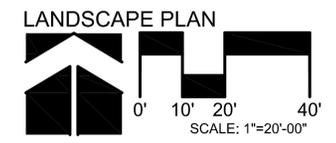
SHEET: DD1

REV: _____



LANDSCAPE LEGEND

-  EXISTING TREE
PROTECT FROM
CONSTRUCTION
 -  ACACIA ANEURA
MULGA (SRP/APS APPROVED)
2" CALIP., 5.5T, 4"W
 -  SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
1.5" CALIP. (MULTI) 4T, 3.5"W
 -  CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
2" CALIP., 6.5T, 4.5"W
 -  ACACIA SALICINA
WILLOW ACACIA
2" CALIP. 7.5T, 4"W
 -  PATCHYCERUS MARGINATUS
MEXICAN FENCE POST
15 GALLON
 -  CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
 -  TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
 -  HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
 -  LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON
 -  CALISTOMON 'LITTLE JOHN'
LITTLE JOHN BOTTLE BRUSH
5 GALLON
 -  EUPHORBIA RIGIDA
GOPHER PLANT
5 GALLON
- 1/2" SCREENED (MATCH STREET FRONTAGE)
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



CITY OF PHOENIX
MAR 14 2022
Planning & Development
Department

KIVA NO:
CCPR NO:
SDEV NO:
LPRN NO:
Q-S NO:

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320
EMAIL: timmccqueen@tjma.net



2008 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007



COBBLESTONE EXPRESS CARWASH
67th AVENUE AND LOWER BUCKEYE
PHOENIX, ARIZONA

DATE:	2021-07-01
SCALE:	
DRAWN BY:	JM
PROJECT NUMBER:	CBL21013.0
SHEET:	La.02
REV:	



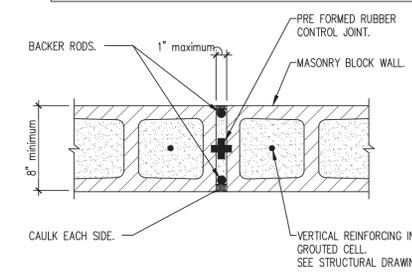
ELEVATION KEY NOTES

- 1 OPENING
- 2 BUILDING ADDRESS - GC TO VERIFY LOCATION AND SIZE WITH CITY.
- 3 ALUMINUM FRAME WITH GLAZING.
- 4 SPLIT FACE CMU CONSTRUCTION.
- 5 CMU WALL CONSTRUCTION.
- 6 WESTERN 1-KOTE STUCCO FINISH
- 7 TUBE STEEL STRUCTURAL FRAME.
- 8 HOLLOW METAL DOOR AND FRAME.
- 9 ROLL-UP METAL DOOR.
- 10 WESTERN 1-KOTE STUCCO FINISH
- 11 WALL MOUNTED LIGHT FIXTURE.
- 12 ILLUMINATED SIGNAGE REQUIRES SEPARATE PERMITS, APPROVALS AND IS UNDER SEPARATE CONTRACT - SHOWN FOR REFERENCE ONLY.
- 13 SES CABINET - PROVIDE PAINTED SHEET METAL CLOSURE FROM CABINET TO WALL.
- 14 ROOF DRAIN AND OVERFLOW TO DAYLIGHT 12" A.F.G. PROVIDE BRASS NOZZLE AT DISCHARGE.
- 15 ALL RTU'S TO BE SCREENED BY PARAPET TO TOP OF UNIT.
- 16 LINE OF ROOF BEYOND.
- 17 FIRE DEPARTMENT CONNECTION.
- 18 2x8 SMOOTH FACE CMU CAP BLOCK.
- 19 2"x2" TUBE STEEL FRAME WITH 1"x1" TUBE STEEL PICKETS W/ INSECT SCREEN. PAINT FINISH.
- 20 12x8x8 CMU CAP BLOCK LAID ON SIDE.
- 21 CONCRETE CURB PER STRUCT. DWG'S.
- 22 STUCCO EXPANSION JOINT

MATERIAL AND COLOR LEGEND

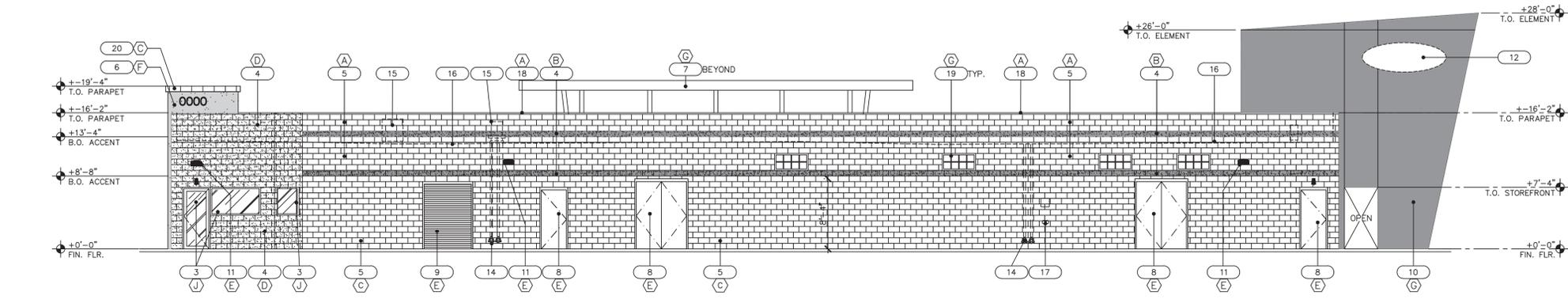
- (A) 8" BLOCK SMOOTH FINISH, STAINED "GRAY".
- (B) 8" ACCENT BLOCK, SPLIT-FACE FINISH, STAINED "CHARCOAL".
- (C) 8" BLOCK SMOOTH FINISH, STAINED TO MATCH BENJAMIN MOORE #HC-76 "DAVENPORT TAN".
- (D) 8" BLOCK, SPLIT-FACE FINISH, STAINED TO MATCH BENJAMIN MOORE #AC-32 "PISMO DUNES".
- (E) PAINT TO MATCH ADJACENT WALL COLOR.
- (F) PAINT SHERWIN WILLIAMS 8122 "COBBLESTONE BLUE" DURATION BRAND EXTERIOR LATEX FLAT - ULTRADEEP BASE

COLORANT	OZ	32	64	128
W1 WHITE	2	33	1	-
G2 NEW GREEN	10	51	-	1
L1 BLUE	22	59	1	1
R4 NEW RED	10	57	1	-
- (G) PAINT SHERWIN WILLIAMS #SW2307 "RED BARN".
- (H) PAINT BENJAMIN MOORE #HC-76 "DAVENPORT TAN".
- (J) FINISH TO MATCH SHERWIN WILLIAMS #SW2307 "RED BARN".

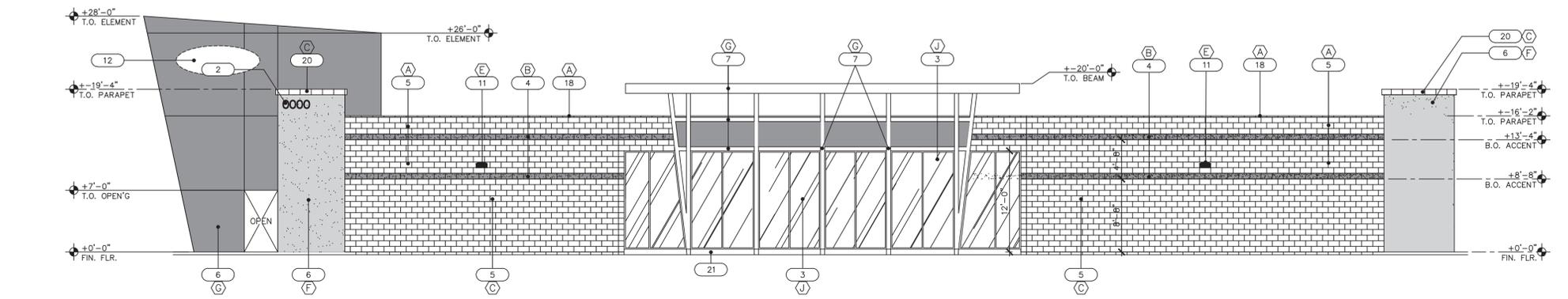


NOTE:
FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS FOR WALL AND FOUNDATION REINFORCEMENT.

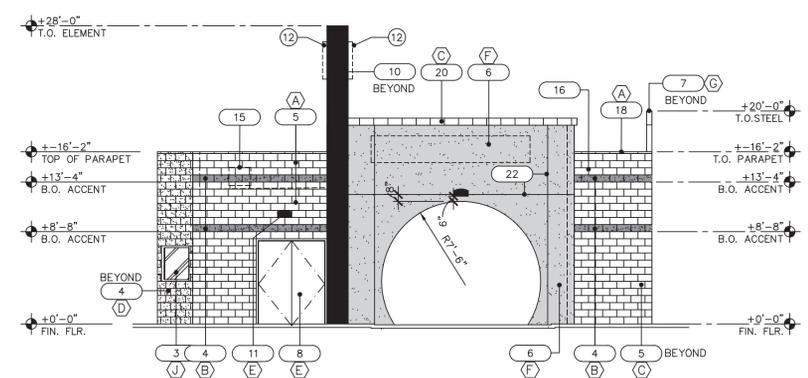
NOTE:
JOINT REINFORCING TO STOP EACH SIDE OF JOINT. BOND BEAM REINFORCING TO PASS THRU PER STRUCTURAL DRAWINGS.



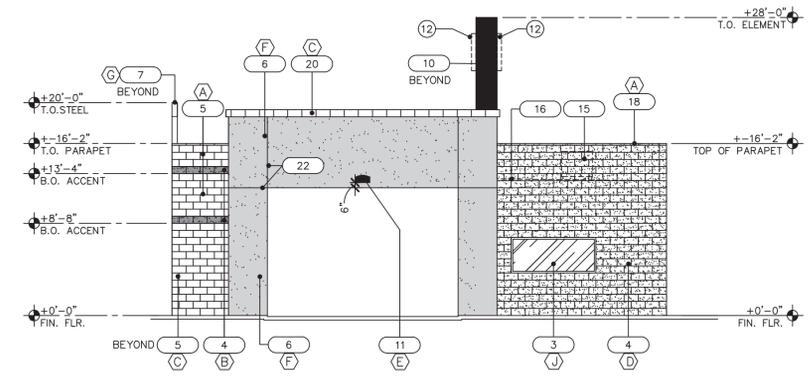
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION (EXIT-67TH AVENUE)
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION (ENTRANCE)
SCALE: 1/8" = 1'-0"

5 MASONRY CONTROL JOINT
SCALE: 1" = 1'-0"

CITY OF PHOENIX
MAR 14 2022
Planning & Development
Department



ELEVATION KEY NOTES

- 1 OPENING
- 2 BUILDING ADDRESS - GC TO VERIFY LOCATION AND SIZE WITH CITY.
- 3 ALUMINUM FRAME WITH GLAZING.
- 4 SPLIT FACE CMU CONSTRUCTION.
- 5 CMU WALL CONSTRUCTION.
- 6 WESTERN 1-KOTE STUCCO FINISH
- 7 TUBE STEEL STRUCTURAL FRAME.
- 8 HOLLOW METAL DOOR AND FRAME.
- 9 ROLL-UP METAL DOOR.
- 10 WESTERN 1-KOTE STUCCO FINISH
- 11 WALL MOUNTED LIGHT FIXTURE.
- 12 ILLUMINATED SIGNAGE REQUIRES SEPARATE PERMITS, APPROVALS AND IS UNDER SEPARATE CONTRACT - SHOWN FOR REFERENCE ONLY.
- 13 SES CABINET - PROVIDE PAINTED SHEET METAL CLOSURE FROM CABINET TO WALL.
- 14 ROOF DRAIN AND OVERFLOW TO DAYLIGHT 12" A.F.G. PROVIDE BRASS NOZZLE AT DISCHARGE.
- 15 ALL RTU'S TO BE SCREENED BY PARAPET TO TOP OF UNIT.
- 16 LINE OF ROOF BEYOND.
- 17 FIRE DEPARTMENT CONNECTION.
- 18 2x8 SMOOTH FACE CMU CAP BLOCK.
- 19 2"x2" TUBE STEEL FRAME WITH 1"x1" TUBE STEEL PICKETS W/ INSECT SCREEN. PAINT FINISH.
- 20 12x8x8 CMU CAP BLOCK LAID ON SIDE.
- 21 CONCRETE CURB PER STRUCT. DWG'S.
- 22 STUCCO EXPANSION JOINT

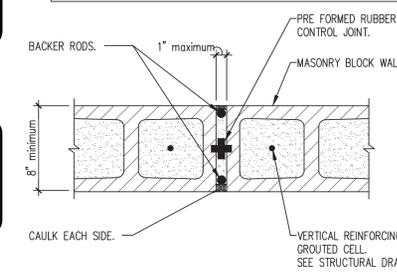
MATERIAL AND COLOR LEGEND

- (A) 8" BLOCK SMOOTH FINISH, STAINED "GRAY".
- (B) 8" ACCENT BLOCK, SPLIT-FACE FINISH, STAINED "CHARCOAL".
- (C) 8" BLOCK SMOOTH FINISH, STAINED TO MATCH BENJAMIN MOORE #HC-76 "DAVENPORT TAN".
- (D) 8" BLOCK, SPLIT-FACE FINISH, STAINED TO MATCH BENJAMIN MOORE #AC-32 "PISMO DUNES".
- (E) PAINT TO MATCH ADJACENT WALL COLOR.
- (F) PAINT SHERWIN WILLIAMS 8122 "COBBLESTONE BLUE" DURATION BRAND EXTERIOR LATEX FLAT - ULTRADEEP BASE
COLOR CAST FORMULA

COLORANT	OZ	32	64	128
W1 WHITE	2	33	1	-
G2 NEW GREEN	10	51	-	1
L1 BLUE	22	59	1	1
R4 NEW RED	10	57	1	-
- (G) PAINT SHERWIN WILLIAMS #SW2307 "RED BARN".
- (H) PAINT BENJAMIN MOORE #HC-76 "DAVENPORT TAN".
- (J) FINISH TO MATCH SHERWIN WILLIAMS #SW2307 "RED BARN".

COLOR LEGEND:

"RED BARN" SW	STAINED GRAY
COBBLESTONE BLUE	STAINED CHARCOAL
DAVENPORT TAN BM HC-76	PISMO DUNES' BMAC-32

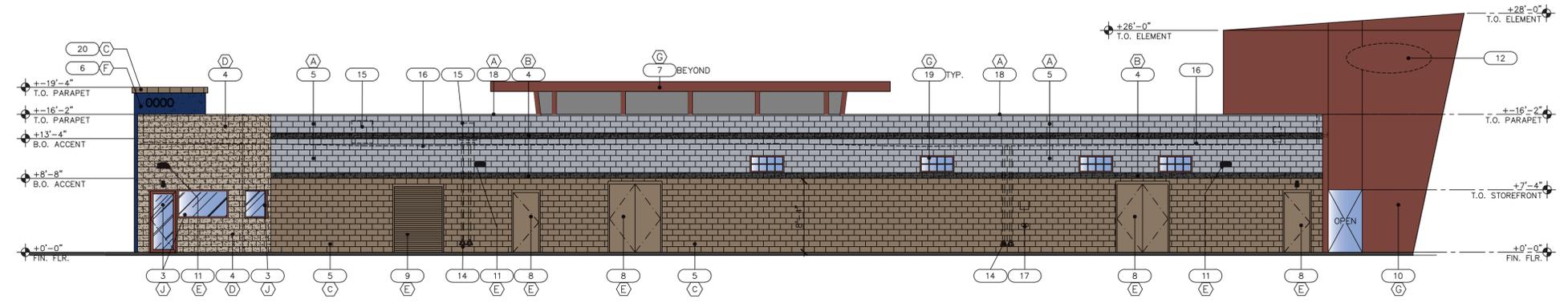


NOTE:
FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS FOR WALL AND FOUNDATION REINFORCEMENT.

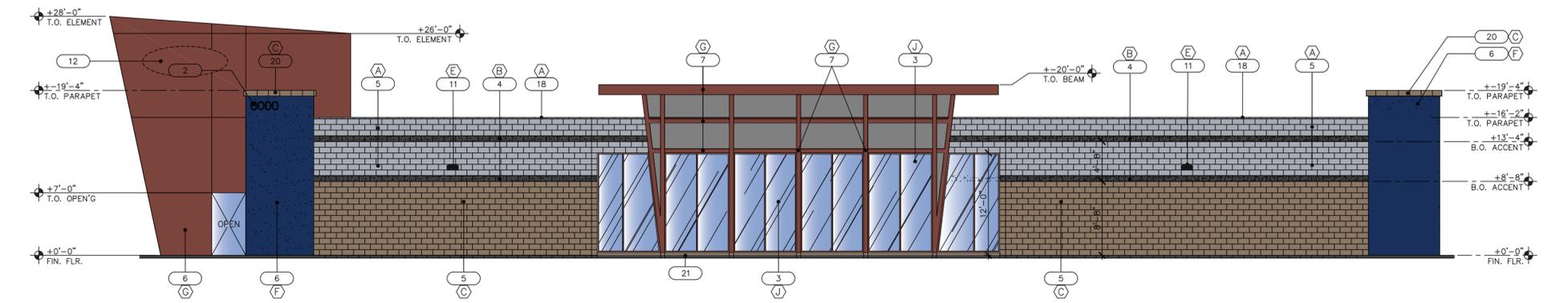
NOTE:
JOINT REINFORCING TO STOP EACH SIDE OF JOINT. BOND BEAM REINFORCING TO PASS THRU PER STRUCTURAL DRAWINGS.

CITY OF PHOENIX
MAR 1 4 2022
Planning & Development
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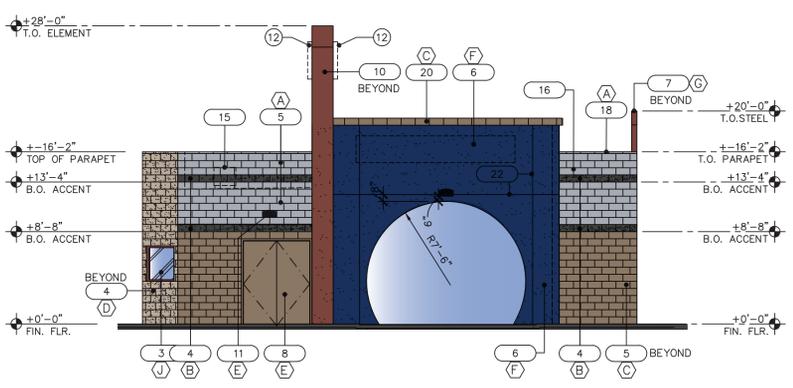
5 MASONRY CONTROL JOINT
SCALE: 1" = 1'-0"



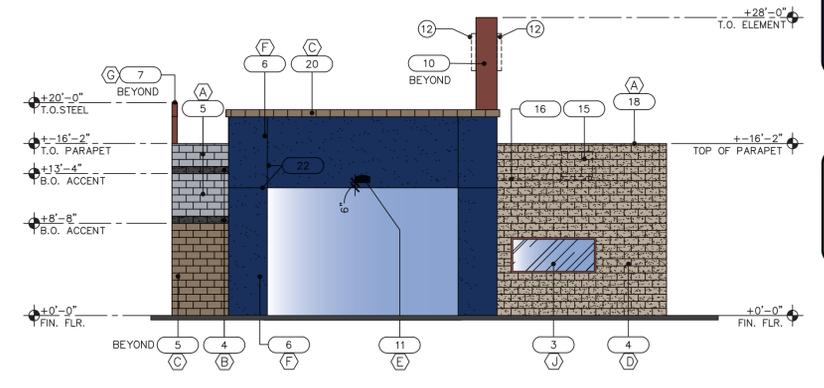
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



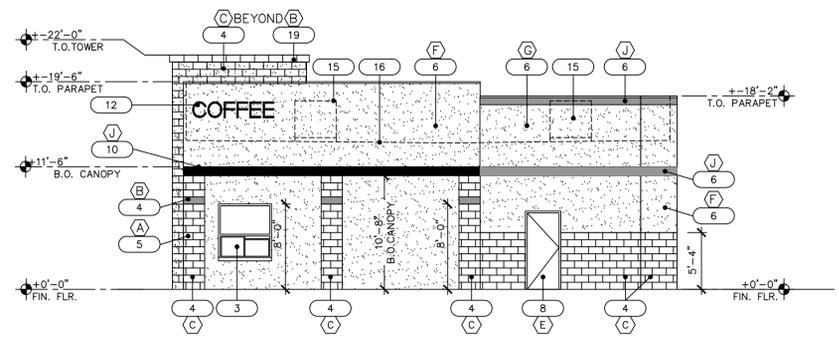
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



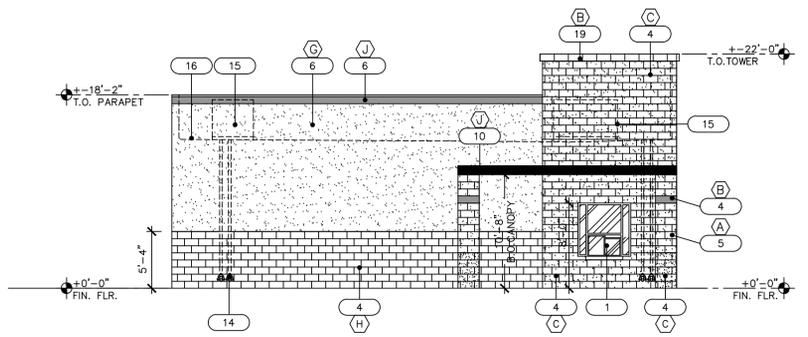
3 WEST ELEVATION (EXIT-67TH AVENUE)
SCALE: 1/8" = 1'-0"



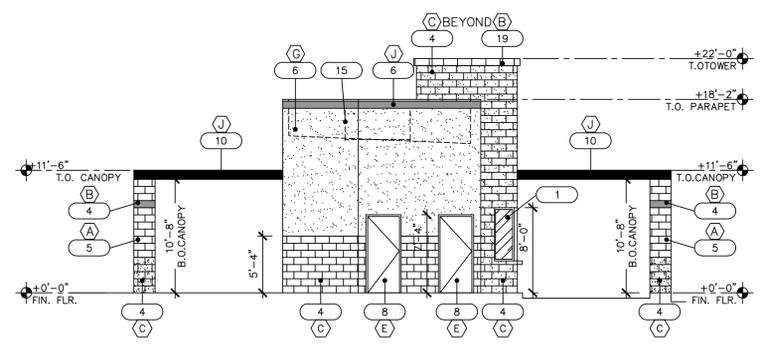
4 EAST ELEVATION (ENTRANCE)
SCALE: 1/8" = 1'-0"



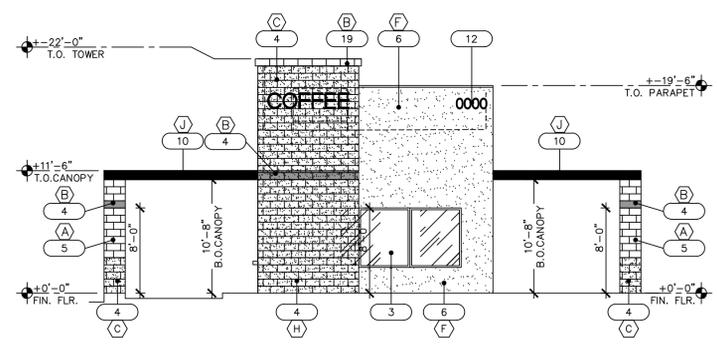
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION (67TH AVE)
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES

- 1 DRIVE-THRU WINDOW - ALUMINUM FINISH
- 2 BUILDING ADDRESS - GC TO VERIFY LOCATION AND SIZE WITH CITY.
- 3 ALUMINUM FRAME WITH GLAZING.
- 4 SPLIT FACE CMU CONSTRUCTION.
- 5 CMU WALL CONSTRUCTION.
- 6 WESTERN 1-KOTE STUCCO FINISH
- 7 NOT USED
- 8 HOLLOW METAL DOOR AND FRAME.
- 9 NOT USED
- 10 STEEL CANOPY - PAINTED
- 11 WALL MOUNTED LIGHT FIXTURE.
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- 20 STUCCO EXPANSION JOINT

MATERIAL AND COLOR LEGEND

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- (E) PAINT TO MATCH ADJACENT WALL COLOR.
- (F) PAINT SHERWIN WILLIAMS SW#7566 "WESTHIGHLAND WHITE"
- (G) PAINT SHERWIN WILLIAMS #SW 6243 "DISTANCE".
- (H) PAINT BENJAMIN MOORE #HC-76 "DAVENPORT TAN"
- (J) PAINT BENJAMIN MOORE BM #2134-30 "IRON MOUNTAIN"

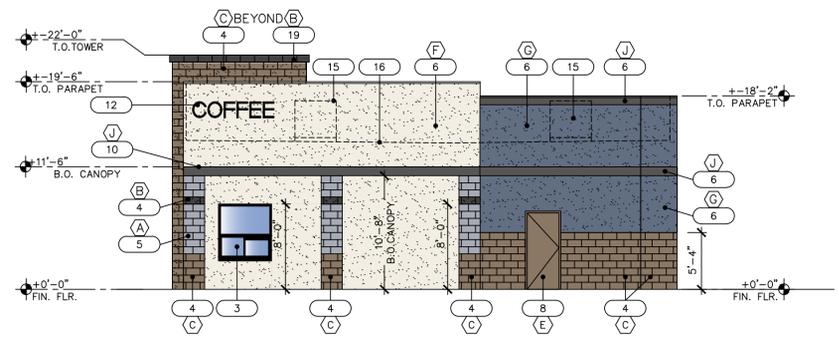
2008 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007



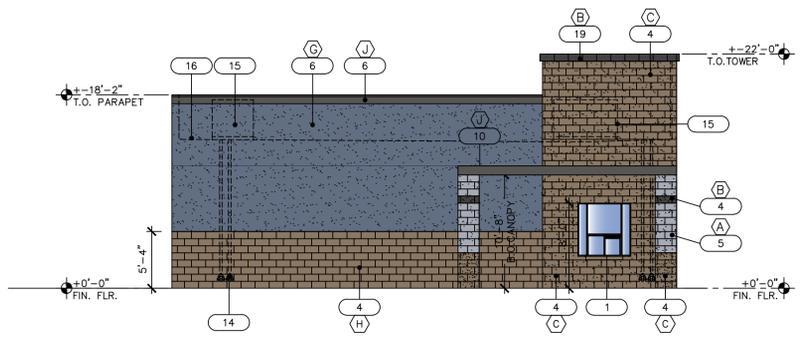
COBBLESTONE EXPRESS CARWASH
NEC 67TH AVENUE & LOWER BUCKEYE
PHOENIX, ARIZONA 85043
DRIVE-THRU EXTERIOR ELEVATIONS

CITY OF PHOENIX
MAR 14 2022
Planning & Development
Department

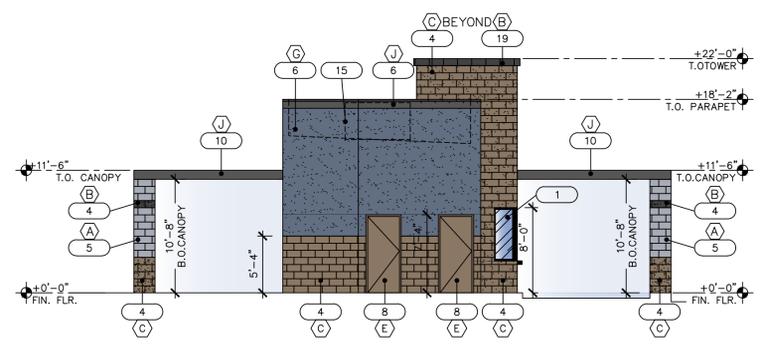
DATE: 2021-10-20
SCALE:
DRAWN BY: JM
PROJECT NUMBER: CBL21014.0
DD4.0
PROJECT #:



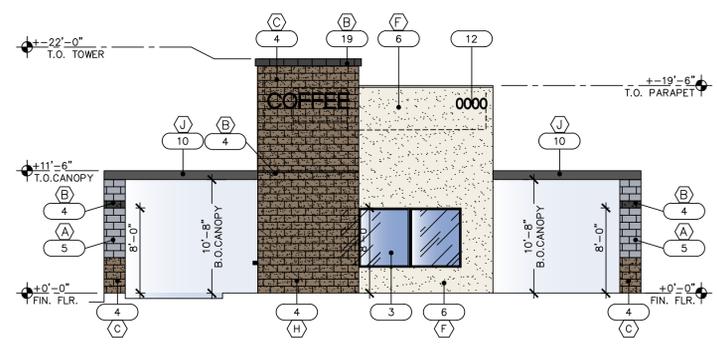
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
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3 EAST ELEVATION (REAR)
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- (J) PAINT BENJAMIN MOORE BM #2134-30 "IRON MOUNTAIN"

COLOR LEGEND:

DISTANCE	STAINED GRAY	DAVENPORT TAN BM HC-76
WESTHIGHLAND WHITE	STAINED CHARCOAL	PISMO DUNES' BMAC-32
IRON MOUNTAIN		

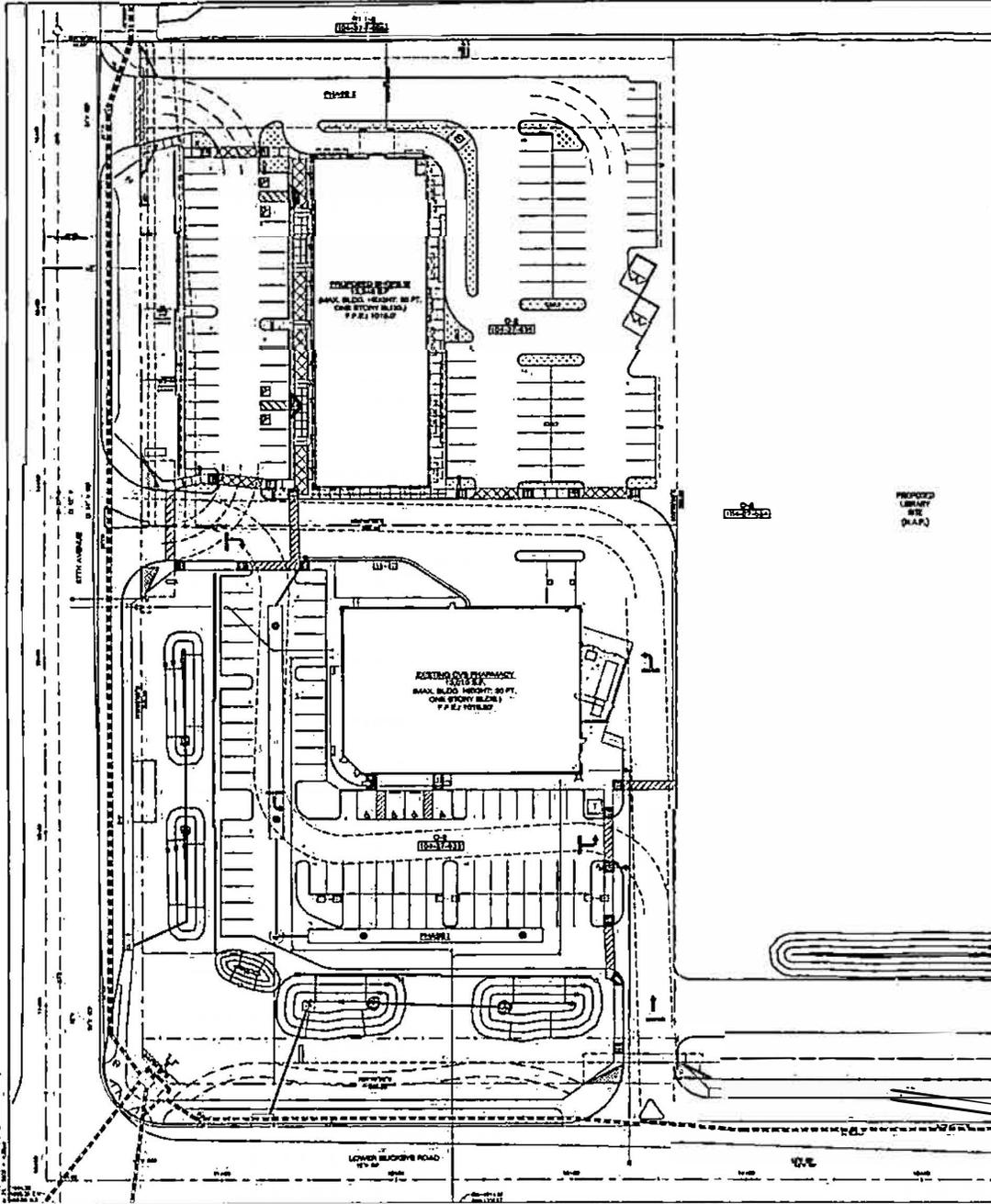
CITY OF PHOENIX
MAR 14 2022
Planning & Development
Department

2008 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007



COBBLESTONE EXPRESS CARWASH
NEC 67TH AVENUE & LOWER BUCKEYE
PHOENIX, ARIZONA 85043
DRIVE-THRU EXTERIOR ELEVATIONS

DATE: 2021-10-20
SCALE:
DRAWN BY: JM
PROJECT NUMBER: CBL21014.0
DD4.0
PROJECT #:



GENERAL SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNPROTECTED.
3. UTILITIES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND UP ALONG THE PROPERTY LINE ON EACH SIDE OF THE CORNER BY TRIANGLE SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 8'.
4. ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL PROPERTIES AND SHALL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. ALL LIGHTS, OTHER THAN VEHICULAR, SHALL BE LIMITED AT ALL TIMES TO THE GENERAL LEVEL OF NORMAL COLOR OR TEMPERATURE LIMITED TO THE GENERAL LEVEL OF THE SITE. ALL LIGHTS SHALL BE COVERED AT ALL TIMES BY THE PROPERTY LINE.
5. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
6. AFTER FINAL APPROVAL THE PROJECT SHALL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY DSD PRIOR TO OCCUPANCY TO ARRANGE FOR AN INSPECTION. CALL 480-348-3441 AND REQUEST A CONSTRUCTION SUPERVISOR.
7. ALL RECEIPT EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE VIEW OF THE TALLEST EQUIPMENT.
8. ALL SERVICE AREAS SHALL BE SCREENED TO GENERAL TRASH CONTAINERS, LEADING TO THE TRANSFER STATION, ON-PREMISE AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM THE LINE ADJACENT TO ALL PUBLIC STREETS.
9. BARBED WIRE OR CONCRETE WALL OR FENCE SHALL NOT BE USED ON THE SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
10. THE MAXIMUM HEIGHT MEASURED AT THE PROPERTY LINE SHALL NOT EXCEED 35 FEET FROM THE FINISHED GRADE LINE. LETTER AND ADDRESS TO THE PREMISES OF THE ENVIRONMENTAL PROTECTION AGENCY.
11. OPEN STORAGE SHALL BE NO HIGHER THAN 80 FEET PLUS ONE (1) FOOT IN HEIGHT FOR ENTRY ACCESSIBLE TYPES OR FEET OF SETBACK FROM A PROPERTY, UP TO TWENTY (20) FEET MAXIMUM.
12. PLACE ALL UTILIZATION FROM NOTES 2-12-2022 ON TO THE SITE PLAN.
13. PLACE ALL CONSIDER PLACING THE FOLLOWING NOTE ON THE SITE PLAN TO AUTHORIZE ANCHOR ADJUSTMENT TO THE PLAN IN THE FUTURE:
DATE: _____
I, _____, ARCHITECT, HEREBY CERTIFY THAT I AM THE ARCHITECT OF RECORD FOR THE PREPARED PLAN FOR THE PURPOSE OF THIS ADJUSTMENT PROVIDED THAT IF ADDITIONAL WORK IS MADE, THE ARCHITECTS NAME SHALL BE CHANGED AND ALL RESPONSIBILITY AND LIABILITY FOR THE PLAN, INCLUDING THE SIGNATURE OF GOVERNMENT OWNER, PRINTED NAME OF GOVERNMENT OWNER.

ZONING STIPULATIONS: Z-120-00-7

1. THIS DEVELOPMENT BE IN ACCORDANCE WITH THE ZONING MAP AND SUBSTITUTION DATE STAMPED APRIL 14, 2008, AS MAY BE MODIFIED BY THE DEVELOPER'S SUBSEQUENT DEVELOPMENT.
2. THE LOADING DOCK AREAS BE DESCRIBED.
3. THAT ONLY TWO DRIVEWAYS BE ALLOWED ON EACH STREET FRONTAGE.
4. THAT A MINIMUM THREE FOOT LANDSCAPE BARRIER BE PROVIDED AT THE 67TH AVENUE AND LOWER BUCKEYE ROADS.
5. THAT THE DEVELOPER OF THIS PROPERTY AGREE TO PARTICIPATE IN THE BETHLEHEM VILLAGE PLANNING COMMITTEE ADOPTED MULTIPURPOSE TRAIL PLAN ALONG LOWER BUCKEYE ROAD.
6. THAT THE DEVELOPER OF THIS PROPERTY AGREE TO PARTICIPATE IN THE BETHLEHEM VILLAGE PLANNING COMMITTEE ADOPTED MULTIPURPOSE STREET LANDSCAPE PROGRAMS DESCRIBED FOR ALL ARTIFICIAL STREETS.
7. THAT PROPOSED DEVELOPMENT ADJACENT TO VEHICLE TRAVEL LOCATIONS SHALL INTEGRATE THE TRAVEL STOPPING WITH THE SITE, PROVIDING GOVERNMENT ACCESS TO PRECEPTABLE AND PROBING WITH DISABLED AS MAY BE APPROVED BY THE PUBLIC TRANSPORTATION THAT RIGHT-OF-WAY FOR MATERIAL STREETS SHALL BE DEDICATED AS FOR THE APPROVED STREET CLASSIFICATION MAP.
8. THAT ADJACENT BENEFITS SHALL BE CONSIDERED WITH PARKING, CURBS, UTILITIES, GENERAL, BUREAU, STREET LIGHTS, MEDIAN ISLANDS, LANDSCAPING AND OTHER INFRASTRUCTURE AS PER PLANS APPROVED BY THE CITY. ALL IMPROVEMENTS SHALL COMPLY WITH ALL ADA ACCESSIBILITY STANDARDS.
9. THAT LANDSCAPING SHALL BE PROVIDED ALONG EAST PROPERTY LINE AND MAIN ENTRY WAYS WITH 3 INCH CALIPER TREES PLACED 30 FEET ON CENTER. A LANDSCAPE PLAN SHALL BE PROVIDED FOR CONSTRUCTION APPROVAL BY THE PLANNING HEARING OFFICE PRIOR TO FINAL SITE PLAN APPROVAL.
10. A BUS BAY AND TRANSIT PAD SHALL BE LOCATED NORTHWEST CORNER WITH AVENUE ON THE FAR SIDE OF LOWER BUCKEYE ROAD AS APPROVED BY THE STREETS TRANSPORTATION DEPARTMENT.

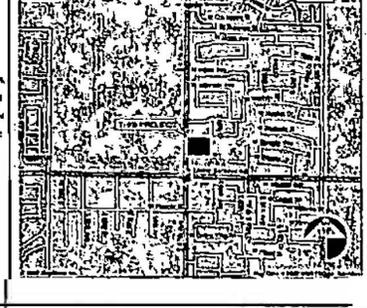
5 MASTER SITE PLAN SCALE 1" = 20'

PROJECT TEAM	
OWNER/DEVELOPER ABC GROUP 1234 N. BELL ROAD, SUITE 100 SCOTTSDALE, ARIZONA 85254 PHONE: 480-123-4567 CONTACT: JASON SMITH	ARCHITECT K&I ARCHITECTS AND INTERIORS, L.L.C. 1234 N. CENTRAL AVE., SUITE 200 PHOENIX, ARIZONA 85004 PHONE: 602-555-1234 CONTACT: MARK A. BOWMAN
OVERALL PROJECT DATA	
ADDRESS	SOUTH OF BELL RD OF 67TH AVE AND LOWER BUCKEYE RD PHOENIX, ARIZONA
PROPOSED USE:	MC-4-2
EXISTING ZONING:	MC-4-2
OCCUPANCY:	MC
SITE DATA:	
EXISTING SITE AREA:	234,156 S.F. (6.6 AC)
NET SITE AREA:	182,345 S.F. (4.2 AC)
PHASE 1 NET SITE AREA EXISTING:	145,123 S.F. (3.3 AC)
PHASE 1 NET SITE AREA PROPOSED:	145,123 S.F. (3.3 AC)
LOT COVERAGE:	1.5%
HEIGHT OF BUILDING:	35' MAX. - ONE STORY IS 35'
OVERALL BUILDING:	
EXISTING OVER PHARMACY (1.0) 13 S.F. + 30' x 30' 2002	35 SPACES
PROPOSED PHASE 1 (1.0) 13 S.F. + 30' x 30' 2002	25 SPACES
PROPOSED PHASE 2 (1.0) 13 S.F. + 30' x 30' 2002	18 SPACES
TOTAL:	78 SPACES
AVAILABILITY:	
ACCESSIBLE PROVIDED	180 SPACES
ACCESSIBLE UNPROVIDED	60 SPACES
OVERALL LANDSCAPING: MIN. 10% OF PARKING LOT AREA INCLUDED UNPROVIDED (1.0) 13 S.F. + 30' x 30' 2002	14,512 S.F.

LEGAL DESCRIPTION

Lot 3, NORTHWEST CORNER OF LOWER BUCKEYE ROAD & 67TH AVE., according to the plat recorded in Book 828 of Maps, page 27, records of Maricopa County, Arizona.

VICINITY MAP



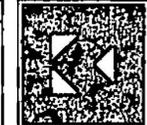
CITY OF PHOENIX STAMPS

YOUR # 874111
CITY OF PHOENIX
DATE: _____

CITY OF PHOENIX

JAN 28 2008

Planning Dept.
2nd fl. Zoning



K&I ARCHITECTS AND INTERIORS, L.L.C.
1234 N. CENTRAL AVE., SUITE 200
PHOENIX, ARIZONA 85004
PHONE: 602-555-1234
CONTACT: MARK A. BOWMAN

A.B.S Group

67TH AND LOWER BUCKEYE, NORTH OF N.E.C. OF 67TH AVENUE AND LOWER BUCKEYE ROAD, PHOENIX, ARIZONA.

NO.	DESCRIPTION	DATE

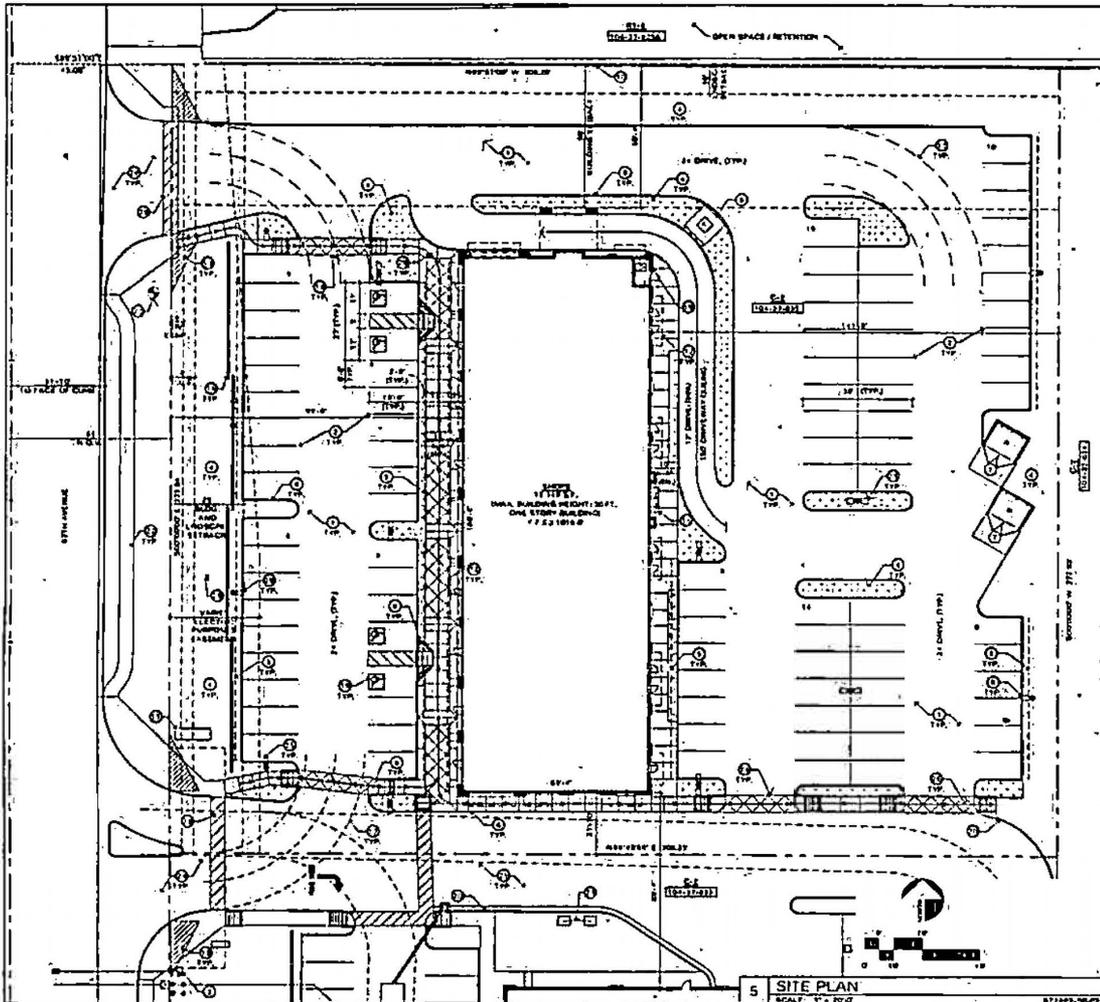
OWNERSHIP OF DOCUMENTS

DESIGNED AND PREPARED BY ARCHITECT AND INTERIORS AS WELL AS ALL OTHERS BY PROPERTY OF THE ARCHITECT AND INTERIORS. THE ARCHITECT AND INTERIORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE COPY OF THE ORIGINAL AND ALL OTHERS BY PROPERTY OF THE ARCHITECT AND INTERIORS. THE ARCHITECT AND INTERIORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ORIGINAL AND ALL OTHERS BY PROPERTY OF THE ARCHITECT AND INTERIORS.

SHEET TITLE: _____
SITE PLAN



MS



GENERAL SITE PLAN NOTES:

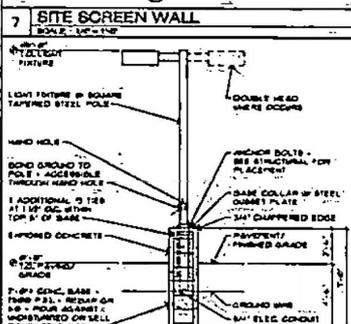
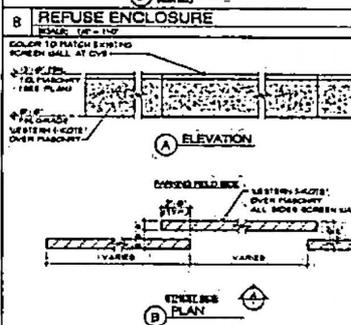
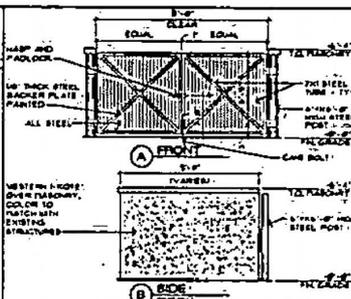
- DEVELOPMENT AND USE OF THIS SITE WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING SHALL BE LOCATED WITHIN 10 FEET FROM THE PROPERTY LINE AND BE ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 7 FEET.
- ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND SHALL NOT EXCEED ONE FOOT ABOVE THE PROPERTY LINE. NO NOISE, COOK, OR WARMTH SHALL BE EMITTED AT ANY LEVEL EXCEEDING THE CRITERIA LEVEL OF NOISE, COOK, OR WARMTH LISTED BY URS IN THE AREA OUTSIDE OF THE SITE. MAX. NOISE LEVEL IS 55 DB(A) AT PROPERTY LINE.
- CHANGES OF PROPERTY ADJACENT TO PUBLIC RIGHT OF WAY SHALL HAVE THE RESPONSIBILITY OF MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- AFTER FINAL APPROVAL, THE PROJECT WILL BE INSPECTED FOR FINISH WORK AND DURING CONSTRUCTION AND PRIOR TO OCCUPANCY, THE APPLICANT IS TO NOTIFY THE PUBLIC WORKS DEPARTMENT TO ARRANGE FOR UTILITY CROSSING. CALL 602-252-4841 AND REQUEST A DESIGN REVIEW INSPECTION.
- ALL ROOFTOP EQUIPMENT AND EXHAUST DUCTS SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO ADJACENT PUBLIC CONTAINERS, LOADING DOCKS, TRANSPORTATION, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM PUBLIC LEVEL ADJACENT TO ALL PUBLIC STREETS.
- SCREENS ON WINDOWS OR CONDENSATION UNITS SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- THE APPROVED INTENT LEVEL, AS SHOWN AT THE PROPERTY LINE, SHALL NOT EXCEED 888.70 WHICH MEASURED ON 48" WIDE 2" SQUARE LEVEL METER AND ACCORDING TO THE PROCEDURE OF THE ENVIRONMENTAL PROTECTION AGENCY.
- OPEN SCREENS SHALL BE NO HIGHER THAN 8' IN HEIGHT PLUS ONE (1) FOOT IN HEIGHT FOR EVERY ADDITIONAL THREE (3) FEET OF SETBACK FROM A PROPERTY LINE TO THE LINE (12 FEET MINIMUM).
- PLACE ALL STIPULATION FROM CHAPTER 22.02.02 ON TO THE SITE PLAN.
- PLEASE CONSIDER PLACING THE FOLLOWING NOTE ON THE SITE PLAN TO AUTHORIZE SIGNOR APPROVEMENT TO THE PLAN IN THE FUTURE:

FOR REFERENCE TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE APPROVALS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PLAN.

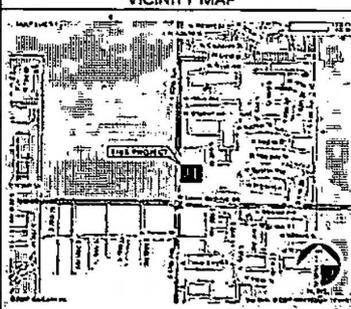
SIGNATURE OF COPYRIGHT OWNER
PRINTED NAME OF COPYRIGHT OWNER

5 ZONING STIPULATIONS: Z-120-00-7

- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY ELEVATION DATA STAMPED APRIL 11, 2008. AS MAY BE APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
- THAT ONLY TWO DRIVEWAYS BE ALLOWED ON EACH SHEET FRONTAGE THAT A MINIMUM 25' FOOT LANDSCAPE BUFFER BE PROVIDED AT THE 87TH AVENUE AND LOWER BUCKEYE ROAD.
 - THAT THE DEVELOPER OF THIS PROPERTY AGREES TO PARTICIPATE IN THE STREETS VILLAGE PLANNING COMMITTEE'S ADOPTED MULTIPURPOSE TRAIL PLAN ALONG LOWER BUCKEYE ROAD.
 - THAT THE DEVELOPER OF THIS PROPERTY AGREES TO PARTICIPATE IN THE STREETS VILLAGE PLANNING COMMITTEE'S ADOPTED MAJOR STREET LANDSCAPE PROGRAMS DESIGNED FOR ALL METROPOLITAN STREETS.
 - THAT PROPOSED DEVELOPMENT ADJACENT TO FUTURE TRAVEL LOCATIONS SHALL INDICATE THE TRAVEL STIPULATION WITH THE APPROVED ZONING CLASSIFICATION MAP.
 - THAT ALL NEW STREETS SHALL BE CONSTRUCTED WITH PAVEMENT CURBS, OUTSIDE SIDEWALKS, CURB RAMP, STREET LIGHTS, MEDIAN ISLANDS, LANDSCAPING AND OTHER NECESSARY AS PER PLANS APPROVED BY THE CITY. ALL IMPROVEMENTS SHALL COMPLY WITH ALL ADA ACCESSIBILITY STANDARDS.
 - THE LANDSCAPING SHALL ALSO CALL PROPERTY LINE AND MAIN ENTRY WAYS WITH 2" HIGH GAULF FREE PLACES 30 FEET ON CENTER A 10' LANDSCAPE PLAN SHALL BE SUBMITTED FOR A DETERMINATION APPROVAL BY THE PLANNING DEPARTMENT PRIOR TO FINAL SITE PLAN APPROVAL.
 - A BUS BAY AND TRANSIT PAD SHALL BE LOCATED ADJOINING 87TH AVENUE ON THE EAST SIDE ON LOWER BUCKEYE ROAD AS APPROVED BY THE STREET TRANSPORTATION DEPARTMENT.



6 VICINITY MAP



PROJECT TEAM

OWNER/DEVELOPER
 87TH LOWER BUCKEYE INVESTORS, L.L.C.
 6025 87TH AVENUE, SUITE 110
 SCOTTSDALE, ARIZONA 85258
 PHONE: (480) 412-1800
 CONTACT: SANDY WEAVER

ARCHITECT
 K&I ARCHITECTS AND INTERIORS, L.L.C.
 1700 N. 16TH AVENUE, SUITE 200
 PHOENIX, ARIZONA 85016
 PHONE: (602) 252-3639
 FAX: (602) 252-3600
 CONTACT: MARK A. BOWLER

PROJECT DATA

ADDRESS: NORTH E.C. OF 87TH AVE. AND LOWER BUCKEYE RD. PHOENIX, ARIZONA

PROPOSED USE: RESTAURANT

PROPOSED EDDING: C-2

OCCUPANCY: RESTAURANT

WASTE SITE DATA: NONE

CROSS SITE AREA: 10,168 S.F. (2.4 ACRES)

NET SITE AREA: 41,842 S.F. (0.95 ACRES)

MAXIMUM BUILDING HEIGHT: 30'-0"

SHOPS: 12,244 S.F.

LOT COVERAGE: 10.8%

KEYNOTES

1. GENERAL FINISH
2. 1" WIDE FINISH STRIPS
3. 2" SETTING GROOVE
4. LANDSCAPE MATERIAL
5. 1/2" WIDE CONCRETE CURB AT THE VERTICAL
6. REPAIR ENCL. CURB TO COMPLY W/ C. O. FINISHES STANDARD DETAIL M-1
7. DETAIL M-1 (SEE PLAN)
8. PROPOSED LOCATION FOR TRANSFORMER ON CONCRETS PAD
9. ACCESSIBLE RAMP PER I.D.A.
10. 2" SETTING GROOVE
11. PROPOSED LOCATION FOR ADJUSTMENT W/AL. LOCATE SEPARATELY IF NEEDED
12. 1/2" WIDE SCREENS OF ADJACENT OVERHANGS
13. SITE VISIBILITY THROUGH VISUAL
14. 1/2" WIDE SCREENS OF ADJACENT OVERHANGS FOR SITE ACCESSIBILITY
15. PROPOSED LOCATION OF S.L.S. SERVICE ENTRANCE LOCATIONS PAINTED TO MATCH PROPOSED BUILDING
16. PROPOSED 2" FINISH STRIPS SEE DETAIL M-1
17. PROPOSED ONE APPROXIMATE LANE, TRUCK TURNING RADIUS: 28' INTERIOR RADIUS / 36' EXTERIOR RADIUS PER I.C.
18. PARTED ACCESSIBLE SIGN
19. CURB OF FINISHES CONNECTION ON BUILDING FACE
20. 2" SETTING GROOVE TO REMAIN
21. 2" SETTING GROOVE TO REMAIN
22. 2" SETTING GROOVE TO REMAIN
23. 2" SETTING GROOVE TO REMAIN
24. 2" SETTING GROOVE TO REMAIN
25. PROPOSED POLE MOUNTED LIGHT (SEE DETAIL M-1)
26. PROPOSED PUBLIC FIRE HYDRANT LOCATION PER P.I.C.
27. 1" WIDE FINISH STRIPS PER I.C.
28. 1" SETTING GROOVE TO REMAIN

LEGAL DESCRIPTION

LOT 3, NORTHEAST CORNER OF LOWER BUCKEYE ROAD & 87TH AVE., according to the plat recorded in Book 828 of Maps, page 27, records of Maricopa County, Arizona.

CITY OF PHOENIX STAMPS

NOVA 01-3311
 SDN 00-011109
 LPS

CITY OF PHOENIX

JAN 28 2008

Planning Dept.
 2nd fl. Zoning

K & I ARCHITECTS AND INTERIORS

1700 N. 16TH AVENUE, SUITE 200
 PHOENIX, ARIZONA 85016
 PHONE: (602) 252-3639
 FAX: (602) 252-3600

A.B.S Group

67TH AND LOWER BUCKEYE

NORTH OF N.E.C. OF 87TH AVENUE AND LOWER BUCKEYE ROAD, PHOENIX, ARIZONA

REVISIONS

NO.	DATE	DESCRIPTION

OWNERSHIP OF DOCUMENTS

CHANGES AND SPECIFICATIONS TO THIS PLAN SHALL BE THE PROPERTY OF THE ARCHITECT UNLESS OTHERWISE NOTED ON THE PLAN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS PLAN FROM UNAUTHORIZED REPRODUCTION OR ALTERATION.

SHEET TITLE: 87TH PLAN

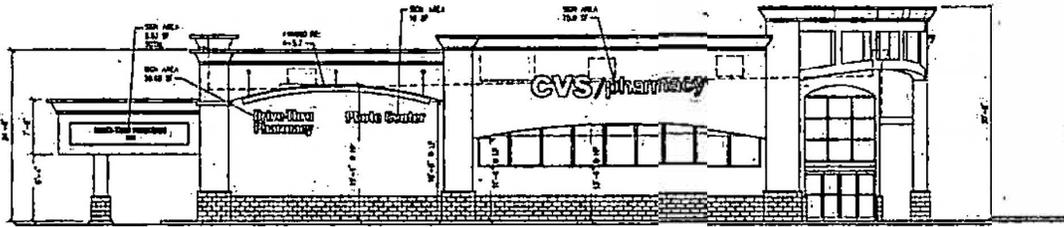
NOVA 01-3311
 SDN 00-011109
 LPS

CITY OF PHOENIX

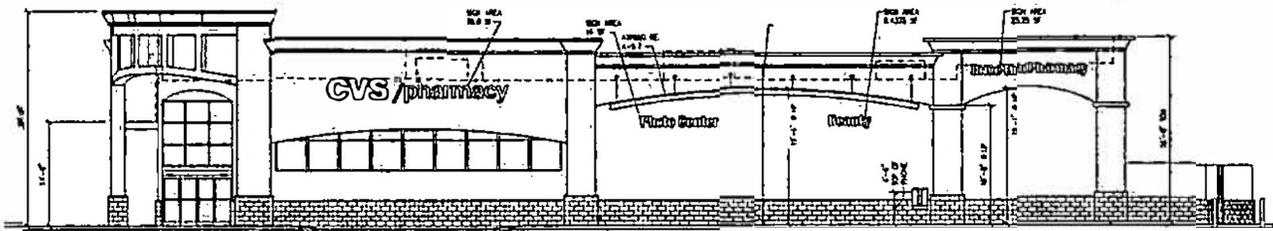
JAN 28 2008

Planning Dept.
 2nd fl. Zoning

SHEET NUMBER: SP1.1

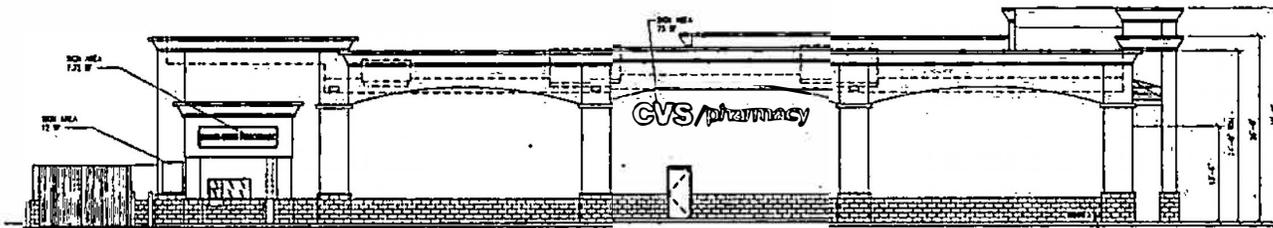


TOTAL SIGN AREA
SIGN SIZE 18.00 X 9'

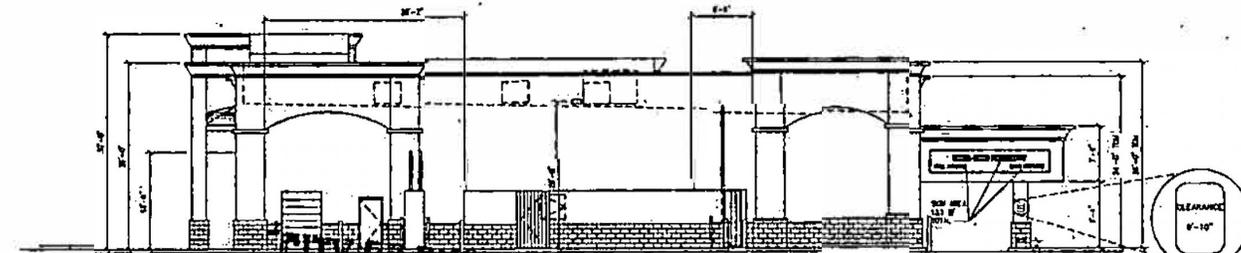


REMOVE SIGNAGE FROM SURFACE AND COUPLER
KEEP COUPLER BEHIND THIS AREA

TOTAL SIGN AREA LEFT
SIGN SIZE 12.00 X 6'



TOTAL SIGN AREA
SIGN SIZE 14.25 X 9'



CITY OF PHOENIX

TOTAL SIGN AREA
SIGN SIZE 13.5 X 9'

EXTERIOR FINISH SCHEDULE					
NO.	MATERIAL / DESCRIPTION	WT.	SPR/CL. QTY.	COLOR	NOTES
1	EIFS / SYSTEM	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
2	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
3	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
4	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
5	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
6	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
7	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
8	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
9	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
10	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
11	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
12	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
13	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
14	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
15	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
16	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
17	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
18	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
19	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION
20	EIFS	EIFS FINISH SYSTEM	137 STD. COLOR L/S	W/STAIN-PROOF	RE: SPECIFICATION

LEGEND
 1 - REFER TO OTHER FINISH SCHEDULE

Carter Burgess
 CERTIFICATION
 3003 North Central Avenue
 Suite 1700
 Phoenix, AZ 85012
 TEL: (602) 263-5309
 FAX: (602) 263-8373

NOTICE OF EXTENDED
 AND APPROX. PERIOD PROVISION
 THIS CONTRACT PROVIDES FOR THE OWNER
 TO EXERCISE AND APPROVE BELINDS AND
 ESTIMATES WITHIN FOURTEEN (14) DAYS
 AFTER THE BELINDS AND ESTIMATES ARE
 RECEIVED FROM THE CONTRACTOR.

NOTICE OF EXTENDED PAYMENT
 PROVISION
 THIS CONTRACT PROVIDES FOR THE OWNER
 TO MAKE A PAYMENT WITHIN FORTY (40)
 DAYS AFTER THE CERTIFICATION AND
 APPROVAL OF BELINDS AND ESTIMATES.

CVS/
pharmacy
 ARIZONA - 13K - RIGHT

STORE NUMBER: XXXX
 5100 LOWER BUCKEYE & 67TH AVE.
 PHOENIX, AZ

DEVELOPER:
 ArmaStrong Development
 Properties, Inc.
 1230 West Washington, St.
 Suite 214
 Tempe, Arizona 85281
 Tel: (602) 728-3000
 Fax: (602) 728-3001

REVISIONS:

CHECKED BY: SR
 DESIGNED BY:
 DRAWING BY: DCM
 DATE: 04/11/05

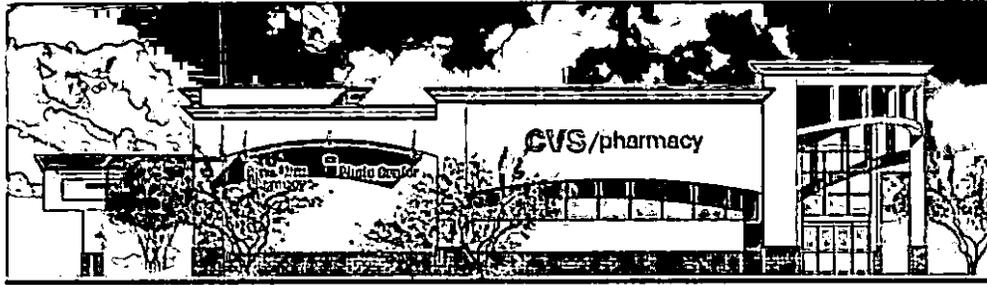
JOB NUMBER:
 TITLE:
 EXTERIOR ELEVATIONS

CURT SCALE:
 A-4.1

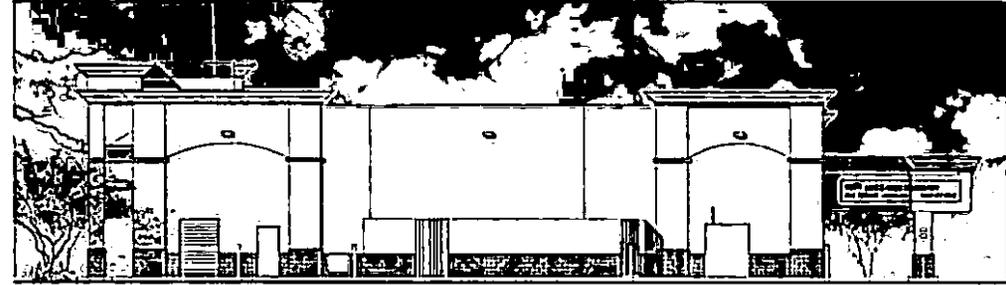
COMMENTS:

APR 14 2005

PLANNING DEPT.



1 FRONT ELEVATION



4 REAR ELEVATION

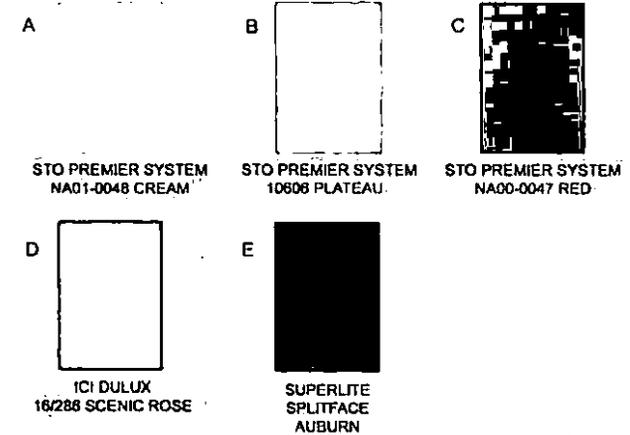


2 LEFT ELEVATION



SCALE: 1/8" = 1'-0"

3 RIGHT ELEVATION



CVS/pharmacy CITY OF PHOENIX

S.W.C. LOWER BUCKEYE & 67TH AVENUE
PHOENIX, ARIZONA

APR 14 2005

PLANNING DEPT.

DEVELOPER:
ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1230 WEST WASHINGTON ST.
SUITE 214
TEMPE, ARIZONA 85281
TEL (602) 385-4100
FAX (602) 385-4101

Carter Burgess



④ STREETScape ELEVATION

CVS/pharmacy

S.W.C. LOWER BUCKEYE & 67TH AVENUE
PHOENIX, ARIZONA

- | | | | | |
|---------------------------------------|-------------------------------------|-------------------------------------|----------------------------------|---------------------------------|
| A | B | C | D | E |
| STO PREMIER SYSTEM
NA01-0048 CREAM | STO PREMIER SYSTEM
10508 PLATEAU | STO PREMIER SYSTEM
NA00-0047 RED | ICI DALLIX
18/208 SCENIC ROSE | SUPERLITE
SPURFACE
AUBURN |

SCALE: 1/8" = 1'-0"

DEVELOPER:
ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1230 WEST WASHINGTON ST.
SUITE 214
TEMPE, ARIZONA 85281
TEL (602) 365-4100
FAX (602) 365-4101

Carter Burgess

CITY OF PHOENIX

APR 14 2005

PLANNING DEPT.

March 19, 2008

BINGO LICENSE APPLICATIONS

ITEM 26

DISTRICT 4

**BINGO LICENSE
APPLICATION -
MICHAEL G. CARROLL**

The Council heard request for an application for a Class A type State Bingo License. There were no departmental objections. Projected use of net proceeds:

<u>District</u>	<u>Applicant/Business Name/Location</u>
4	Michael G. Carroll Michael G. Carroll 5517 North 17th Avenue

Staff Recommendation

Staff recommended approval of this application.

The above information was submitted for Council consideration of this application.

MOTION was made by Mr. Simplot, **SECONDED** by Mr. Mattox, that Item 26 be recommended for approval. **MOTION CARRIED UNANIMOUSLY.**

PETITIONS, COMMUNICATIONS, AND PUBLIC HEARINGS

ITEM 27

DISTRICT 7

**MODIFICATION OF
STIPULATION REQUEST FOR
RATIFICATION OF PLANNING
HEARING OFFICER ACTION**

The Council heard request to approve the Planning Hearing Officer's recommendation without further hearing by the City Council on a matter heard by the Planning Hearing Officer on February 20, 2008.

DISTRICT 7
67TH AVENUE AND
LOWER BUCKEYE ROAD
APPLICANT/REPRESENTATIVE:
K AND I ARCHITECTS - MARK
BOWKER
OWNER: ABS GROUP - AARON
SHER

March 19, 2008

Application: **Z-120-00-7**

Request: Modification of Stipulation 1 regarding general conformance to the site plan and deletion of Stipulation 9 regarding landscaping.

Location: Approximately 340 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road; Acreage: 2.4

Planning Hearing Officer recommended denial as filed and approved Stipulation 1 with modifications.

Estrella Village Planning Committee reviewed this request on February 5, 2008, and recommended approval with modifications (Vote: 7-0).

Stipulations

1. That development shall be in general conformance to the site plan date stamped January 28, 2008, and elevations date stamped April 14, 2005 and January 11, 2008, as may be modified by the Development Services Department.
2. That loading dock areas be depressed.
3. That only two driveways be allowed on each street frontage.
4. That a minimum 75-foot by 75-foot landscape entry be provided at 67th Avenue and Lower Buckeye Road.
5. That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Multi-Purpose Trails Plan along Lower Buckeye Road.
6. That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Major Street Landscape Program designed for all arterial streets.
7. That proposed development adjacent to future transit locations shall integrate the transit stop/shelter with the site, providing convenient access to pedestrians and persons with disabilities, as may be approved by the Public Transit Department. That right-of-way for arterial streets shall be dedicated, as per the approved Street Classification Map.
8. That adjacent streets shall be constructed with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals, as per plans approved by the City. All improvements shall comply with all Americans with Disabilities Act accessibility standards.

March 19, 2008

9. That landscaping shall be provided along the east property line and main entryways with 2-inch caliper trees placed 20 feet on center. A landscape plan shall be submitted for administrative approval by the Planning Hearing Officer prior to final site plan approval.
10. A bus bay and transit pad shall be located northbound 67th Avenue on the far side on Lower Buckeye Road, as approved by the Street Transportation Department.

MOTION was made by Ms. Neely, **SECONDED** by Mr. Mattox, that Item 27 be granted as recommended above. **MOTION CARRIED UNANIMOUSLY.**

OLD BUSINESS

ITEM 28

DISTRICT 7

LIQUOR LICENSE APPLICATION - KADDY KORNER BAR & GRILL

Continued from February 20 and March 5, 2008 - The Council heard request for a Series 12, Restaurant-All Liquor on Premises, liquor license in an area zoned C-2. Arizona State Application 12077462.

Applicant: Randy Kadavy, Agent
Kaddy Korner Bar & Grill
2633 North Central Avenue

The following information was submitted for Council consideration of this application:

Application Description

This request was for a new Series 12 liquor license for a restaurant that was previously licensed for liquor sales and was operating with an interim permit. The operation plan filed with the application showed the restaurant area seated 85 and the bar area seated 30.

Public Opinion

No petitions or protests were received.

Applicant's Statement

The applicant submitted the following statement in support of this application (spelling, grammar, and punctuation in the statement are shown exactly as written by the applicant on the City Questionnaire):

REPORT OF PLANNING HEARING OFFICER ACTION
Alan Stephenson, Principal Planner, Hearing Officer
Racelle Escobar, Planner I, Assisting

February 20, 2008

ITEM NO: 1

DISTRICT NO.: 7

SUBJECT:

Application #: Z-120-00-7
Zoning: C-2 Q.S.: 7-13
Location: Approximately 340 feet north of the northeast corner of 67th
Avenue and Lower Buckeye Road
Acreage: 2.4
Request: Modification of stipulation 1 regarding general conformance to
the site plan and deletion of stipulation 9 regarding
landscaping.
Applicant: K & I Architects, Mark Bowker
Owner: ABS Group/Aaron Sher
Representative: K & I Architects, Mark Bowker

ACTIONS:

Planning Hearing Officer Recommendation: The Planning Hearing Officer recommended denial as filed and approval of stipulation 1 with modifications.

Village Planning Committee (VPC) Recommendation: The Estrella Village Planning Committee reviewed this request February 5, 2008 and recommended approval with modifications (7 - 0).

DISCUSSION: Mr. Chris Myers, 7333 East Monte Vista Road, presented the request and stated that he is with K & I Architects and is the project manager of the site. Also, accompanying Mr. Myers was Mr. Aaron Sher who represents the development.

Mr. Myers described the proposed development and the surrounding vicinity. Mr. Myers stated that the proposed building will be architecturally compatible with the existing drug store (CVS) to the south.

Mr. Myers stated that the Estrella Village Planning Committee is in support of the request with the exception of the deletion of stipulation 9.

Mr. Myers discussed the stipulation modification request in further detail. The intent of stipulation 9 is to provide a buffer between the commercial area and the existing residential; therefore the stipulation should only affect the eastern most

property of the commercial area, which is the proposed library site. Mr. Myers stated that the village suggested that the applicant modify the stipulation rather than delete it in order to clarify where the stipulation is to apply.

The Planning Hearing Officer and Mr. Myers discussed the site plan and elevations. Currently, the stipulated elevations only include the drug store site. The Planning Hearing Officer inquired if the drug store resembles the stipulated elevations. Mr. Myers stated that they do.

The Planning Hearing Officer stated that stipulation 9 does not apply to the subject site; it only applies to the site to the east; therefore there is no need to modify the stipulation. The Planning Hearing Officer stated that if confusion should arise in the future, then any confused party should be referred to Planning Hearing Officer and he will provide clarification at that time.

DECISION: The Planning Hearing Officer recommended denial as filed and approval of stipulation 1 with modifications.

FINDINGS:

1. No opposition was present.
2. The site plan date stamped January 28, 2008, has been significantly modified and does not appear to be detrimental to the area.
3. It is not necessary to delete stipulation 9, as it does not apply to the subject property. It only applies to the eastern most property of the rezoning case, which is the proposed library site.

STIPULATIONS:

1. That development shall be in general conformance to the site plan date stamped January 28, 2008 and elevations date stamped April 14, 2005 and January 11, 2008, as may be modified by the Development Services Department.
2. That loading dock areas be depressed.
3. That only two driveways be allowed on each street frontage.
4. That a minimum 75 x 75 foot landscape entry be provided at the 67th Avenue and Lower Buckeye Road.
5. That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Multi-Purpose Trails Plan along Lower Buckeye Road.

6. That the developer of this property agrees to participate in Estrella Village Planning Committee's adopted Major Street Landscape Program designed for all arterial streets.
7. That proposed development adjacent to future transit locations shall integrate the transit stop/shelter with the site, providing convenient access to pedestrians and persons with disabilities, as may be approved by the Public Transit Department. That right-of-way for arterial streets shall be dedicated as per the approved Street Classification Map.
8. That adjacent streets shall be constructed with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
9. That landscaping shall be provided along east property line and main entry ways with 2 inch caliper trees placed 20 feet on center. A landscape plan shall be submitted for administrative approval by the Planning Hearing Officer prior to final site plan approval.
10. A bus bay and transit pad shall be located northbound 67th Avenue on the far side on Lower Buckeye Road as approved by the Streets Transportation Department.

Estrella Village Planning Committee Meeting February 5, 2008

	<p>of the study area and the alternative solutions and alignments leading from I-10 to the rail stations in central Phoenix. Metro will be conducting public meetings on March 4th and 5th. The committee had questions regarding the participation of other surrounding municipalities, as well as the process of how Metro will be notifying and communicating with the community.</p>
5.	<p>Presentation and discussion of a proposed text amendment to add a Planned Unit Development (PUD) zoning designation to the city of Phoenix. Zoning Ordinance. Presentation by Staff. Mr. Zonn gave an introduction and overview of the proposed text amendment for a Planned Unit Development district. Staff will be asking for a recommendation from the committee at the March meeting. Committee members commented on their experiences working with PUD's in other municipalities and had questions regarding the process and review of a PUD.</p>
6.	<p>Status report on the proposed UR (Urban Residential) District, Z-TA-17-07. The Planning Commission will consider this case on February 13, 2008. Mr. Zonn stated that Z-TA-17-07 was only applicable to the area between 7th Street and 7th Avenue to the east and west, and Lincoln Street and the Grand Canal to the south and north. There were no questions from the committee.</p>
7.	<p>Discussion of 2008 Village Work Program. Chairperson Eastburn suggested that the committee review the village core concept and how it applies to Estrella. Mr. Zonn and Mr. LaBianca stated that staff would present the overall concept at the next meeting and will create a standing agenda item to continue the conversation to create the VPC's expectations for the core.</p>
	<p>RECOMMENDATION ITEMS</p>
8.	<p>Presentation, discussion and possible recommendation regarding PHO-2-08 - Z-120-00-7. This stipulation modification request is located approximately 340 feet north of the northeast corner of 67th Avenue and Lower Buckeye Road. Presentation by K & I Architects. <i>This request will be heard by the Planning Hearing Officer on February 20, 2008.</i> MOTION: Ms. Joan Flores motioned to approve PHO-2-08—Z-120-00-7 with modification to stipulation 1 as requested, and modification to stipulation 9 instead of deleting as requested by the applicant. Stipulation 9—That landscaping shall be provided along east property line of the library site and main entry ways with 2 inch caliper trees placed 20 feet on center. A landscape plan shall be submitted for administrative approval by the Planning Hearing Officer prior to final site plan approval. VOTE: 7-0</p>

Estrella Village Planning Committee Meeting February 5, 2008

	DISCUSSION: Mr. Zonn provided history of the request and the surrounding area. Chris Myers of K&I Architects provided a brief background of the project and the reason for the stipulation modification. Committee members had questions regarding development timeframe.
9.	UPDATE ITEMS
	a. GPA-EST-6-07-7 was approved by City Council on 12/05/07
	b. Z-114-07-7 was approved by City Council on 12/05/07
	c. Z-SP-16-07-7 was approved by Planning Commission on 01/09/08
	No Discussion
	FUTURE ITEMS
10.	a. GPA-EST-8-07-7
	b. GPA-EST-9-07
	c. GPA-EST-10-07
	c. TA-20-07 Planned Unit Development
	No Discussion
	<i>The next regular meeting is March 4, 2008</i>
11.	Adjournment. 7:30 p.m.

For further information, please contact **Jacob Zonn**, in the Planning Department at jacob.zonn@phoenix.gov or **602-256-5657** or visit our web-site for public meeting notices and agendas at <http://www.phoenix.gov/PUBMEETC/indxhtml.html>

Rezoning staff reports currently in the hearing process are now available online at the following website: <http://phoenix.gov/PLANNING/rezstrpt.html>

For reasonable accommodations, please call Theresa Damiani at Voice/602-262-6368 or City TTY Relay/602-534-5500 as early as possible to coordinate needed arrangements.