

To: Alan Stephenson Date: Aug. 30, 2022

Deputy City Manager

From: Helana Ruter \mathcal{HR}

Acting Historic Preservation Officer

Subject: APPEAL OF HP COMMISSION DECISION 3/25/2022 - APPLICATION NO.

HPCA 2100392; 2215 N. 9TH ST., CORONADO HISTORIC DISTRICT

Item 162, Requested City Council approval to uphold, reverse or modify the HP Commission's Certificate of Appropriateness decision on Certificate of Appropriateness Application HPCA 2100392.

The Historic Preservation (HP) Commission heard an appeal of a Certificate of Appropriateness decision for 2215 N 9th St. on February 14, 2022 and continued it to allow for further discussions between the owner, applicant and appellants. Further discussions resulted in a revised design which also lowered the height of the rear unit to a single-story. The HP Commission heard the revised proposal at its March 21, 2022, meeting and, seeing it as having addressed some of the neighbors' original concerns, approved it on a 6-1 vote.

The neighbors continued to have concerns regarding the height and massing of the proposed two-dwelling units and appealed the decision on March 25, 2022. The applicant and owner requested a continuance from the May 11, 2022 Council meeting to June 1, 2022 to have further discussion with the appellants (delays resulted in another continuance request to August 31, 2022).

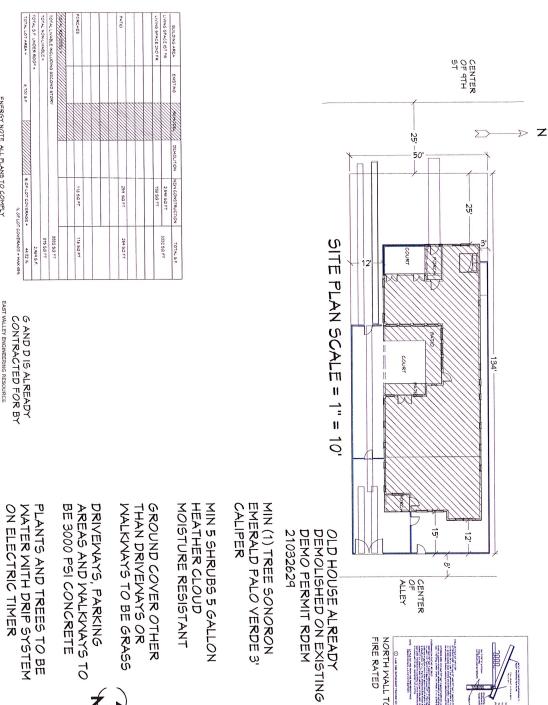
A meeting with staff from Planning and Development, the owner, applicant, and appellants was convened on July 27, 2022. A tentative agreement was reached to explore a revised proposal that had a single-story unit at the front, transitioning to two-stories at the rear.

A follow up meeting with HP staff, the owner, applicant, and appellants was held on August 25, 2022, to discuss the plans for the revised proposal. Additional changes agreed upon at the meeting were a change in gable form at the front, a front porch entry modification and rear gable modification which resulted in a revised plan submittal following the meeting.

The owner, applicant, and appellants agreed upon the revised proposal, dated August 25, 2022, in the attached exhibit (5 pages).

Approved:

Alan Stephenson, Deputy City Manager



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NORTH WALL TO BE FIRE RATED

Zoning: R-3 MCR #: 531 Description: LOS OLIVOS HTS Section Township Range: 33 2N 3E

SCOPE OF YORK NEW CUSTOM DUPLEX, NEW ELECTRICAL SERVICE

SEE CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS
CONDITIONS FROM TO
CONDITIONS FROM TO
STRUCTION IF THERE THERE ARE ANY DISCREPANCIES,
RISS TRUCKES, CHANSIS OR
NESS BROWNERS, COTTY
NESS, WOTHY
MERK REFORM CONSTRUCTION

THER MORK NOT INCLUDED IN THESE DRAWINGS TO BE DON E HOME OWNER CALL TWO WORKING DAYS
BEFORE YOU DIG
602.245.1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY) BLUESTAKE

N TH ST E MONTE VISTA RD E OAK ST N 9TH ST \boxtimes

20 - 6

NEW AND/OR REMODELED BUILDING ENVELOPE AREAS SHALL COMPT, WITH THE FOLLOWING, FERESTRATION = 0.4 MAX. U.FACTOR, 25 MAX 5H6C. MIN. R.13 AT FRAME WALLS AND FLOORS, R-6.0 MAS SHALL R-39.0 CEILINGS, DUT. INSULATION LOCATED OUTDIE THE BUILDING ENVELOPE REQUIRED R-9.8 R-6.4 MASS UNCLEDED THE BUILDING ENVELOPE REQUIRED R-9.8 R-6.4 MASS WALL R-39.0 CHILDING ENVELOPE REQUIRED R-9.8 R-6.4 MASS WALL ATTON LOCATED OUTDIE THE BUILDING ENVELOPE REQUIRED R-9.8 R-6.4 MINIMIZE

ENERGY NOTE. ALL PLANS TO COMPLY WITH IRC 2018 ENERGY CODES

Proposal for Civil Engi R Proposal # 20.05.25
Properties Plus LLC
ling address:

eering Services

PROJECT: LG PROPERTIES-3 UNIT MULTI-FAMILY 2215 N 9TH STREET PHOENIX, ARIZONA 85006

5 PROPERTIES PLUS ILL 2215 N 9TH 5T PHOENIX 85006 PHONE # 480-516-2185

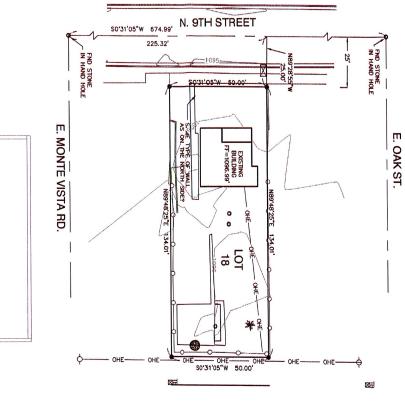
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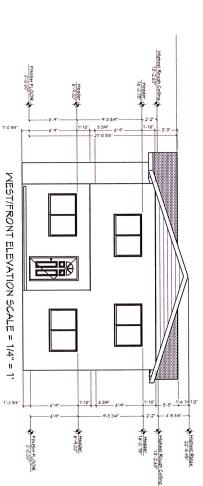
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PESISNER MCHAEL SUSON KQ 577 508

E ACCURATE ESTIMATING SERVICES, LLC.

OWNER, LG PROPERTIES PLUS LLC
ADDRESS; 2215 N 9TH 5T
PHOENIX 55006
PHORE # 40-516-2165
Parcal # 117-31-016
Subdivision: LOS OLIVOS HEIGHTS





OLD HOUSE FLOOR PLAN SCALE = 1/4" = 1'

ESSCH FORCH

3065

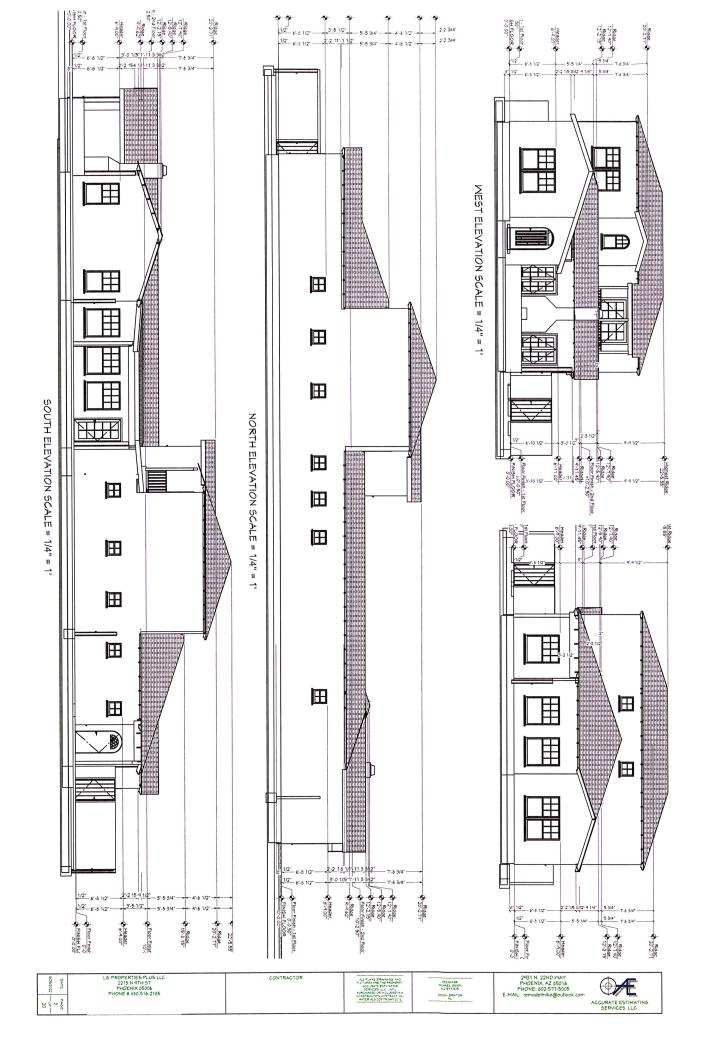


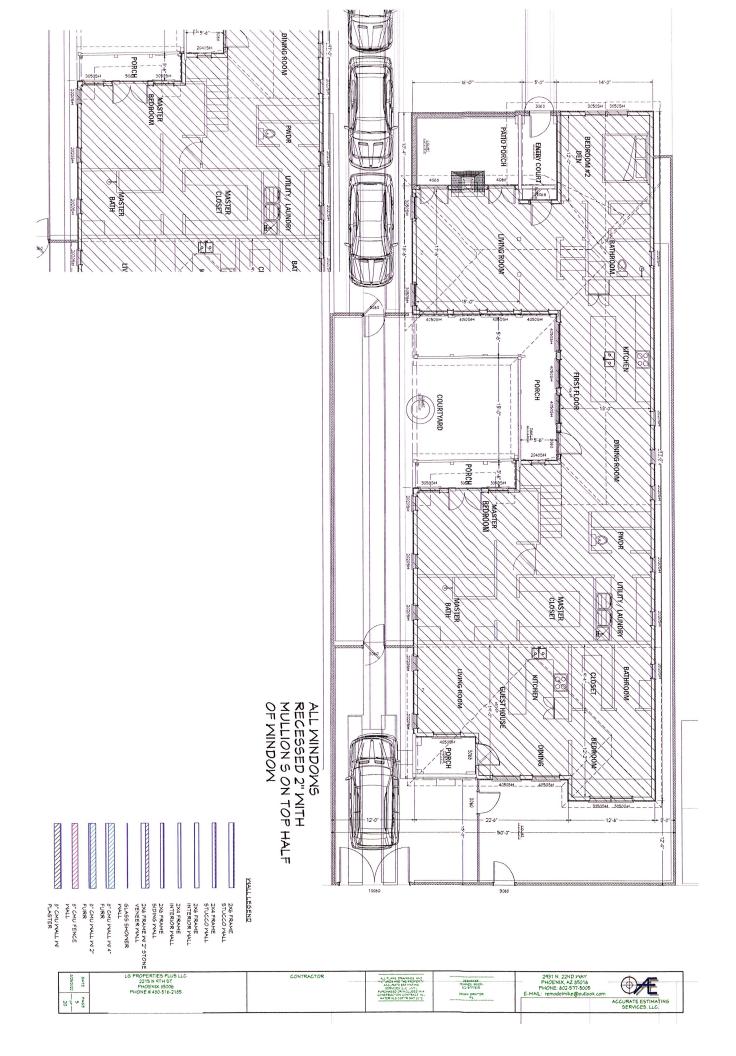
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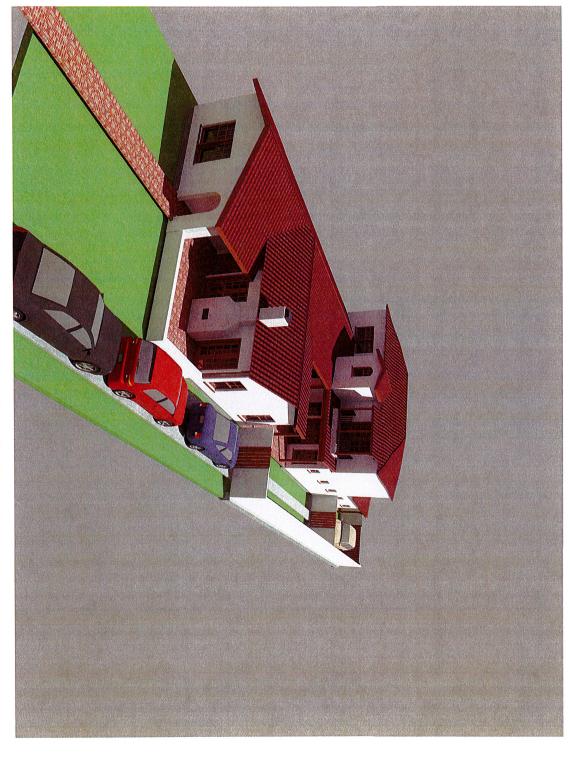
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DESIGNER WORKEL SESON NO 517 509 DESIGN DRAFTER FL 2931 N. 22ND MAY
PHOENIX, AZ 85016
PHONE: 602-577-5005
E-MAIL: remodelmike@outlook.cor









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