Attachment D

PLEASE RESPOND ELECTRONICALLY TO TERESA GARCIA 2ND FLOOR, 602-262-7399



Date: February 21, 2025

To: Departments Concerned

From: Joshua Bednarek

Planning & Development Department Director

Subject: P.H.O. APPLICATION NO. PHO-1-25--Z-62-23-2 – Notice of Pending Actions by the **Planning Hearing Officer**

- 1. Your attention is called to the fact that the <u>Planning Hearing Officer</u> will consider the following case at a public hearing on **March 19, 2025**.
- 2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
- Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by <u>February 28, 2025</u>.

DISTRIBUTION

Mayor's Office (Tony Motola), 11th Floor

City Council (Stephanie Bracken), 11th Floor

Aviation (Jordan D. Feld)

CED (Michelle Pierson), 20th Floor

Fire Prevention (Joel Asirsan), 2nd Floor

Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor

Parks & Recreation (Todd Shackelford), 16th Floor

Public Transit (Michael Pierce)

Street Transportation Department (Maja Brkovic, Josh Rogers, Alan Hilty, Chris Kowalsky), 5th Floor

Street Transportation - Ped. Safety Coordinator (Kurt Miyamoto), 5th Floor

Street Transportation - Floodplain Management (Tina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor

Water Services (Don Reynolds, Victor Romo), 8th Floor

Planning and Development (Joshua Bednarek, Tricia Gomes), 3rd Floor

Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor

Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor

Planning Hearing Officer (Byron Easton, Teresa Garcia), 2nd Floor

Village Planner (Robert Kuhfuss, Deer Valley Village)

Village Planning Committee Chair (Gregory Freeman, Deer Valley Village)



FLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION APPLICATION NO: PHO-1-25--Z-62-23-2 Council District: 2

Request For: Stipulation Modification

Reason for Request: Request to modify Stipulation 1 regarding general conformance to the site plan date stamped September 13, 2023.;Request to modify Stipulation 7 regarding shade along pedestrian walkways and sidewalks.;Request to delete

Stipulation 8 regarding the uncovered surface parking lot.; Request to delete Stipulation 9 regarding bicycle

infrastructure.; Request to modify Stipulation 10 regarding EV Ready garages.

Contact Information

Name	Relationship Type	Address	Phone	Fax	Email
Chris Brown- Residential Pursuits Investments LLC	Applicant	7600 East Doubletree Ranch Road Scottsdale AZ 85258 United States	6024780662		cbrown@arcadiacapitalllc.com
William Allison- Withey Morris Baugh, PLC	Representative	2525 East Arizona Biltmore Circle, Suite A-212 Phoenix AZ 85016	(602) 346-4615		bill@wmbattorneys.com
HOH Land, LLC	Owner	11811 North Tatum Boulevard, Phoenix AZ 85028			

Property Location: Northeast corner of 14th Street and Wahalla Lane

Acreage: 3.88

Geographic Information

Zoning iviap	APN	Quarter Section
N9	213-23-603	Q40-30
N9	213-23-604	Q40-30
Village:		

Deer Vallev

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning@phoenix.gov or visit our website at https://www.phoenix.gov/pdd/licensing-time-frames

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

I declare that all information submitted is true and correct to the best of my knowledge and belief. I acknowledge that any error in my application may be cause for changing its normal scheduling.

Signature:	DATE:			
Fee Information				
Fee	Fee Waived	Fee Date	Purpose	
	200 W. Washington St.	, 2nd Floor, Phoenix, AZ 85003 • 602-626-7	131	

\$1,725.00 \$0.00 01/30/25 PHO (3+ stipulations)



January 29, 2025

VIA HAND DELIVERY

Byron Easton
Planning Hearing Officer
Phoenix Planning & Development Department
200 West Washington Street, 2nd Floor
Phoenix, Arizona 85003

Re: Modification:

Dear Mr. Easton:

Modification of Stipulations - Case No. Z-62-23-3 - NEC 14th Street and Wahalla Lane

This firm represents Residential Pursuits Investments, LLC, (the "Developer") regarding the proposal to develop a twenty (20_) lot, single family detached subdivision on R-2 zoned property at the northeast corner of 14th Street and Wahalla Lane, Phoenix, which is also known as Maricopa County APNs 213-23-603 and 604 (the "Property"). Please see attached **Exhibit A** for an aerial view of the Property and surrounding area. As explained herein, the proposed development requires modification of one stipulation and deletion of two stipulations of approval, which the Phoenix City Council approved on February 7, 2024 with case Z-62-23-3.

BACKGROUND

Development plans for the Property changed after the City Council's action in 2024, as follows.

Initial Rezoning

When rezoned in 2023-24, the plans for the Property involved a townhome style multifamily community with 30 two-story units. Access to the site was proposed as two driveways connecting to Wahalla Lane. As a multi-family community, the project included a central amenity/open space area and surface parking spaces for visitors to the community. The stipulations approved for the project reflect the proposed development type with attention to bicycle parking and shading of surface parking spaces. The approved site plan for the townhome project is attached at **Exhibit B**.

DEVELOPER'S PROPOSAL

The Developer in under contract to purchase the Property. The Developer proposes to build a neighborhood of 20 detached, two-story, single-family homes rather than multifamily townhomes. With the change in neighborhood style, the new neighborhood will have private street access to both 14th Street and Wahalla Lane and will not include the guest parking and central amenity area more appropriate for a multifamily neighborhood. The site plan has an amenity area and dog park, with pedestrian access, in the northeast corner of the Property and shaded sidewalks attaching the neighborhood to the street frontages. Screening of the area will include a combination of solid theme walls, combination solid and view fencing, and total view fencing. These details are part of the site plan package, which is attached at **Exhibit C**.

The proposed site plan has been reviewed by the Planning & Development Department with project number 24-1073. During this review, staff noted the need to modify the stipulations of Z-62-23-3 to allow final site plan and plat approval.

STIPULATION MODIFICATION

To allow the proposed redevelopment of the Property, the Owner requests the following modification of stipulations approved for Z-62-23-3:

1. The development shall be in general conformance with the site plan dateD <u>stamped September 13, 2023</u>, as modified by the following stipulations and approved by the Planning and Development Department.

<u>Rationale:</u> The Owner proposes a new site plan for development of the property. The site plan, which is included with this application, is dated November 11, 2024. The revised site plan necessitates an update of the rezoning stipulation.

2. Maximum building height shall be 30 feet.

No change.

3. All required landscape setbacks shall be planted with minimum 2-inch caliper large canopy, drought tolerant shade trees, planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.

No change.

4. Landscape areas and retention areas shall be planted with minimum 2-inch caliper large canopy drought-tolerant shade trees planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.

No change.

- 5. The vehicular entrances to the development shall include the following elements, as approved by the Planning and Development Department:
 - a. Pedestrian pathways connecting the interior of the development to the public sidewalks along both sides of the vehicular driveway.
 - b. The entry driveway surface shall be constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces, as approved by the Planning and Development Department.

No change.

6. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast parking and drive aisle surfaces, as approved by the Planning and Development Department.

No change.

7. All pedestrian walkways, including sidewalks, shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide a minimum 765% shade, as approved by the Planning and Development Department:

Rationale: Based on our shade study calculations, we are able to provide 65% shade on all pedestrian walkways. Additional shade would be extremely difficult to be provided on the site.

8. All uncovered surface parking lot area shall be landscaped with minimum 2 inch caliper size large canopy drought tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25% shade at maturity, as approved by Planning and Development Department.

Rationale: The revised site plan does not include an uncovered surface parking lot.

- The development shall incorporate bicycle infrastructure as described below and approved by the Planning and Development Department.
 - a. Bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near the amenity area and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.
 - b. Guest bicycle parking shall be provided at a minimum rate of 0.05 spaces per unit, up to a maximum of 50 spaces, located near building entrances and within amenity areas.
 - c. All bicycle infrastructure shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide minimum 75% shade, as approved by the Planning and Development Department.
 - d. A bicycle repair station ("fix it station") shall be provided and maintained on site within an amenity area or near a primary site entrance. The Bicycle repair station ("fix it station") shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to, standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
 - e. A minimum of 10% of the required bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities, as approved by the Planning and Development Department.

<u>Rationale:</u> Although urban bicycle parking standards made sense for a townhome development, the standards are not appropriate for the proposed single family detached neighborhood.

- EACH GARAGE IN THE DEVELOPMENT SHALL BE EV READY. A minimum of 10% of the required parking spaces shall be EV Ready and a minimum of 20% shall be EV Capable.
 - <u>Rationale:</u> In a for-sale single family detached neighborhood, it is important that the houses be capable of supporting EV charging but the individual homeowners should make the decision whether to complete the charging equipment installation.
- 11. The property owner shall record documents that disclose to prospective purchasers of property within the developments the existence of noise from the SR 101 Freeway. The form and content of such documents shall be reviewed and approved by the City prior to recordation.

No change.

12. Prior to final site plan approval, the developer shall provide a qualified engineer's report certifying the average annual interior noise exposure for any residential unit or enclosed public assembly area will not exceed 45 decibels, as approved by the Planning and Development Department.

No change.

13. A noise wall shall be provided along or near the north property line, as approved by the Arizona Department of Transportation and the Planning and Development Department.

No change.

14. A Red Border Letter shall be submitted to ADOT for this development prior to preliminary site plan approval.

No change.

15. Complete dedications and construct knuckle design along at the terminus of 14th Street, as approved by the Street Transportation Department.

No change.

16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

No change.

The property owner shall record documents that disclose the existence, and operational characteristics of Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

No change.

18. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.

No change.

19. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.

No change.

20. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

No change.

21. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

No change.

CONCLUSION

Although the new proposal for development of the Property is a significant change in development style, most of the stipulations approved with Z-62-23-3 are applicable to the project. We look forward to discussing the case with you.

Very truly yours,

WITHEY MORRIS BAUGH P.L.C.

Milliam E Allican

Attachments

EXHIBIT A

Aerial Map

EXHIBIT B

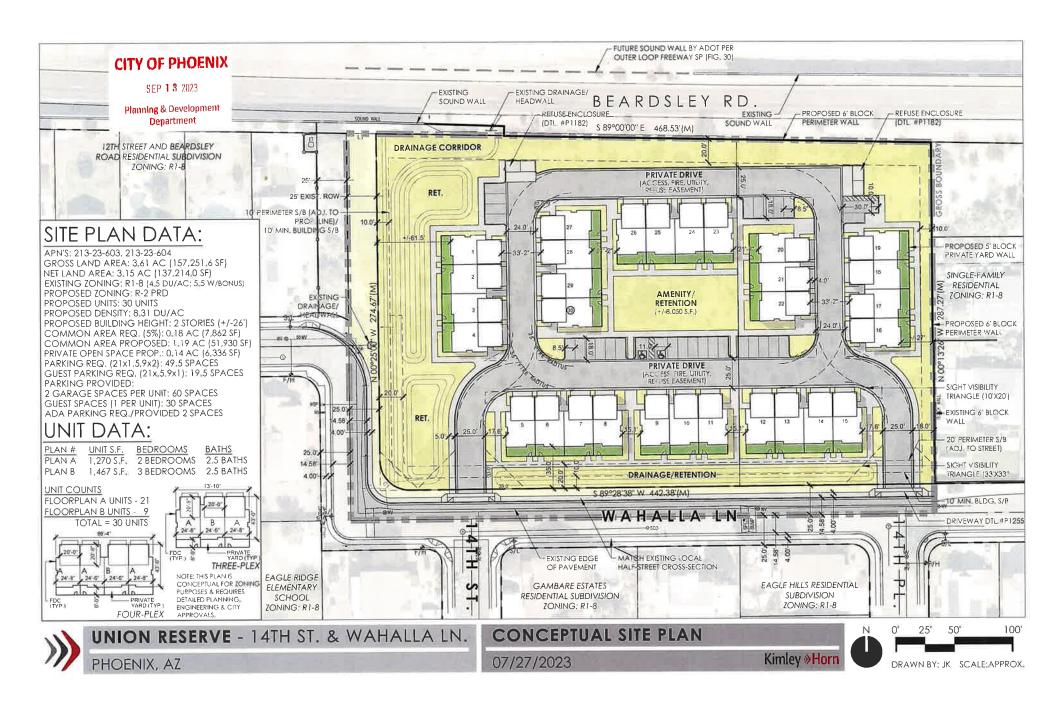
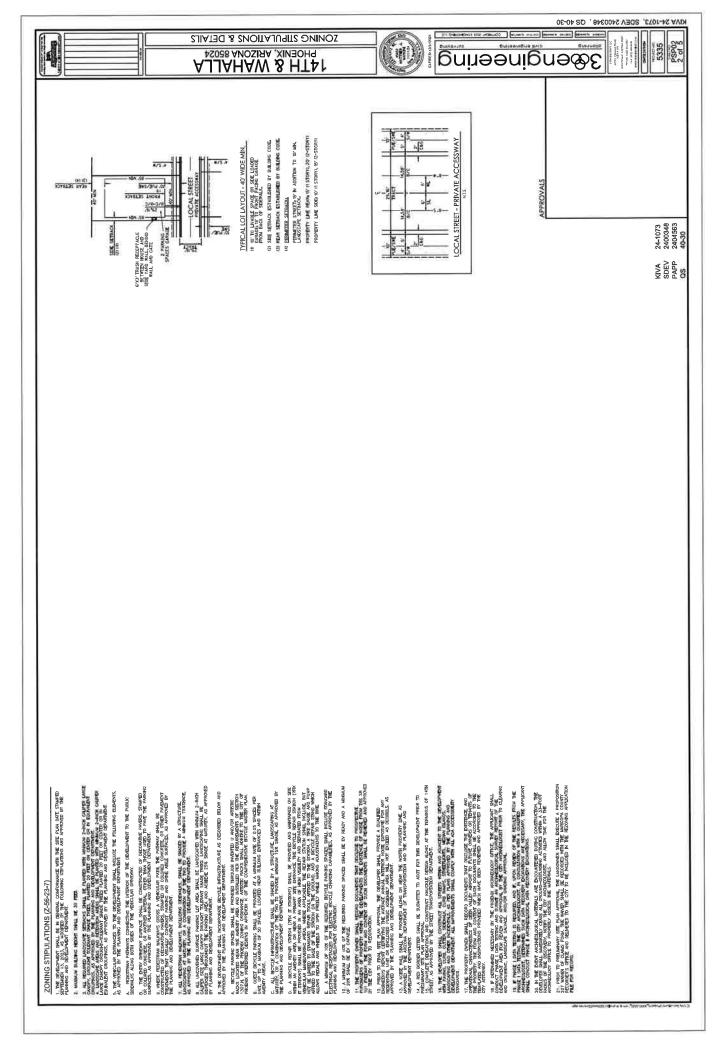
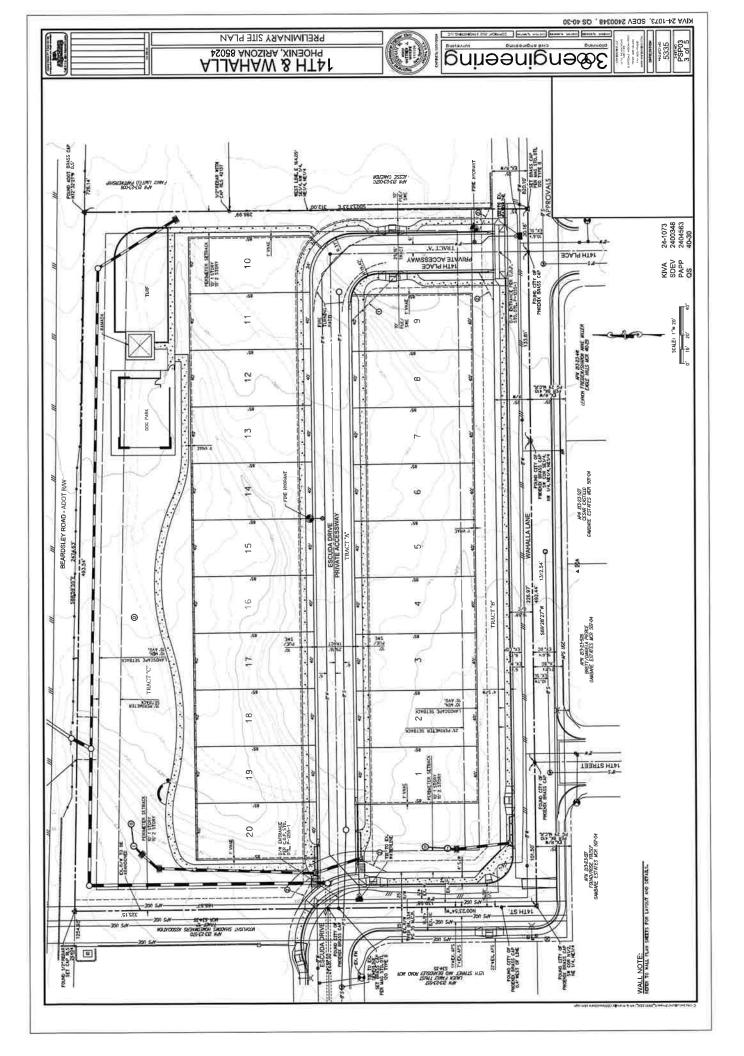


EXHIBIT C

KIVA 24-1073, SDEV 2400348, QS 40-30 COVER SHEET d Sengines cris engineering unrepring MARCH 6335 PSP01 ATH & WAHALLA PLUS 85024 SEE TYPICAL LOT DETAIL ON SHEET 2 1564 ACRES 1313 ACRES 0.368 ACRES 0.360 ACRES YES 50% + 10% FOR SHADE OFFISS AFEA INTT AFFA GROSS-R/W-PRIVATE ACCESS) (125,322 SF) ELOODPLAIN INFORMATION: FINE GOODSTICES FINE MUNIER: 1285 FINE DATE: 7/20/2021 FINE MATE: 7/20/2021 5,764 SF 3,759,6 SF 3,133 SF 626,6 SF PROJECT DESCRIPTION: The works is removed as a factor and from the second with a removed of the second of the sec ENGINEER: 3 Every Superior South Superior South Superior BASIS OF BEARING: THE LESS Libe or The Doctricks! GUARTH OF SECTION 28, TORNSHIP ANDO-00537W REST REMS, 1986, PG, 78, MCR. 5,55 DU/AC 30' (2-STORY), 3,605 ACRES MAXIMUM LOT COVERAGE IN HELS ROAD SITE DATA (R2 PRD USE): KT.S. 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ARE PRIMITIED AS OTHERWISE REGULATED BY OTHER CITY COOKS AND ORGANICAES. BIOEPT THE SOUTH 25 FEET AS CONNENED TO THE CITY OF PHOENIX AT DOCUMENT 87-450541; AND THAL BUILDING PETAIT CANNOT BE CUTANED UNTO BONDING ON APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT—DE-WAY. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33-FEET. 33-FEET ALDER PROPERTY LINES WILL BE MAINTAINED AT A MACHAINA HEIGHT OF 3-FEET. HIS PROJECT IS LICKNED IN THE CITY OF PHOBICK WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAWAYG AN ASSURED WATER SUPPLY. ZONING STIPULATIONS (CASE Z-62-23-2) SEE SHEET PSP02 FOR ZONING STIPULATIONS DON LOT IN THE SUSCINESION IS PERHATED ONE OWILLNESS UNIT. EXCEPT THE EAST 164,05 PEET; AND 10 HO DESIGNATION AS THE PARTY OF PARCE 2:





Official Records of Maricopa County Recorder STEPHEN RICHER 20240109831 03/04/2024 11:19 ELECTRONIC RECORDING 7225G-8-1-1--

ORDINANCE G-7225

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ZONING ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-62-23-2) FROM R1-8 (SINGLE-FAMILY RESIDENCE DISTRICT) TO R-2 (MULTIFAMILY RESIDENCE DISTRICT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 3.88-acre site located at the northeast corner of 14th Street and Wahalla Lane in a portion of Section 28, Township 4 North, Range 3 East, as described more specifically in Exhibit "A," is hereby changed from "R1-8" (Single-Family Residence District) to "R-2" (Multifamily Residence District).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B."

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

Mod

- The development shall be in general conformance with the site plan date stamped September 13, 2023, as modified by the following stipulations and approved by the Planning and Development Department.
- 2. Maximum building height shall be 30 feet.
- 3. All required landscape setbacks shall be planted with minimum 2-inch caliper large canopy, drought tolerant shade trees, planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
- 4. Landscape areas and retention areas shall be planted with minimum 2-inch caliper large canopy drought-tolerant shade trees planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
- 5. The vehicular entrances to the development shall include the following elements, as approved by the Planning and Development Department:
 - a. Pedestrian pathways connecting the interior of the development to the public sidewalks along both sides of the vehicular driveway.
 - b. The entry driveway surface shall be constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces, as approved by the Planning and Development Department.
- 6. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast parking and drive aisle surfaces, as approved by the Planning and Development Department.

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Del

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Del

The development shall incorporate bicycle infrastructure as described below and approved by the Planning and Development Department.

Del

Bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near the amenity area and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.

Del

Guest bicycle parking shall be provided at a minimum rate of 0.05 spaces per unit, up to a maximum of 50 spaces, located near building entrances and within amenity areas.

Del

C. All bicycle infrastructure shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide minimum 75% shade, as approved by the Planning and Development Department.

Del

A bicycle repair station ("fix it station") shall be provided and maintained on site within an amenity area or near a primary site entrance. The bicycle repair station ("fix it station") shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.

Del

A minimum of 10% of the required bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities, as approved by the Planning and Development Department.

Mod

- 10. A minimum of 10% of the required parking spaces shall be EV Ready and a minimum of 20% shall be EV Capable.
- 11. The property owner shall record documents that disclose to prospective purchasers of property within the developments the existence of noise from the SR 101 Freeway. The form and content of such documents shall be reviewed and approved by the City prior to recordation.
- 12. Prior to final site plan approval, the developer shall provide a qualified engineer's report certifying the average annual interior noise exposure for any residential unit or enclosed public assembly area will not exceed 45 decibels, as approved by the Planning and Development Department.

- 13. A noise wall shall be provided along or near the north property line, as approved by the Arizona Department of Transportation and the Planning and Development Department.
- 14. A Red Border Letter shall be submitted to ADOT for this development prior to preliminary site plan approval.
- 15. Complete dedications and construct knuckle design along at the terminus of 14th Street, as approved by the Street Transportation Department.
- 16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- 17. The property owner shall record documents that disclose the existence, and operational characteristics of Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
- 18. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
- 19. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
- 20. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
- 21. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 7th day of February,

MAYOR 2/8/24

Dai

ATTEST:

2024.

Denise Archibald. City Clerk

APPROVED AS TO FORM: Julie M. Kriegh, City Attorney

By:____

Paul Li, Assistant Chief Counsel

REVIEWED BY:

Jeffrey/Barton, City Manager

PML:ac:(LF24-0043):2-7-24:2416753_1.doc

Exhibits:

A – Legal Description (2 Pages)

B – Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR Z-62-23-2

PARCEL 1

THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THAT PORTION, WHICH LIES NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 28, WHICH POINT BEARS SOUTH 00 DEGREES 00 MINUTES 57 SECONDS EAST 370.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 28;

THENCE NORTH 89 DEGREES 00 MINUTES 00 SECONDS WEST 1600.00 FEET TO THE POINT OF ENDING (ADOT PARCEL 7-4108); AND

ALSO EXCEPT THE SOUTH 25 FEET OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA; TOGETHER WITH THE WEST 25 FEET THAT PART OF THE SOUTH 327 FEET OF SAID WEST HALF LYING NORTH OF THE NORTH LINE OF SAID SOUTH 25 FEET; AND TOGETHER WITH THAT PORTION BOUNDED ON THE SOUTH BY SAID NORTH LINE, ON THE WEST BY THE EAST LINE OF SAID WEST 25 FEET AND ON THE NORTHEAST BY THE ARC OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 12 FEET AND BEING TANGENT TO SAID NORTH LINE AND TO SAID EAST LINE, AS CONVEYED TO THE CITY OF PHOENIX IN DOCUMENT NO.

87-450540; AND

ALSO EXCEPT ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED BY THE UNITED STATES OF AMERICA IN THE PATENT TO SAID LAND.

PARCEL 2

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE EAST 164.05 FEET; AND

ALSO EXCEPT THE SOUTH 25 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE

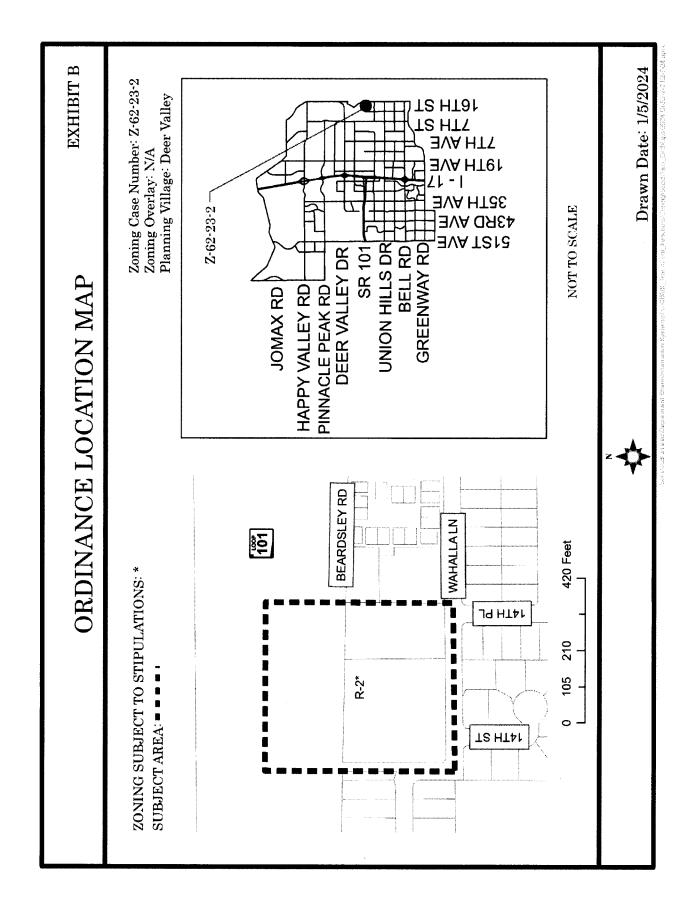
NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS CONVEYED TO THE CITY OF PHOENIX IN DOCUMENT NO. 87-450541; AND

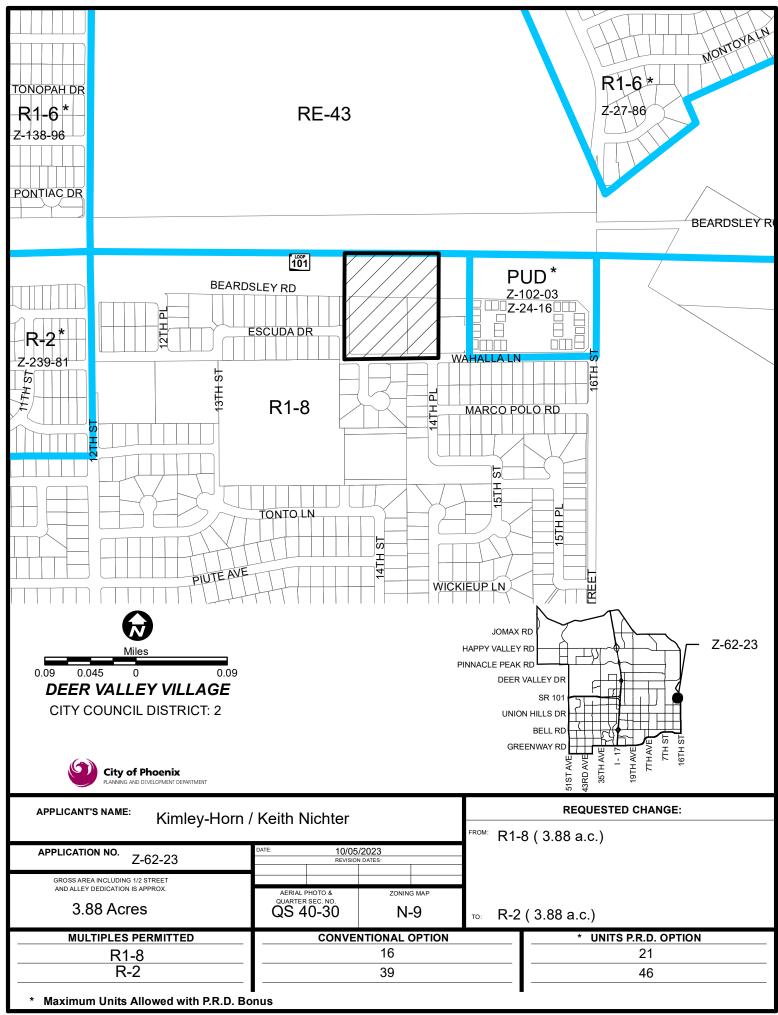
ALSO EXCEPT THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, WHICH LIES NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

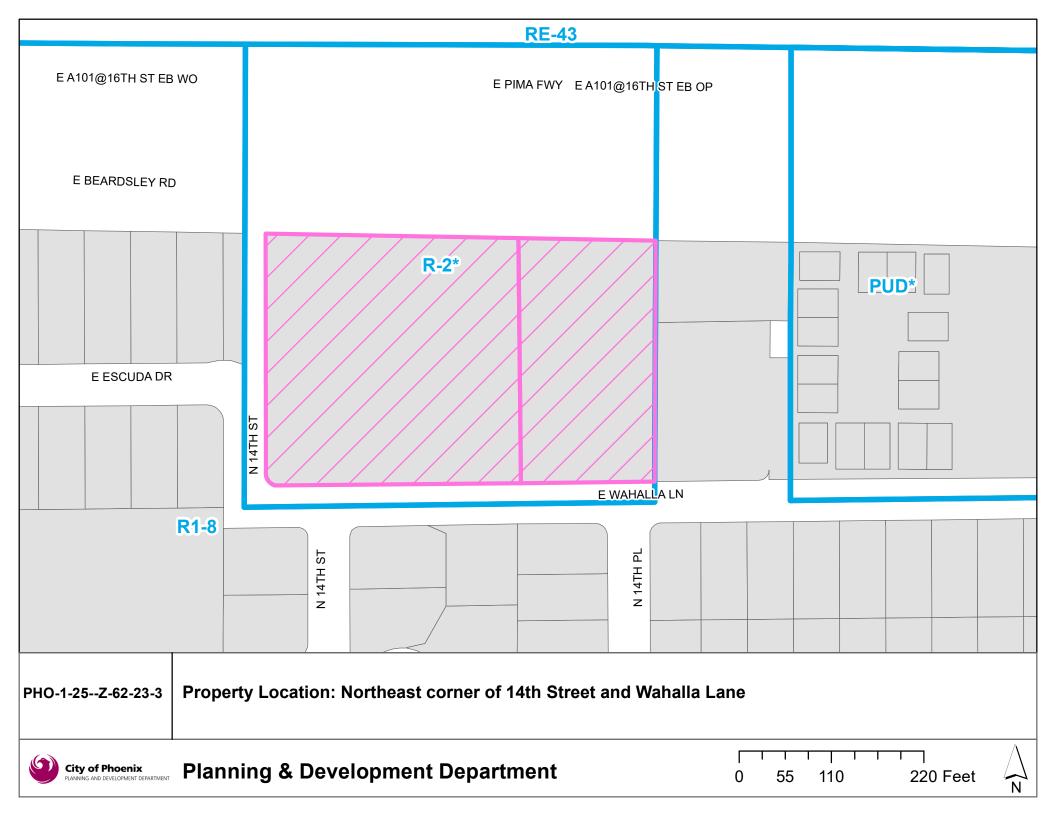
BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 28, WHICH POINT BEARS SOUTH 00 DEGREES 00 MINUTES 57 SECONDS EAST 370.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 28;

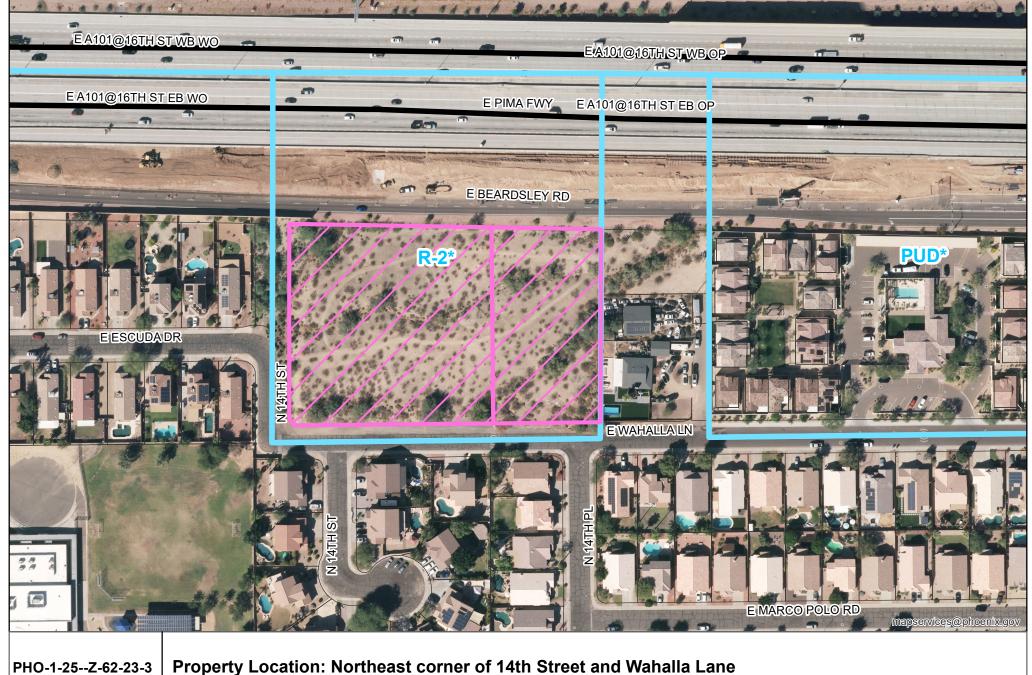
THENCE NORTH 89 DEGREES 00 MINUTES 00 SECONDS WEST 1200.00 FEET TO THE POINT OF ENDING; AND

ALSO EXCEPT ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED BY THE UNITED STATES OF AMERICA IN THE PATENT TO SAID LAND









City of Phoenix

ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.

ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.

ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE, NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.

OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAYS IN ACCORDANCE WITH APPROVED PLANS.

ADDITIONAL INDIVIDUAL LOT REQUIREMENTS (I.E. SETBACKS, WALL ELEVATIONS) ARE LOCATED ON THE APPROVED FINAL SITE PLAN.

THE MAXIMUM LOT COVERAGE IS AS FOLLOWS: 40% FOR THE PRIMARY STRUCTURE, PLUS 10% FOR ATTACHED SHADE STRUCTURES.

EACH LOT CONSTITUTES A BUILDING ENVELOPE AND ACCESSORY USES SUCH AS POOLS, PRIVACY WALLS, AND ACCESSORY STRUCTURES ARE PERMITTED AS OTHERWISE REGULATED BY OTHER CITY CODES AND ORDINANCES.

EACH LOT IN THIS SUBDIVISION IS PERMITTED ONE DWELLING UNIT.

AN ASSOCIATION, INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT, WILL BE FORMED AND HAVE RESPONSIBILITY FOR MAINTAINING ALL COMMON AREAS TO BE NOTED AS TRACTS OR EASEMENTS. INCLUDING PRIVATE STREETS, LANDSCAPE AREAS, AND DRAINAGE FACILITIES IN ACCORDANCE WITH

AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY P&D PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 602-262-6981 AND REQUEST A SITE INSPECTION.

I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS/ENGINEERS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY FOR THE MODIFIED PORTION OF THE PLAN

11/11/24 SIGNATURE OF COPYRIGHT OWNER

MATTHEW J. MANCINI. PE PRINTED NAME OF COPYRIGHT OWNER

A MINIMUM 18-FOOT SETBACK SHALL BE PROVIDED FROM THE BACK OF SIDEWALK TO THE FACE OF THE GARAGE DOOR.

STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'

STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33-FEET X 33-FEET ALONG PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3-FEET.

FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

ZONING STIPULATIONS (CASE Z-62-23-2)

SEE SHEET PSP02 FOR ZONING STIPULATIONS

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (W½NW¼NE¼NE¼) OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, GILA AND SALT RIVER MERIDIAN. MARICOPA COUNTY. ARIZONA:

EXCEPT THAT PORTION OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (W1/2 NW1/4 NE1/4 NE1/4) OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, WHICH LIES NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 28, WHICH POINT BEARS SOUTH 0°00'57" EAST 370.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 28:

THENCE NORTH 89°00'00" WEST 1600.00 FEET TO THE POINT OF ENDING (ADOT PARCEL 7-4108); AND

EXCEPT THE SOUTH 25 FEET OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (W1/2 NW1/4 NE1/4 NE1/4) OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, GILA AND SALT RIVER MERIDIAN, AS CONVEYED TO THE CITY OF PHOENIX AT DOCUMENT 87-450540; AND

EXCEPT THE WEST 25 FEET OF THAT PART OF THE SOUTH 327 FEET OF SAID WEST HALF LYING NORTH OF THE NORTH LINE OF SAID SOUTH 25 FEET AS CONVEYED TO THE CITY OF PHOENIX AT DOCUMENT 87-450540: AND

EXCEPT THAT PORTION OF SAID WEST HALF BOUNDED ON THE SOUTH BY THE NORTH LINE OF SAID SOUTH 25 FEET, ON THE WEST BY THE EAST LINE OF SAID WEST 25 FEET AND ON THE NORTHEAST BY THE ARC OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 12 FEET AND BEING TANGENT TO SAID NORTH LINE AND TO SAID EAST LINE OF THE ABOVE DESCRIBED 25 FOOT EXCEPTIONS AS CONVEYED TO THE CITY OF PHOENIX AT DOCUMENT NO. 87-450540: AND

EXCEPT ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

PARCEL 2:

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (SE1/4 NW1/4 NE1/4 NE1/4) OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST 164.05 FEET; AND

EXCEPT THE SOUTH 25 FEET AS CONVEYED TO THE CITY OF PHOENIX AT DOCUMENT

EXCEPT THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (SE¼ NW¼ NE¼ NE¼) OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, WHICH LIES NORTHERLY OF THE FOLLOWING DESCRIBED

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 28. WHICH POINT BEARS SOUTH 0°00'57" EAST 370.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 28;

THENCE NORTH 89°00'00" WEST 1200.00 FEET TO THE POINT OF ENDING; AND

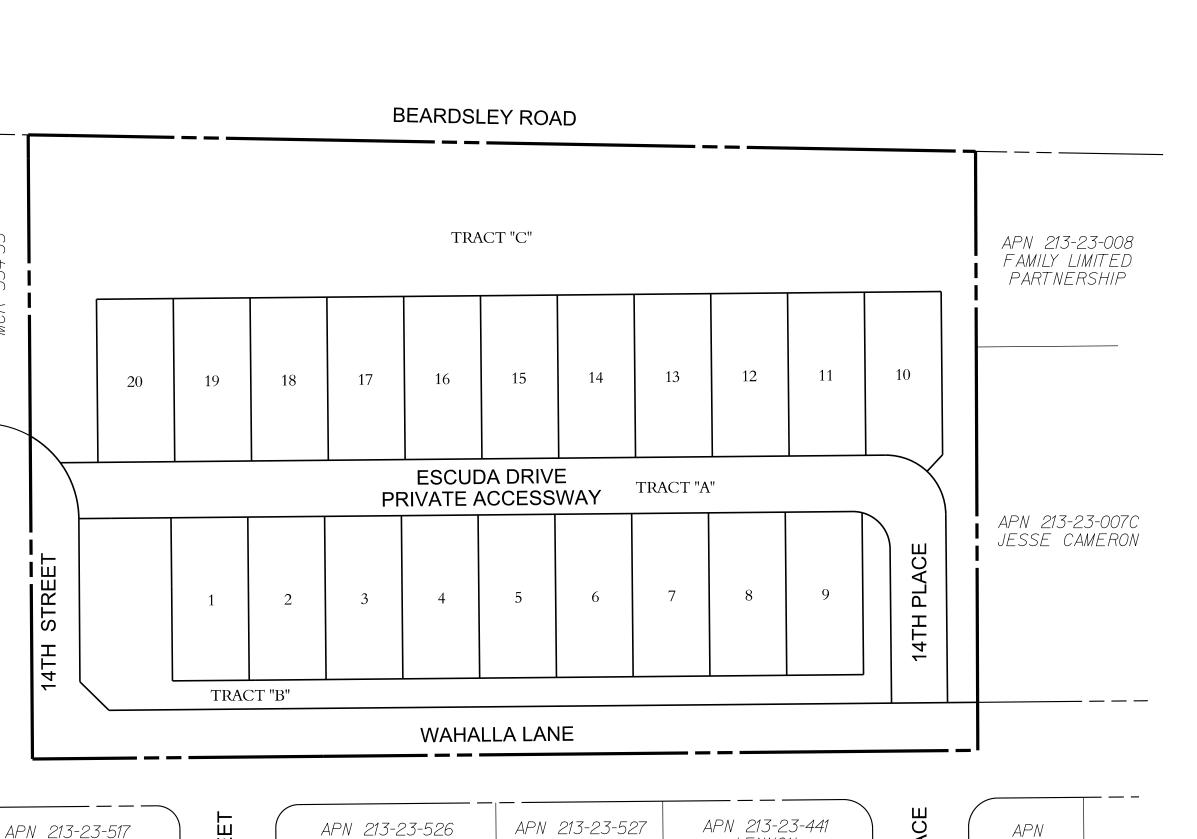
FURTHER EXCEPTING ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

PRELIMINARY SITE PLAN

14TH & WAHALLA

A PLANNED RESIDENTIAL SUBDIVISION SUBJECT TO SINGLE FAMILY DESIGN REVIEW

LOCATED IN A PORTION SECTION 28. TOWNSHIP 4 NORTH. RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



CESAR CASTILLO

GAMBARE

ESTATES MCR

507-04

LENNON

FREGIEN/SHARON

ANNE MILLER

EAGLE HILLS MCR

410-29

SHEET LEGEND:

TRACT AREA AND USE TABLE

PRELIMINARY SITE PLAN

1.681 AC

213-23-440

IAM TRUST

EAGLE HILLS

MCR 410-29

TRACT

TOTAL

L5.02

APPLICANT:

RESIDENTIAL PURSUITS INVESTMENTS, LLC 7600 E DOUBLETREE RANCH ROAD, SUITE 220 SCOTTSDALE, ARIZONA 85258 CONTACT: JOVANNA ORTEGA EMAIL: JORTEGA@ARCADIACAPITALLLC.COM PHONE: (602) 320-9159

THIS PROJECT IS PROPOSED AS A DETACHED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A GROSS DENSITY OF 5,55 LOTS/AC, STANDARD LOT SIZES VARY WITH A MINIMUM LOT DIMENSION

BENCHMARK:

CITY OF PHOENIX BENCHMARK,

TELEPHONE - CENTURY LINK/ COX COMMUNICATIONS - ARIZONA PUBLIC SERVICE - SOUTHWEST GAS COMPANY - COX COMMUNICATIONS SEWER - CITY OF PHOENIX

ASSESSORS PARCEL NO.

APN 213-23-603 & 213-23-604

ADDRESS

DESIGN.

USE

0.368 AC | PRIVATE ACCESSWAY, W/S, DRAINAGE, PUE, EMERG. ACCESS

1414 E. WAHALLA STREET PHOENIX, AZ 85024

MISCELLANEOUS NOTES:

STREET LIGHTS TO BE DETERMINED AT FINAL

NATIVE PLANT INVENTORY & SALVAGE TO BE

3 ENGINEERING 6370 E. THOMAS ROAD, SUITE 200 SCOTTSDALE, ARIZONA 85251 CONTACT: MATTHEW J. MANCINI, P.E. PHONE: (602) 334-4387 EMAIL: MATT@3ENGINEERING.COM

ENGINEER:

E. BEARDSLEY

ROAD

- WAHALLA

LN

L UTOPIA ROAD

N.T.S.

E. UNION HILLS ROAD

VICINITY MAP

Call 811 or click Arizona811.co

14

50

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4

OF RIFICATE WAS

45652

MATTHEW J.

MANCINI

2, 11/11/24 Signed.....

ARIZONA, U.S.

EXPIRES: 12/31/2024

S

PROJECT DESCRIPTION:

OF 40' BY 85'. THE PROJECT PROPOSES A TOTAL OF 20 LOTS WITH PRIVATE ACCESSWAYS, PUBLIC WATER, AND PUBLIC SEWER, PROJECT PROPOSES A ZONING CATEGORY OF R2 PRD.

MARICOPA COUNTY DEPARTMENT BRASS CAP STEM, NE CORNER OF SECTION 28

EL.=1507.15 (NGVD '29) (CITY OF PHOENIX DATUM)

POLICE/FIRE

CABLE TV WATER - CITY OF PHOFNIX

- CITY OF PHOENIX

- CITY OF PHOENIX

RETAINING WALLS TO BE DETERMINED AT

FINAL DESIGN.

COMPLETED DURING FINAL DESIGN.

BASIS OF BEARING:

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST, BEARS NOO°00'57"W PER BK. 1386, PG. 19,

FLOODPLAIN INFORMATION:

FIRM: 04013C1295M PANEL NUMBER: 1295 PANEL DATE: 7/20/2021 SUFFIX: M FIRM DATE: 7/20/2021 FIRM ZONE: X-SHADED

SITE DATA (R2 PRD USE):

BASE FLOOD ELEV .: N/A

TOTAL LOTS 3.605 ACRES GROSS AREA (INC. R/W) **GROSS DENSITY** 5.55 DU/AC 30' (2-STORY), MAX. BLDG. HEIGHT

SETBACKS SEE TYPICAL LOT DETAIL ON SHEET 2 AREA OF LOTS 1,564 ACRES

1.313 ACRES AREA OF OPEN SPACE TRACT AREA OF ONSITE 0.368 ACRES PRIVATE ACCESSWAY AREA OF PUBLIC R/W 0.360 ACRES

LOT SALES PROPOSED YES LOT COVERAGE 50% + 10% FOR SHADE (ALLOWED) R2 PRD ZONING

MAXIMUM LOT COVERAGE (PRD OPTION):

3.605 ACRES GROSS AREA (157**,**031 SF) 2.877 ACRES NET AREA

(GROSS-R/W-PRIVATE ACCESS) (125,322 SF) AVERAGE AREA/LOT NET/20 50% + 10% SHADE

6,266 SF 3,759.6 SF 3.133 SF 626.6 SF

APPROVALS

CITY OF PHOENIX

JAN 3 0 2025

DATE: 11/11/24

PSP01

Hearing Date: March 19, 2025

LEGEND

BRETT/DANIELA

PIERCE

GAMBARE ESTATES

MCR 507-04

33'x33' SVT / 15'x33' SVT $\mathit{ET}oxtimes$ PROPERTY / BOUNDARY LINE EB 🗈 EXISTING CONTOUR ELEVATION WM =PROPOSED CONTOUR ELEVATION EXISTING ELEVATION +86.34 PROPOSED GROUND ELEVATION ----8'W ----DIRECTION OF FLOW & SLOPE $FH_{lacktrel{G}}$ PROPOSED GRADE BREAK PAD= PROPOSED PAD ELEVATION PROPOSED CATCH BASIN PROPOSED STORM DRAIN PIPE PROPOSED DRYWELL TAPPING SLEEVE & VALVE PUBLIC UTILITY EASEMENT MULTI-USE TRAIL EASEMENT SUBDIVISION CORNER BACK OF CURB

FOUAD/ROSE

YOUSLF

GAMBARE ESTATES

MCR 507-04

LS

LANDSCAPE

CURB & GUTTER

INDICATES EX. ELECTRIC TRANSFORMER EXISTING ELECTRIC BOX EXISTING WATER METER EX. BACKFLOW PREVENTER VALVE EXISTING BURIED TELEPHONE CONDUIT EXISTING BURIED ELECTRIC CONDUIT EXISTING WATER LINE, VALVE & SIZE EXISTING FIRE HYDRANT EXISTING SEWER LINE & SIZE PROPOSED WATER PROPOSED SEWER PROPOSED MANHOLE PROPOSED HYDRANT PROPOSED VALVE PROPOSED MONUMENT

SIDEWALK

RIGHT-OF-WAY

EXISTING LIGHT POLE

INDEX OF SHEETS SHEET NO. DESCRIPTION COVER SHEET PSP01 PSP02 ZONING STIPULATIONS & DETAILS PSP03 PRELIMINARY SITE PLAN L4.01 WALL PLAN L4.02 WALL DETAILS L5**.**01 OPEN SPACE PLAN OPEN SPACE DETAILS

0.263 AC LANDSCAPE, RETENTION, DRAINAGE, PUE/SWE

1.050 AC LANDSCAPE, RETENTION, DRAINAGE, PUE/SWE

2400348 SDEV PAPP QS 40-30

Proposed Conceptual Site Plan

87-450541; AND

PHO-1-25--Z-62-23-3

R/W

Planning & Development Department

2404563

24-1073

M

3 ENGINEERING, LLC

PHONE: (602) 334-4383 FAX: (602) 490-3230

WWW.3ENGINEERING.CC PROJECT NO.

1 of 5

2. MAXIMUM BUILDING HEIGHT SHALL BE 30 FEET.

3. ALL REQUIRED LANDSCAPE SETBACKS SHALL BE PLANTED WITH MINIMUM 2—INCH CALIPER LARGE CANOPY, DROUGHT TOLERANT SHADE TREES, PLANTED 20 FEET ON CENTER OR IN EQUIVALENT GROUPINGS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
4. LANDSCAPE AREAS AND RETENTION AREAS SHALL BE PLANTED WITH MINIMUM 2—INCH CALIPER LARGE CANOPY DROUGHT—TOLERANT SHADE TREES PLANTED 20 FEET ON CENTER OR IN EQUIVALENT GROUPINGS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

5. THE VEHICULAR ENTRANCES TO THE DEVELOPMENT SHALL INCLUDE THE FOLLOWING ELEMENTS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT:

A. PEDESTRIAN PATHWAYS CONNECTING THE INTERIOR OF THE DEVELOPMENT TO THE PUBLIC SIDEWALKS ALONG BOTH SIDES OF THE VEHICULAR DRIVEWAY.

B. THE ENTRY DRIVEWAY SURFACE SHALL BE CONSTRUCTED OF DECORATIVE PAVERS, STAMPED OR COLORED CONCRETE, OR ANOTHER MATERIAL, OTHER THAN THOSE USED TO PAVE THE PARKING SURFACES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

6. WHERE PEDESTRIAN WALKWAYS CROSS A VEHICULAR PATH, THE PATHWAY SHALL BE CONSTRUCTED OF DECORATIVE PAVERS, STAMPED OR COLORED CONCRETE, OR OTHER PAVEMENT TREATMENTS THAT VISUALLY CONTRAST PARKING AND DRIVE AISLE SURFACES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

7. ALL PEDESTRIAN WALKWAYS, INCLUDING SIDEWALKS, SHALL BE SHADED BY A STRUCTURE, LANDSCAPING AT MATURITY, OR A COMBINATION OF THE TWO TO PROVIDE A MINIMUM 75%SHADE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

8. ALL UNCOVERED SURFACE PARKING LOT AREA SHALL BE LANDSCAPED WITH MINIMUM 2-INCH CALIPER SIZE LARGE CANOPY DROUGHT TOLERANT SHADE TREES. LANDSCAPING SHALL BE DISPERSED THROUGHOUT THE PARKING AREA AND ACHIEVE 25% SHADE AT MATURITY, AS APPROVED BY PLANNING AND DEVELOPMENT DEPARTMENT.

9. THE DEVELOPMENT SHALL INCORPORATE BICYCLE INFRASTRUCTURE AS DESCRIBED BELOW AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

A. BICYCLE PARKING SPACES SHALL BE PROVIDED THROUGH INVERTED U AND/OR ARTISTIC RACKS LOCATED NEAR THE AMENITY AREA AND INSTALLED PER THE REQUIREMENTS OF SECTION 1307.H. OF THE PHOENIX ZONING ORDINANCE. ARTISTIC RACKS SHALL ADHERE TO THE CITY OF PHOENIX PREFERRED DESIGNS IN APPENDIX K OF THE COMPREHENSIVE BICYCLE MASTER PLAN.

B. GUEST BICYCLE PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF 0.05 SPACES PER UNIT, UP TO A MAXIMUM OF 50 SPACES, LOCATED NEAR BUILDING ENTRANCES AND WITHIN AMENITY AREAS.

C. ALL BICYCLE INFRASTRUCTURE SHALL BE SHADED BY A STRUCTURE, LANDSCAPING AT MATURITY, OR A COMBINATION OF THE TWO TO PROVIDE MINIMUM 75% SHADE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

D. A BICYCLE REPAIR STATION (?FIX IT STATION?) SHALL BE PROVIDED AND MAINTAINED ON SITE WITHIN AN AMENITY AREA OR NEAR A PRIMARY SITE ENTRANCE. THE BICYCLE REPAIR STATION (?FIX IT STATION?) SHALL BE PROVIDED IN AN AREA OF HIGH VISIBILITY AND SEPARATED FROM VEHICULAR MANEUVERING AREAS, WHERE APPLICABLE. THE REPAIR STATION SHALL INCLUDE, BUT NOT BE LIMITED TO STANDARD REPAIR TOOLS AFFIXED TO THE STATION, A TIRE GAUGE AND PUMP AFFIXED TO THE BASE OF THE STATION OR THE GROUND, AND A BICYCLE REPAIR STAND WHICH ALLOWS PEDALS AND WHEELS TO SPIN FREELY WHILE MAKING ADJUSTMENTS TO THE BIKE.

E. A MINIMUM OF 10% OF THE REQUIRED BICYCLE PARKING SPACES SHALL INCLUDE STANDARD ELECTRICAL RECEPTACLES FOR ELECTRIC BICYCLE CHARGING CAPABILITIES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

10. A MINIMUM OF 10% OF THE REQUIRED PARKING SPACES SHALL BE EV READY AND A MINIMUM OF 20% SHALL BE EV CAPABLE.

11. THE PROPERTY OWNER SHALL RECORD DOCUMENTS THAT DISCLOSE TO PROSPECTIVE PURCHASERS OF PROPERTY WITHIN THE DEVELOPMENTS THE EXISTENCE OF NOISE FROM THE SR 101 FREEWAY. THE FORM AND CONTENT OF SUCH DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO RECORDATION.

12. PRIOR TO FINAL SITE PLAN APPROVAL, THE DEVELOPER SHALL PROVIDE A QUALIFIED ENGINEER?S REPORT CERTIFYING THE AVERAGE ANNUAL INTERIOR NOISE EXPOSURE FOR ANY RESIDENTIAL UNIT OR ENCLOSED PUBLIC ASSEMBLY AREA WILL NOT EXCEED 45 DECIBELS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

13. A NOISE WALL SHALL BE PROVIDED ALONG OR NEAR THE NORTH PROPERTY LINE, AS APPROVED BY THE ARIZONA DEPARTMENT OF TRANSPORTATION AND THE PLANNING AND DEVELOPMENT DEPARTMENT.

14. A RED BORDER LETTER SHALL BE SUBMITTED TO ADOT FOR THIS DEVELOPMENT PRIOR TO PRELIMINARY SITE PLAN APPROVAL.

15. COMPLETE DEDICATIONS AND CONSTRUCT KNUCKLE DESIGN ALONG AT THE TERMINUS OF 14TH STREET, AS APPROVED BY THE STREET TRANSPORTATION DEPARTMENT.

16. THE DEVELOPER SHALL CONSTRUCT ALL STREETS WITHIN AND ADJACENT TO THE DEVELOPMENT WITH PAVING, CURB, GUTTER, SIDEWALK, CURB RAMPS, STREETLIGHTS, MEDIAN ISLANDS, LANDSCAPING AND OTHER INCIDENTALS, AS PER PLANS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT. ALL IMPROVEMENTS SHALL COMPLY WITH ALL ADA ACCESSIBILITY STANDARDS.

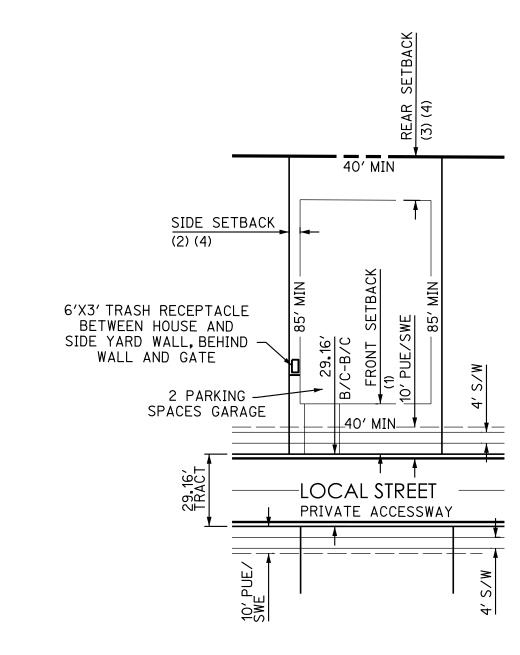
17. THE PROPERTY OWNER SHALL RECORD DOCUMENTS THAT DISCLOSE THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF DEER VALLEY AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY. THE FORM AND CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE TEMPLATES AND INSTRUCTIONS PROVIDED WHICH HAVE BEEN REVIEWED AND APPROVED BY THE CITY ATTORNEY.

18. IF DETERMINED NECESSARY BY THE PHOENIX ARCHAEOLOGY OFFICE, THE APPLICANT SHALL CONDUCT PHASE I DATA TESTING AND SUBMIT AN ARCHAEOLOGICAL SURVEY REPORT OF THE DEVELOPMENT AREA FOR REVIEW AND APPROVAL BY THE CITY ARCHAEOLOGIST PRIOR TO CLEARING AND GRUBBING, LANDSCAPE SALVAGE, AND/OR GRADING APPROVAL.

19. IF PHASE I DATA TESTING IS REQUIRED, AND IF, UPON REVIEW OF THE RESULTS FROM THE PHASE I DATA TESTING, THE CITY ARCHAEOLOGIST, IN CONSULTATION WITH A QUALIFIED ARCHAEOLOGIST, DETERMINES SUCH DATA RECOVERY EXCAVATIONS ARE NECESSARY, THE APPLICANT SHALL CONDUCT PHASE II ARCHAEOLOGICAL DATA RECOVERY EXCAVATIONS.

20. IN THE EVENT ARCHAEOLOGICAL MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, THE DEVELOPER SHALL IMMEDIATELY CEASE ALL GROUND-DISTURBING ACTIVITIES WITHIN A 33-FOOT RADIUS OF THE DISCOVERY, NOTIFY THE CITY ARCHAEOLOGIST, AND ALLOW TIME FOR THE ARCHAEOLOGY OFFICE TO PROPERLY ASSESS THE MATERIALS.

21. PRIOR TO PRELIMINARY SITE PLAN APPROVAL, THE LANDOWNER SHALL EXECUTE A PROPOSITION 207 WAIVER OF CLAIMS FORM. THE WAIVER SHALL BE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE AND DELIVERED TO THE CITY TO BE INCLUDED IN THE REZONING APPLICATION FILE FOR RECORD.



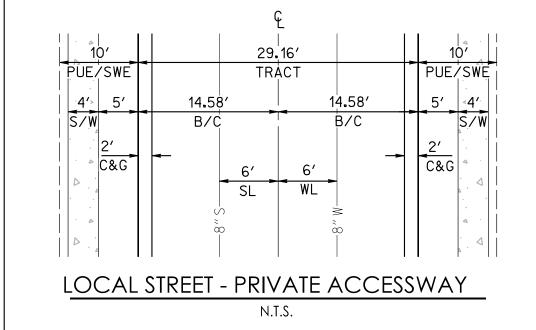
TYPICAL LOT LAYOUT - 40' WIDE MIN.

- (1) 10' TO LIVABLE SPACE OR SIDE LOADED GARAGE; 18' TO FRONT FACING GARAGE FROM BACK OF SIDEWALK.
- (2) SIDE SETBACK ESTABLISHED BY BUILDING CODE.
- (3) REAR SETBACK ESTABLISHED BY BUILDING CODE.

(4) PERIMETER SETBACK:

PERIMETER STREET: 15' IN ADDITION TO 10' MIN. LANDSCAPE SETBACK.

PROPERTY LINE REAR: 15' (1 STORY), 20' (2-STORY)
PROPERTY LINE SIDE: 10' (1 STORY), 15' (2-STORY)



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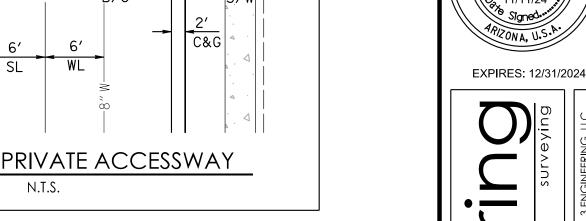
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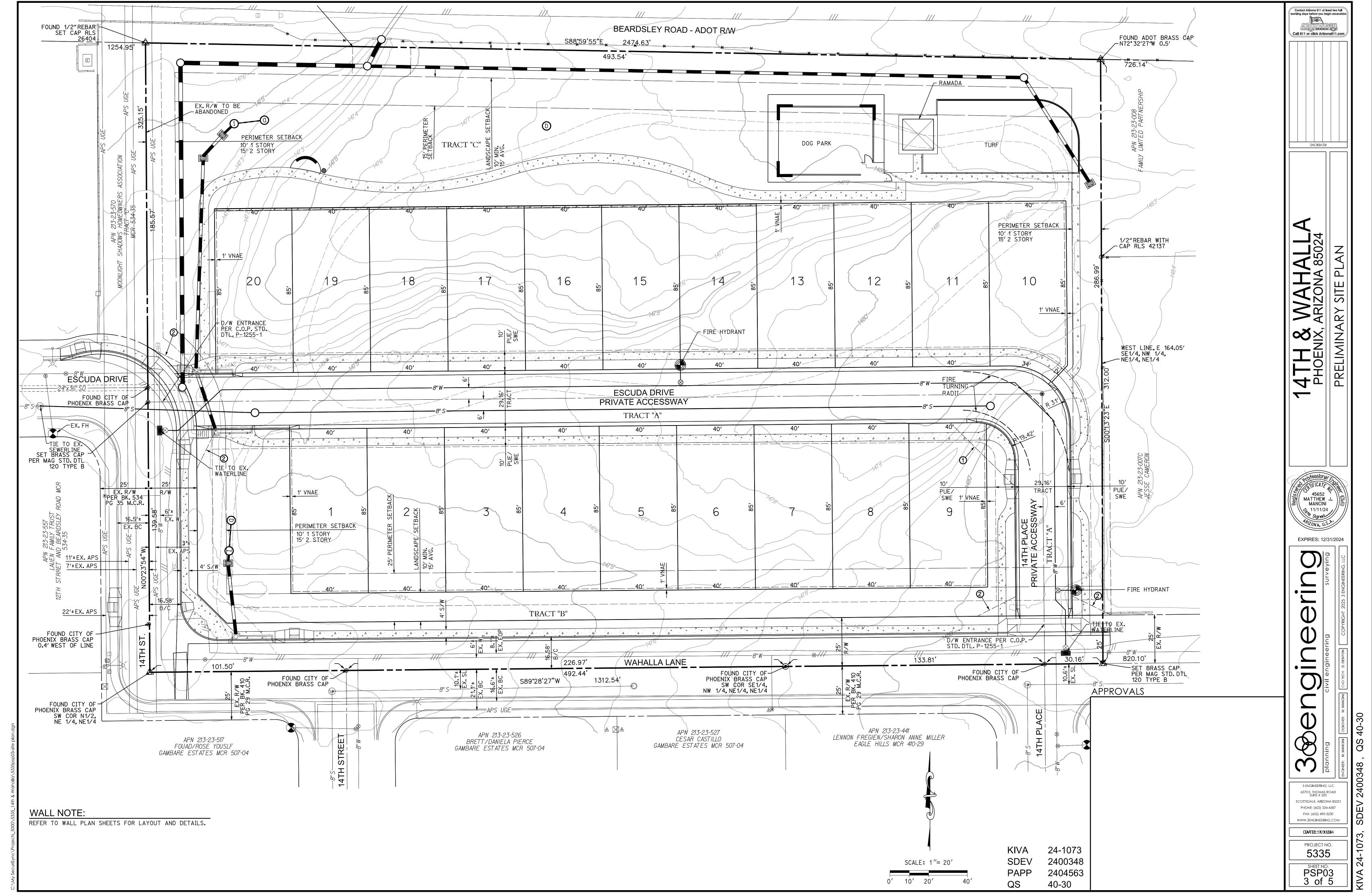
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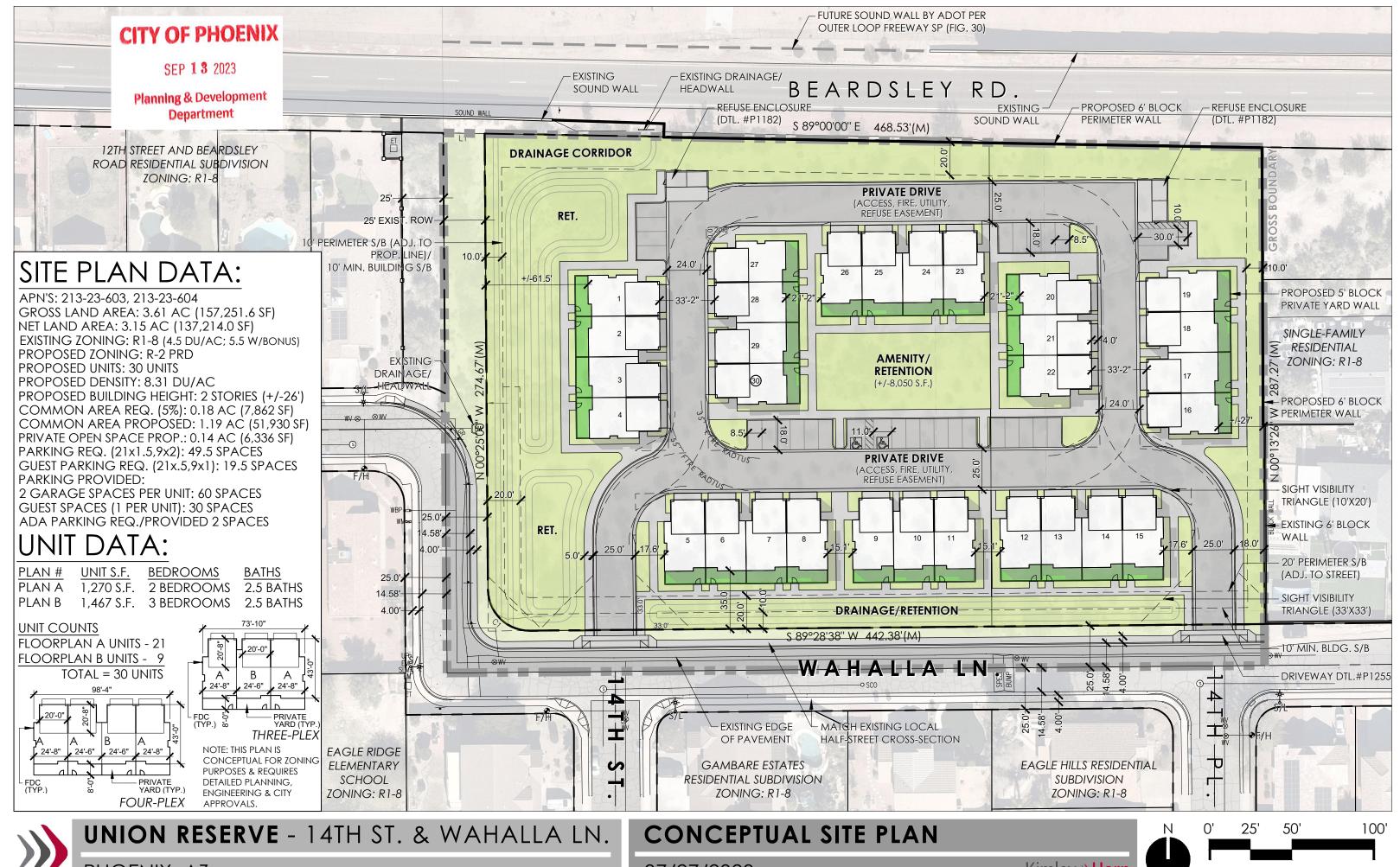
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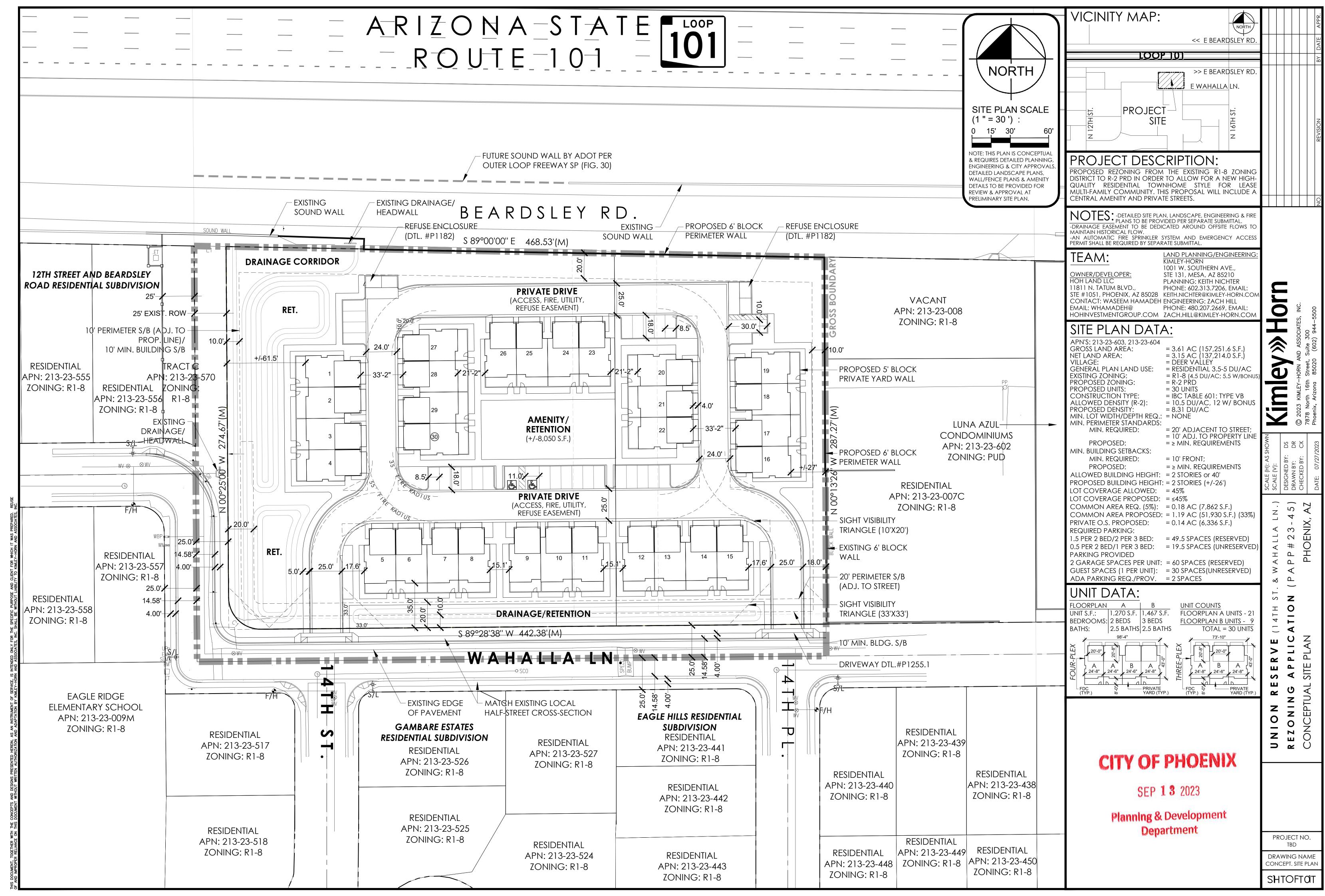
PHOENIX, AZ PHO-1-25--Z-62-23-3 07/27/2023

Kimley » Horn



Hearing Date: March 19, 2025

Stipulated Site Plan



PHO-1-25--7-62-23-3
Stipulated Site Plan

scheduled to hear this case on Dec. 5, 2023; however, there was no quorum.

PC Action: The Planning Commission heard this case on Jan. 4, 2024, and recommended approval, per the staff recommendation, by a vote of 7-0.

Location

Northwest corner of 53rd Street and Dynamite Boulevard Council District: 2

Parcel Address: 28255 N. 52nd St. and 5214, 5218, 5221, 5222, 5225, 5226, 5229, 5230, 5233, 5234, 5237, 5238, 5241, 5242 and 5246 E.

Silver Sage Lane

This item was continued to the March 6, 2024 City Council Formal Meeting.

82 Amend City Code - Ordinance Adoption - Rezoning Application Z-62-23-2 - Northeast Corner of 14th Street and Wahalla Lane (Ordinance G-7225)

Request to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, by adopting Rezoning Application Z-62-23-2 and rezone the site from R1-8 (Single-Family Residence District) to R-2 (Multifamily Residence District) to allow multifamily residential townhomes.

Summary

Current Zoning: R1-8 Proposed Zoning: R-2

Acreage: 3.88

Proposal: Multifamily residential townhomes

Owner: Waseem Hamadeh, HOC Land, LLC

Applicant/Representative: Keith Nichter, Kimley-Horn

Staff Recommendation: Approval, subject to stipulations. VPC Action: The Deer Valley Village Planning Committee heard this case on Dec. 14, 2023, and recommended approval, per staff recommendation, by a vote of 9-0.

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PC Action: The Planning Commission heard this case on Jan. 4, 2024, and recommended approval, per the Deer Valley Village Planning Committee recommendation, by a vote of 7-0.

Location

Northeast corner of 14th Street and Wahalla Lane

Council District: 2

Parcel Address: 1414 E. Wahalla Lane

This item was adopted.

83 Amend City Code - Ordinance Adoption - Rezoning Application Z-59-23-4 - Approximately 125 Feet West of the Northwest Corner of 31st Avenue and Virginia Avenue (Ordinance G-7230)

Request to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, by adopting Rezoning Application Z-59-23-4 and rezone the site from Ind. Pk. (Industrial Park) to A-1 (Light Industrial District) to allow industrial uses (meat processing, packaging, and sales).

Summary

Current Zoning: Ind. Pk. Proposed Zoning: A-1

Acreage: 0.60

Proposal: Industrial uses (meat processing, packaging, and sales)

Owner: Gabriel Amavizca

Applicant/Representative: Shaine T. Alleman, Tiffany & Bosco, P.A.

Staff Recommendation: Approval, subject to stipulations.

VPC Action: The Maryvale Village Planning Committee was scheduled to hear this case on Dec. 13, 2023, for recommendation; however, there was no quorum.

PC Action: The Planning Commission heard this case on Jan. 4, 2024, and recommended approval, per the staff recommendation, by a vote of 7-0.

Location

Approximately 125 feet west of the northwest corner of 31st Avenue and Virginia Avenue

City of Phoenix Page 84

12. **Application #: Z-62-23-2**

From: R1-8
To: R-2
Acreage: 3.88

Location: Northeast corner of 14th Street and Wahalla Lane

Proposal: Multifamily residential townhomes

Applicant: Keith Nichter, Kimley-Horn

Owner: Waseem Hamadeh, HOC Land, LLC

Representative: Keith Nichter, Kimley-Horn

Ms. Racelle Escolar stated that Item No. 12 is Z-62-23-2 a request to rezone 3.88 acres at the northeast corner of 14th Street and Wahalla Lane from R1-8 (Single-Family Residence District) to R-2 (Multifamily Residence District) to allow multifamily residential townhomes.

The Deer Valley Village Planning Committee recommended approval, per the staff recommendation by a 9 to 0 vote.

Staff recommends approval, per the Deer Valley Village Planning Committee recommendation.

Chairman Gaynor asked Mr. Keith Nichter if he wished to speak.

Mr. Nichter responded no, and to proceed.

Chairman Gaynor asked for discussion. There was none. He entertained a motion.

Commissioner Perez made a MOTION to approve Z-62-23-2, per the Deer Valley Village Planning Committee recommendation.

Commissioner Jaramillo SECONDED.

There being no further discussion, Chairman Gaynor called for a vote and the MOTION Passed 7-0 (Absent: Mangum).

Stipulations:

- 1. The development shall be in general conformance with the site plan date stamped September 13, 2023, as modified by the following stipulations and approved by the Planning and Development Department.
- Maximum building height shall be 30 feet.
- 3. All required landscape setbacks shall be planted with minimum 2-inch caliper large canopy, drought tolerant shade trees, planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.

- 4. Landscape areas and retention areas shall be planted with minimum 2-inch caliper large canopy drought-tolerant shade trees planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
- 5. The vehicular entrances to the development shall include the following elements, as approved by the Planning and Development Department:
 - a. Pedestrian pathways connecting the interior of the development to the public sidewalks along both sides of the vehicular driveway.
 - b. The entry driveway surface shall be constructed of decorative pavers, stamped, or colored concrete, or another material, other than those used to pave the parking surfaces, as approved by the Planning and Development Department.
- 6. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped, or colored concrete, or other pavement treatments that visually contrast parking and drive aisle surfaces, as approved by the Planning and Development Department.
- 7. All pedestrian walkways, including sidewalks, shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide a minimum 75% shade, as approved by the Planning and Development Department.
- 8. All uncovered surface parking lot area shall be landscaped with minimum 2-inch caliper size large canopy drought tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25% shade at maturity, as approved by Planning and Development Department.
- 9. The development shall incorporate bicycle infrastructure as described below and approved by the Planning and Development Department.
 - a. Bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near the amenity area and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.
 - b. Guest bicycle parking shall be provided at a minimum rate of 0.05 spaces per unit, up to a maximum of 50 spaces, located near building entrances and within amenity areas.
 - c. All bicycle infrastructure shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide minimum 75% shade, as approved by the Planning and Development Department.

- d. A bicycle repair station ("fix it station") shall be provided and maintained on site within an amenity area or near a primary site entrance. The bicycle repair station ("fix it station") shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
- e. A minimum of 10% of the required bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities, as approved by the Planning and Development Department.
- 10. A minimum of 10% of the required parking spaces shall be EV Ready and a minimum of 20% shall be EV Capable.
- 11. The property owner shall record documents that disclose to prospective purchasers of property within the developments the existence of noise from the SR 101 Freeway. The form and content of such documents shall be reviewed and approved by the City prior to recordation.
- 12. Prior to final site plan approval, the developer shall provide a qualified engineer's report certifying the average annual interior noise exposure for any residential unit or enclosed public assembly area will not exceed 45 decibels, as approved by the Planning and Development Department.
- 13. A noise wall shall be provided along or near the north property line, as approved by the Arizona Department of Transportation and the Planning and Development Department.
- 14. A Red Border Letter shall be submitted to ADOT for this development prior to preliminary site plan approval.
- 15. Complete dedications and construct knuckle design along at the terminus of 14th Street, as approved by the Street Transportation Department.
- 16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- 17. The property owner shall record documents that disclose the existence, and operational characteristics of Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

- 18. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
- 19. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
- 20. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
- 21. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

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Ms. DiLeo asked for clarity on how the reduction of the 5-foot setback would impact the landscape plan.

Mr. Freeman said the assumption of the setback was this was Commerce Park zoning next to residential zoning, but added this request was not for Commerce Park zoning. **Mr. Braden Lopez-Biggs** said the residential zoning is outside of the City's jurisdiction, and he doubts that it would be developed as residential. **Mr. Diepholz** said that most likely the neighboring properties would be annexed into the City of Phoenix from the County. Mr. Diepholz said the likelihood of getting city services to a property that would be residential is unlikely. Mr. Diepholz explained the subject property was annexed and given the equivalency zoning of S-1 and the General Plan calls for the Commerce Park use. Mr. Diepholz said that if neighboring properties go to CP/GCP the landscape requirement would go away.

Mr. Lopez-Biggs asked about the users looking at the space. **Mr. Locher** said all the interests were coming from A-1 users.

Mr. Diepholz said General Plan designation did not take into consideration TSMC since it was completed approximately 10 years ago. And the outlook for the area changed in the last several years.

PUBLIC COMMENT

None.

FLOOR/PUBLIC DISCUSSION CLOSED: MOTION DISCUSSION, AND VOTE

MOTION

Trilese DiLeo motioned to recommend approval of Z-26-23-1 subject to the stipulations, with a deletion of Stipulation No. 2 regarding a minimum 5-foot landscape setback on the north and west sides of the property. **Braden Lopez-Biggs** seconded the motion.

VOTE:

- **9-0,** motion to recommend approval of Z-26-23-1 subject to the stipulations, with a deletion of Stipulation No. 2 regarding a minimum 5-foot landscape setback on the north and west sides passes with Committee Members DiLeo, Field, Freeman, Greenberg, Herber, Lopez-Biggs, Novak, Romero, and Grossman in favor.
- 7. **Z-62-23-2**: Presentation, discussion, and possible recommendation regarding a request to rezone 3.88 acres located at the northeast corner of 14th Street and

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Wahalla Lane **from** R1-8 (Single-Family Residence District) **to** R-2 (Multifamily Residence District) to allow multifamily residential townhomes.

One member of the public registered to speak on this request.

STAFF PRESENTATION

Matteo Moric, staff, provided an overview of the rezoning case. Mr. Moric showed a map of the site's location and stated the surrounding area's zoning was R1-8, and the site was next to residential neighborhoods and a school. Mr. Moric explained the proposed R-2 zoning was not consistent with the General Plan but was less than 10 acres and still considered residential traditional lots, therefore, a general plan amendment would not be required.

Mr. Moric indicated the applicant was proposing 30 townhome units with ample open space just south of Beardsley Road and the Outer Loop Freeway. Mr. Moric then stepped through staff requested stipulations.

APPLICANT PRESENTATION

Keith Nichter, applicant with Kimley-Horn, identified the location of the site as being west of 16th Street within the Outer Loop Freeway Specific Area Plan. Mr. Nichter said this was a great opportunity for infill development and pointed out the existing freeway walls and the Beardsley Frontage Road. Mr. Nichter emphasized there would be no access to the frontage road from the project, but access would be provided internally off Wahalla Lane.

Mr. Nichter explained Wahalla Lane was not a finished road, and as part of this project street improvements would be made which support was expressed by the neighbors. Mr. Nichter said the traditional lot land use designation recommends a few density categories which are acceptable, and R-2 is one of those categories. Mr. Nichter noted R-2 is a nice single-family transitional use and the proposed zoning allows higher density, but they are proposing 7.73 dwelling units per acre. Mr. Nichter said the site is an odd remnant parcel and from an access standpoint it has a weird street jog at the southwest corner, and stated a typical single-family product would put all lots fronting Wahalla Lane

Mr. Nichter noted there was some R-2 zoned properties to the west, and a PUD to the east for an attached product with 30 units as well. Mr. Nichter felt it would be beneficial to have a smaller product and have large open space buffers which surround the property and allow multifamily style town homes. Mr. Nichter said essentially it is a difference of 10 units. Mr. Nichter said they must build new roadways internal to the product with large landscape setbacks and additional open space. Mr. Nichter added some of the units would front onto the open space and turn their garages internal to the site. Mr. Nichter mentioned this allows a diverse

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residential mix and provides a transition from the 101 Freeway and most importantly provides a nice visual transition. Mr. Nichter said they exceed all the development standards of R-2 and R1-8 zoning standards.

Mr. Nichter said they provided additional parking from the minimum and added the increase in open space by one acre. Mr. Nichter noted they are providing each unit with a small private yard and a southwest contemporary architecture that would be respectful of the surrounding heights. He showed the floor plans with each unit having a two-car garage and the units having second story balconies. Mr. Nichter noted all citizen participation requirements were met and mentioned the neighbors talked about a lot of school kids in the area who walked to school and were looking forward to the improvements and connectivity. Mr. Nichter also indicated the neighbors informed him of drainage issues in which he said could be addressed in the next stages of the development process. He added a couple nearby residents reached out to him to see when they would start selling the units so they could downsize and not have to maintain their yards.

QUESTIONS FROM THE COMMITTEE AND APPLICANT RESPONSE

Keith Greenberg asked what a Red Border Letter was per a requested stipulation. **Mr. Moric** responded that it was a notification to ADOT of projects near the freeway so ADOT could understand any impacts or potential impacts to the freeway.

Trilese DiLeo asked where the parking was located. **Mr. Nichter** highlighted the parking locations and noted there would also be garage spaces.

Ricardo Romero asked about the price and **Mr. Nichter** said it would be based on market conditions.

Will Novak asked if the community was to be gated. **Mr. Nichter** said it was planned to be open, and **Mr. Novak** asked about the amenity space. Mr. Nichter said it was not going to be a pool, but some other amenity to be determined such as a fire pit or play area. Mr. Nichter added some of the areas would probably be turf but not the whole site.

Ms. DiLeo questioned if there would be parking along Wahalla Lane. **Mr. Nichter** indicated that since it was the City of Phoenix local street, people could park on it. Mr. Nichter added that only one house in front of the subject site fronted Wahalla Lane.

Mr. Freeman asked if there were any traffic studies for 16th Street since people would be getting on the freeway there. **Mr. Nichter** said with the low amount of proposed units, only 10 additional, the added traffic would not even be noticed.

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Chair Grossman said there are an elementary and high school nearby which was nice.

PUBLIC COMMENT

Sharon Willeel, neighbor, asked about ingress and egress to and from the property. **Mr. Nichter** said the traffic ingress and egress lines up with 14th Street and 14th Place along Wahalla Lane.

FLOOR/PUBLIC DISCUSSION CLOSED: MOTION DISCUSSION, AND VOTE

MOTION

Al Field motioned to recommend approval of Z-62-23-2 per the staff recommendation. **Gregory Freeman** seconded the motion.

VOTE:

- **9-0,** motion to recommend approval of Z-62-23-2 per the staff recommendation passes with Committee Members DilLeo, Field, Freeman, Greenberg, Herber, Lopez-Biggs, Novak, Romero, and Grossman in favor.
- 8. Discussion and possible recommendation regarding the 2024 meeting schedule for the Deer Valley Village Planning Committee.

Chair Grossman stated it was brought to the attention of staff that there was a conflict with the current schedule with another Village Planning Committee. **Keith Greenberg** liked the 3rd Tuesday of the month.

Motion

Gregory Freeman motioned to recommend approval of the 2024 calendar for the 3rd Tuesday of each month. **Braden Lopez-Biggs** seconded the motion.

VOTE:

- **9-0,** motion to recommend approval of the 2024 calendar for the 3rd Tuesday of each month passes with Committee Members DiLeo, Field, Freeman, Greenberg, Herber, Lopez-Biggs, Novak, Romero, and Grossman in favor.
- 9. Discussion and possible recommendation regarding nominations and elections of Chair and Vice Chair for 2024.
 - **Mr. Freeman** and **Ms. DiLeo** expressed their interests in being Chair of the Committee.

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Motion

Ricardo Romero nominated and motioned to elect Trilese DiLeo as Chair of the Deer Valley Village Planning Committee. **Keith Greenberg** seconded the motion.

Vote:

9-0, motion to elect Trilese DiLeo as Chair of the Deer Valley Village Planning Committee passes with Committee Members DiLeo, Field, Freeman, Greenberg, Herber, Lopez-Biggs, Novak, Romero, and Grossman in favor.

Motion

Ricardo Romero nominated and motioned to elect Gregory Freeman as Vice Chair of the Deer Valley Village Planning Committee. **Keith Greenberg** seconded the motion.

Vote:

9-0, motion to elect Gregory Freeman as Vice Chair of the Deer Valley Village Planning Committee passes with Committee Members DiLeo, Field, Freeman, Greenberg, Herber, Lopez-Biggs, Novak, Romero, and Grossman in favor.

 INFORMATION ONLY: Presentation and discussion regarding the 2023 Deer Valley Village Annual Report.

This item was not heard.

11. <u>INFORMATION ONLY</u>: Presentation and discussion regarding the Village Planning Committee (VPC) Handbook and best meeting practices.

Presentation by staff.

This item was not heard.

12. Public comments concerning items not on the agenda.

None.

13. Staff update on cases recently reviewed by the Committee.

None.

14. Committee member announcements, requests for information, follow up, or future agenda items.

None.

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15. Adjournment.

Meeting adjourned at 8:53 pm.