



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

To: Alan Stephenson
Deputy City Manager

Date: Aug. 30, 2022

From: Helana Ruter *HR*
Acting Historic Preservation Officer

Subject: APPEAL OF HP COMMISSION DECISION 3/25/2022 – APPLICATION NO.
HPCA 2100392; 2215 N. 9TH ST., CORONADO HISTORIC DISTRICT

Item 162, Requested City Council approval to uphold, reverse or modify the HP Commission's Certificate of Appropriateness decision on Certificate of Appropriateness Application HPCA 2100392.

The Historic Preservation (HP) Commission heard an appeal of a Certificate of Appropriateness decision for 2215 N 9th St. on February 14, 2022 and continued it to allow for further discussions between the owner, applicant and appellants. Further discussions resulted in a revised design which also lowered the height of the rear unit to a single-story. The HP Commission heard the revised proposal at its March 21, 2022, meeting and, seeing it as having addressed some of the neighbors' original concerns, approved it on a 6-1 vote.

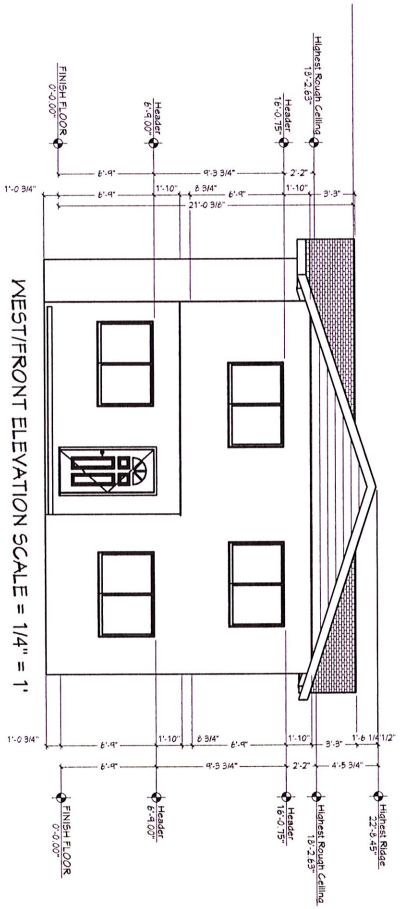
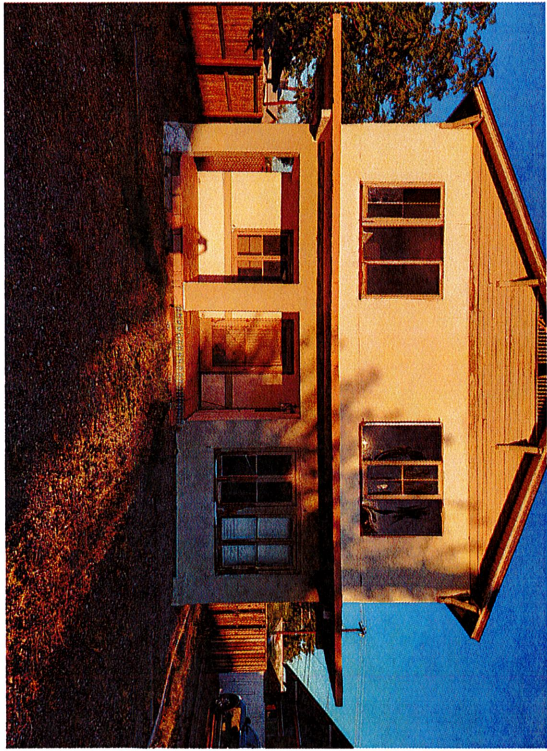
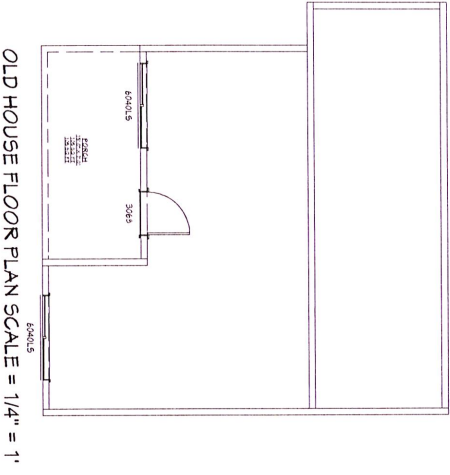
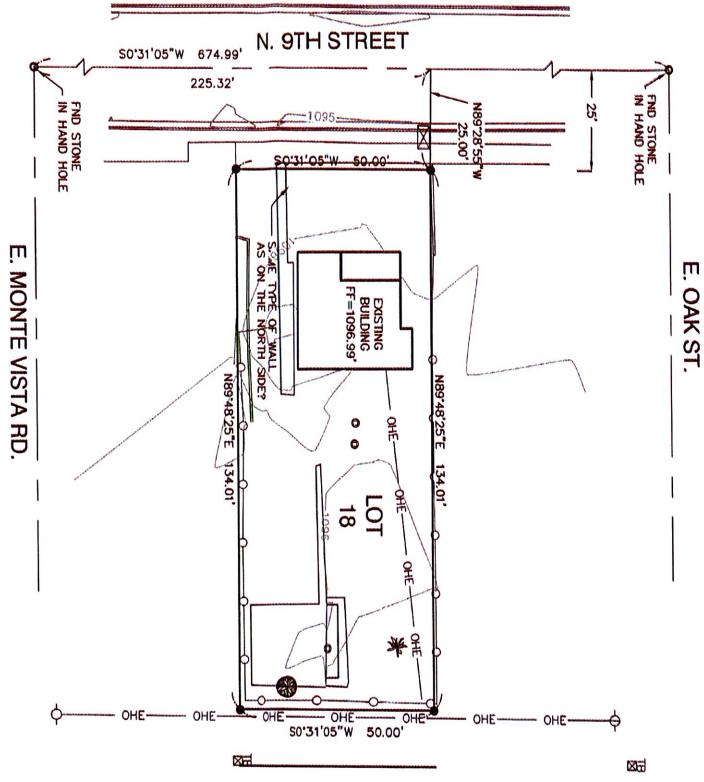
The neighbors continued to have concerns regarding the height and massing of the proposed two-dwelling units and appealed the decision on March 25, 2022. The applicant and owner requested a continuance from the May 11, 2022 Council meeting to June 1, 2022 to have further discussion with the appellants (delays resulted in another continuance request to August 31, 2022).

A meeting with staff from Planning and Development, the owner, applicant, and appellants was convened on July 27, 2022. A tentative agreement was reached to explore a revised proposal that had a single-story unit at the front, transitioning to two-stories at the rear.

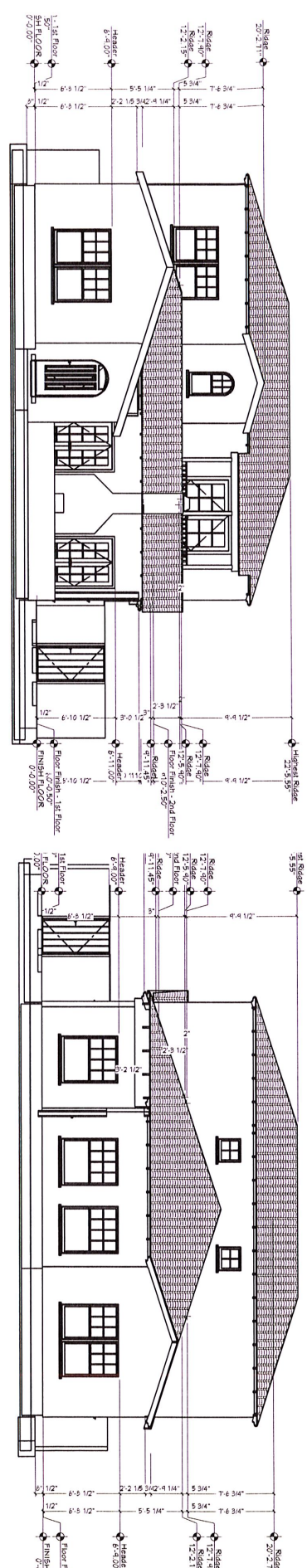
A follow up meeting with HP staff, the owner, applicant, and appellants was held on August 25, 2022, to discuss the plans for the revised proposal. Additional changes agreed upon at the meeting were a change in gable form at the front, a front porch entry modification and rear gable modification which resulted in a revised plan submittal following the meeting.

The owner, applicant, and appellants agreed upon the revised proposal, dated August 25, 2022, in the attached exhibit (5 pages).

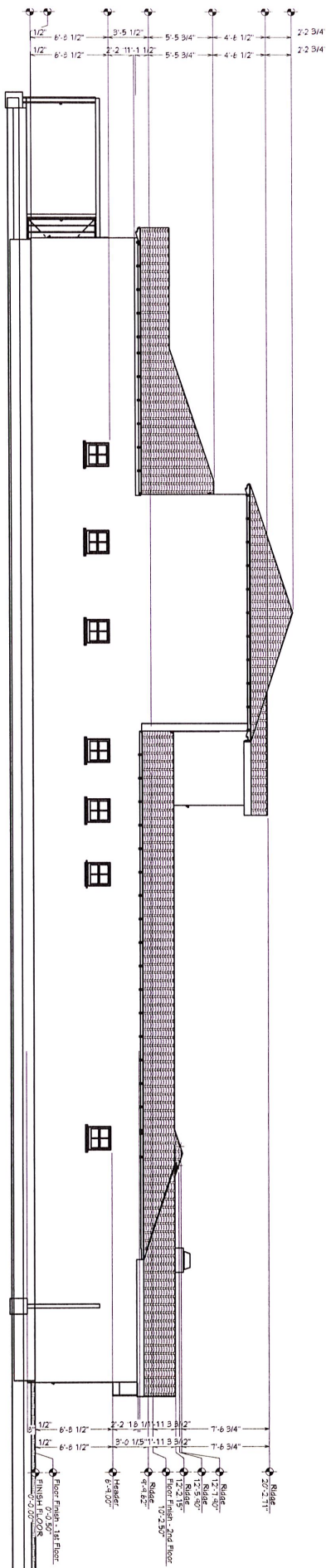
Approved: 
Alan Stephenson, Deputy City Manager



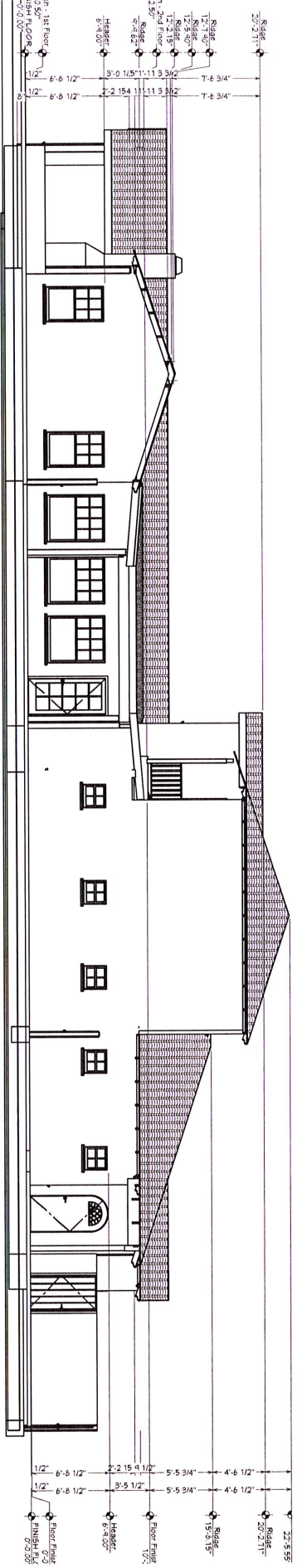
WEST ELEVATION SCALE = 1/4" = 1'

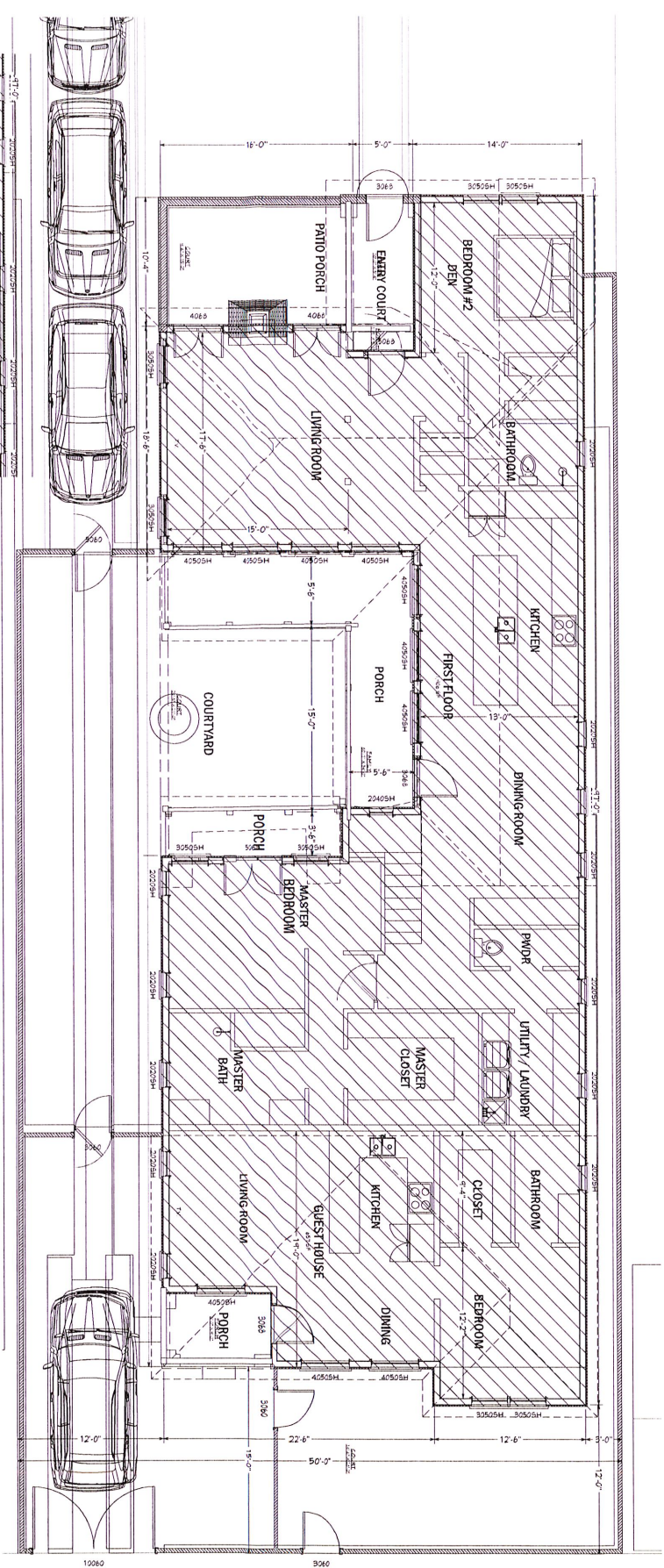


NORTH ELEVATION SCALE = 1/4" = 1'



SOUTH ELEVATION SCALE = 1/4" = 1'



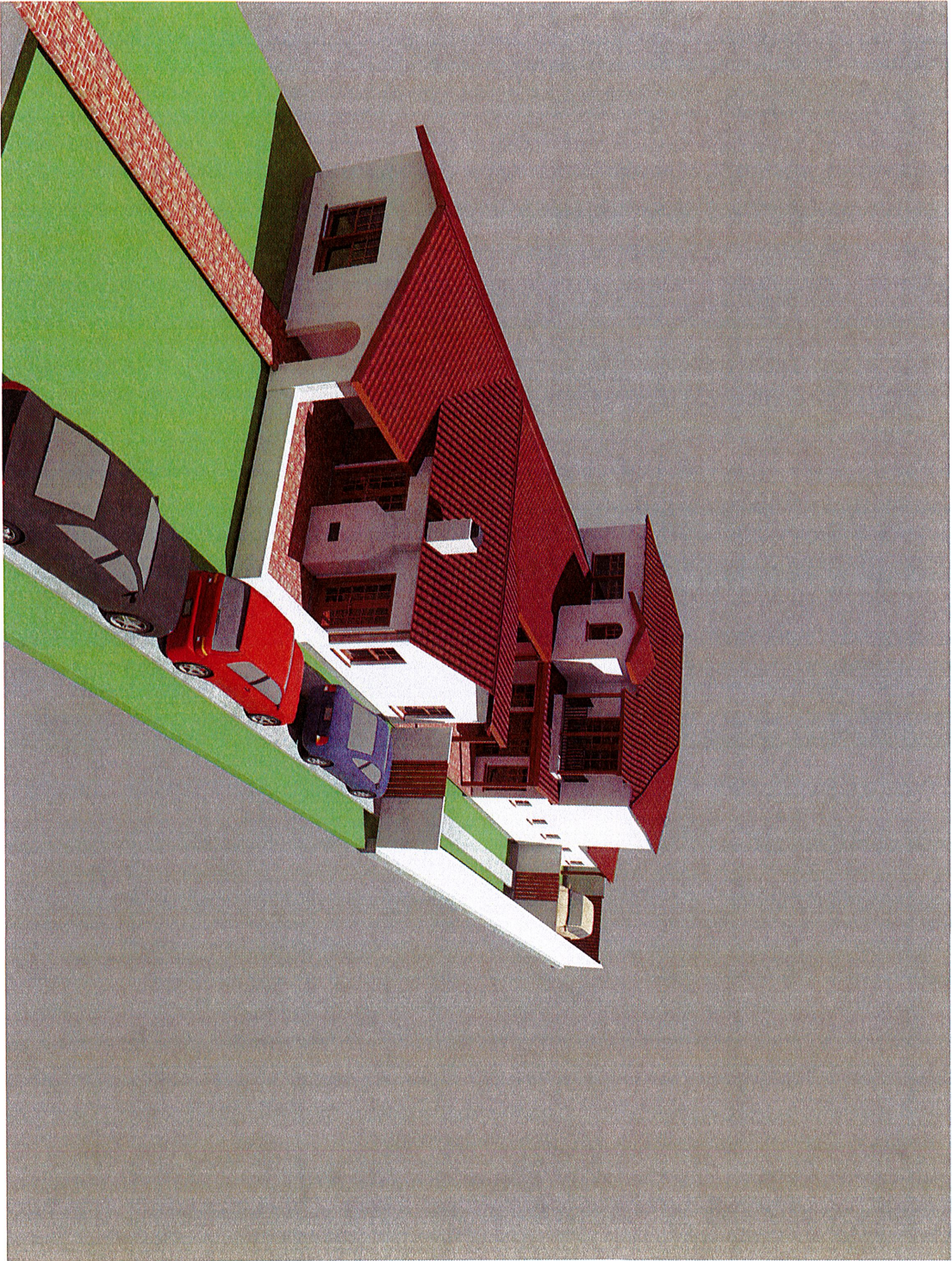


ALL WINDOWS
RECESSED 2" WITH
MULLIONS ON TOP HALF
OF WINDOW

WALL LEGEND

	2X6 FRAME
	STUCCO WALL
	2X4 FRAME
	STUCCO WALL
	2X6 FRAME
	INTERIOR WALL
	2X4 FRAME
	INTERIOR WALL
	2X6 FRAME
	SIDING WALL
	2X6 FRAME W/ 2" STONE
	VENEER WALL
	GLASS SHOWER
	WALL
	8" CMU WALL W/ 4"
	FLOOR
	8" CMU WALL W/ 2"
	FLOOR
	8" CMU FENCE
	WALL
	8" CMU WALL W/
	PLASTER

DATE 05/05/2022	PROJECT 20	LG PROPERTIES PLUS LLC 2215 N 4TH ST PHOENIX 85006 PHONE # 480-516-2185	CONTRACTOR	ALL PLANS PREPARED AND FORWARDED BY THE PROPERTY MANAGER. ALL PLANS REVISIONS OR CHANGES CONSTRUCTION CONTRACT ALL WATER ALL RIGHTS RESERVED	REVISION NO 01/15/21 DESIGN: BRYAN 10/15/21	2831 N. 22ND AVENUE PHOENIX, AZ 85016 PHONE: 602-511-5005 E-MAIL: remodermike@outlook.com	 ACCURATE ESTIMATING SERVICES, LLC
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ALL ROOFING TO HAVE MATCHING TAILS WITH MINIMAL FACIA

DATE 10/20/2021	LG PROPERTIES PLUS LLC 2215 N 4TH ST PHOENIX 85006 PHONE # 480-516-2185	CONTRACTOR	DESIGNER MICHAEL GILSON 412-877-1100 DESIGN-BUILD PH	2451 N. 22ND WAY PHOENIX, AZ 85016 PHONE: 602-577-5005 E-MAIL: remodelmike@outlook.com	 ACCURATE ESTIMATING SERVICES, LLC
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