

ATTACHMENT A

**THIS IS A DRAFT COPY ONLY AND IS NOT AN OFFICIAL COPY OF THE FINAL,
ADOPTED ORDINANCE**

ORDINANCE G-

AN ORDINANCE AMENDING THE STIPULATIONS APPLICABLE TO
REZONING APPLICATION Z-29-11-7(8) PREVIOUSLY APPROVED BY
ORDINANCE G-5691.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as
follows:

SECTION 1. The zoning stipulations applicable located approximately 400
feet north of the northwest corner of Central Avenue and Euclid Avenue in a portion of
Section 5, Township 1 South, Range 3 East, as described more specifically in Attachment
“A”, are hereby modified to read as set forth below.

STIPULATIONS:

- ~~1. Development shall be in general conformance with the site plan date stamped
January 27, 2012, as approved by the Planning and Development Department
with specific regard to the following:~~
 - ~~a. 10-foot landscape setback along the south property line~~
 - ~~b. 5-foot landscape setback along the building façade~~
 - ~~c. One row of single-loaded parking spaces between Central Avenue and the
front of the buildings.~~
- ~~2. Development shall be in general conformance with the building elevations date
stamped January 27, 2012, as approved by the Planning and Development
Department.~~
1. ALL BUILDING ELEVATIONS SHALL CONTAIN ARCHITECTURAL
EMBELLISHMENTS AND DETAILING SUCH AS TEXTURAL CHANGES,

PILASTERS, OFFSETS, RECESSES, VARIATION IN WINDOW SIZE AND LOCATION, AND/OR OTHER OVERHANG CANOPIES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

2. FOR ANY RESIDENTIAL LAND USE, THE LANDSCAPE SETBACK ALONG CENTRAL AVENUE SHALL BE PLANTED WITH A MINIMUM 50% 2-INCH CALIPER, MINIMUM 25% 3-INCH CALIPER OR MULTI-TRUNK AND MINIMUM 25% 4-INCH CALIPER OR MULTI-TRUNK TREES, SPACED 20 FEET ON-CENTER OR IN EQUIVALENT GROUPINGS, WITH A MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
3. THE DEVELOPER SHALL PROVIDE BICYCLE PARKING PER SECTION 1307.H OF THE PHOENIX ZONING ORDINANCE, AS APPROVED OR MODIFIED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

~~2. Development shall be in general conformance with the building elevations date stamped January 27, 2012, as approved by the Planning and Development Department.~~

4. The maximum building height shall be 18 feet.
~~3.~~

~~5. A minimum 5,000 square feet of the site outside of the required and stipulated landscaped setbacks shall be provided as open space and landscaped.~~
4. ~~Landscaping shall be provided in accordance with the C-1 Zoning District's streetscape landscape standards as approved by the Planning and Development Department.~~

A MINIMUM OF 10 PERCENT OF THE GROSS AREA SHALL BE RETAINED AS OPEN SPACE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

~~5. Trash receptacles shall be located a minimum of 25 feet from the west property line.~~

6. ~~At~~ THE DEVELOPER SHALL PROVIDE a minimum OF ONE ,three pedestrian paths constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, ~~shall be provided across the drive aisles and provide pedestrian connections WHICH PROVIDES DIRECT CONNECTIVITY with the sidewalk on Central Avenue, and between all buildings as approved by the Planning and Development Department.~~

7. A minimum 30% of the required parking stalls shall be composed of a permeable alternative surface as approved by the Zoning Administrator.

8. Right-of-way totaling 50 feet shall be dedicated for the west half of Central Avenue as approved by the Planning and Development Department.

9. No vehicular access shall be provided along the west boundary of the property, as approved by the Planning and Development Department.
10. The property owner shall record a Notice of Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Phoenix Sky Harbor International Airport to future owners or tenants of the property.
11. PRIOR TO PRELIMINARY SITE PLAN APPROVAL, THE LANDOWNER SHALL EXECUTE A PROPOSITION 207 WAIVER OF CLAIMS IN A FORM APPROVED BY THE CITY ATTORNEY'S OFFICE. THE WAIVER SHALL BE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE AND DELIVERED TO THE CITY TO BE INCLUDED IN THE REZONING APPLICATION FILE FOR RECORD.

SECTION 2. Due to the site's specific physical conditions and the use district granted pursuant to Ordinance G-5691, this portion of the rezoning is now subject to the stipulations approved pursuant to Ordinance G-5691 and as modified in Section 1 of this Ordinance. Any violation of the stipulation is a violation of the City of Phoenix Zoning Ordinance. Building permits shall not be issued for the subject site until all the stipulations have been met.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 17th day of June, 2020.

MAYOR

ATTEST:

City Clerk

APPROVED AS TO FORM:

_____ City Attorney

REVIEWED BY:

_____ City Manager

Exhibits:

A - Legal Description (1 Page)

B - Ordinance Location Map (1 Page)

DRAFT

EXHIBIT A

LEGAL DESCRIPTION FOR PHO-1-20-- Z-29-11-7(8)

BEGINNING 374' SOUTH OF THE CENTER OF SECTION 5, TOWNSHIP 1 SOUTH,
RANGE 3 EAST;

THENCE EAST 402'

THENCE SOUTH TO POINT 400' NORTH OF THE SOUTH LINE OF THE
NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5;

THENCE WEST 402' NORTH 545.2' TO POINT OF BEGINNING; EXCLUDING THAT
PORTION DAF COM SECTION 4, COR SD SEC.

THENCE NORTH 2266.09'

THENCE EAST 217.51' TO THE POINT OF BEGINNING; THENCE CONTINUE EAST
167.49'

THENCE SOUTH 390.15' THENCE WEST 167.48'

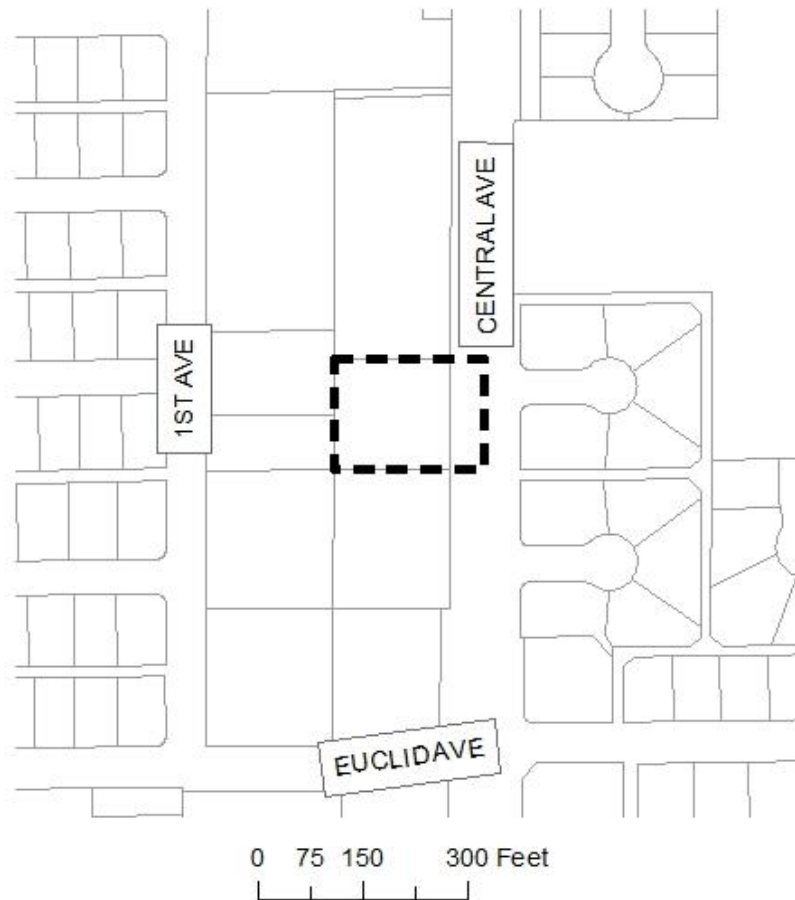
THENCE NORTH 390.15' TO THE POINT OF BEGINNING, P/F 12-461095;

EXCLUDING THE WEST 217.5' AND THE EAST 17'.

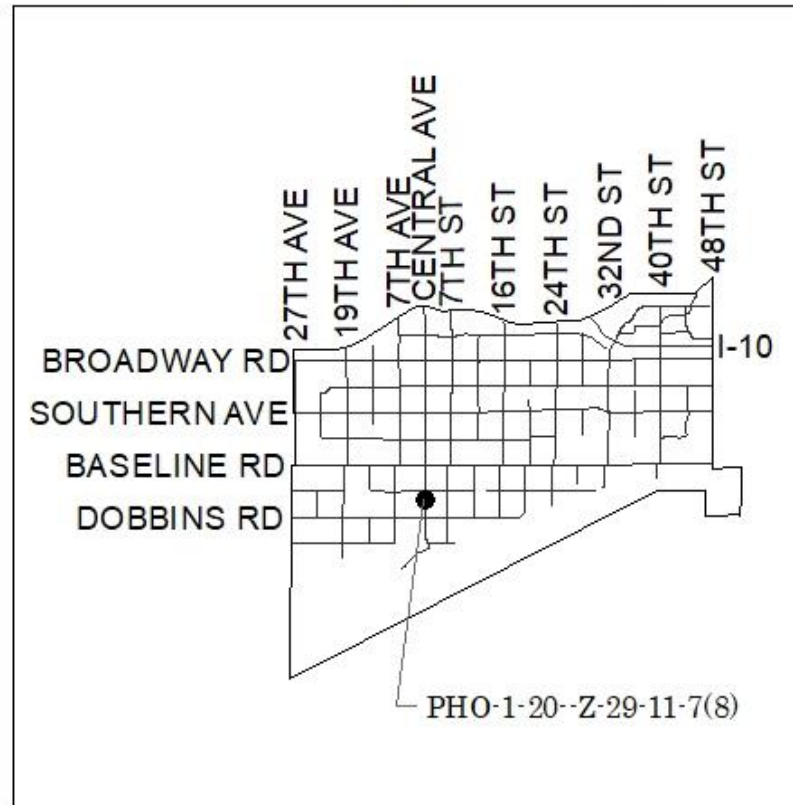
ORDINANCE LOCATION MAP

EXHIBIT B

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: ■ ■ ■ ■ ■



Zoning Case Number: PHO-1-20-Z-29-11-7(8)
Zoning Overlay: N/A
Planning Village: South Mountain



NOT TO SCALE



Drawn Date: 5/22/2020