



City of Phoenix
PLANNING DEPARTMENT

March 4, 2005

Mr. Charlie Schaul
Aridscape Concepts, Inc
7360 E. Acoma Drive, Suite 3
Scottsdale, AZ 85260

RE: **Z-SP-23-04-2** Approximately 424 feet north and 571 feet east of the northeast corner of 28th Street and Mohawk Lane

Dear Applicant:

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.4 of the Zoning Ordinance, as amended, has on March 2, 2005, concurred in the recommendation of the Planning Commission and the Zoning Hearing Officer and has ratified application Z-SP-23-04-2 from RE-35 (approved CP/GCP) to CP/GCP SP, on approximately 2.04 acres, subject to the following stipulations:

STIPULATIONS:

APPLICABLE STIPULATIONS FROM Z-89-03-2:

GENERAL CONFORMANCE:

1. That the (SUBDIVISION) development shall be in general conformance to the site plan and elevations date stamped August 28, 2003. Particular emphasis should be given to consistency of design throughout the development in terms of building colors, exterior materials, and lighting, except that architectural embellishment/building accents shall be added to the prototype building in the August 28, 2003 elevation, as approved or modified by the Development Services Department

LANDSCAPING AND SCREENING:

2. That master landscape plans shall be submitted to the Development Services Department for review and approval of the entire site at the time of preliminary site plan submittal for the first development. The architectural theme of the prototype building shall be continued throughout the subdivision. The project shall provide a major entry feature/monument sign located on Mohawk Lane.

The landscaping along Mohawk Lane, the entry feature, and the first parcel to be developed, shall be installed concurrent with the first phase of the development.

3. That any outdoor storage shall be located at least 100 feet from Mohawk Lane and be fully screened so that it is not visible from the street or adjacent residential properties. Areas devoted to outdoor storage or use shall not exceed 20% of the net lot area.

INFRASTRUCTURE:

4. That the applicant shall participate in the construction of a water/sewer line, as approved by the Development Services Department and the Water Services Department.

DESIGN:

5. That bay doors shall not face Mohawk Lane or adjacent residential properties.

SIGNAGE:

6. That a comprehensive sign plan shall be approved for the entire development in accordance with Section 705F.2 of the Zoning Ordinance. Ground signs shall be of a monument style and shall not exceed 10 feet in height.

RIGHT-OF-WAY:

7. That the developer shall be responsible for full improvements within their property including curb, gutter, sidewalk, streetlights, and landscaping, as per plans approved by the Development Services Department. All improvements shall comply with all ADA accessibility standards.

THE FOLLOWING NEW STIPULATIONS SHALL APPLY:

STORAGE:

8. That approval of this Special Permit shall allow no storage of bulk materials within 40 feet of the property line.

CONDITIONAL APPROVAL:

9. That all site improvements shall be completed and the Certificate of Occupancy issued within 18 months of City Council approval of this request. Site plan submittals and improvement plans shall be presented to the Development Services Department within 60 days of City Council approval of this request except for the building to be developed in phase II.

SCREENING WALL:

10. That a six-foot block wall shall be constructed around the north, east, and west boundaries of the property.

PARKING:

11. That any equipment and/or vehicles shall be located a minimum of 25 feet from the front property line. The paved parking area located in front of the office building shall be used for employee and customer parking only. There shall be no parking or storage of any landscape equipment or associated large trucks, dump trucks, or flat bed trucks in the front parking area. Customer utility trailers are permitted.

PAVING:

12. That all driveways, parking areas and areas for vehicular circulation (turn around areas) shall be paved with asphalt, concrete or decorative pavers, except that prior to development of phase ii, the eastern parking lot may be paved with stabilized granite and treated with "soil-loc" dust retardant rather than asphalt, concrete or decorative pavers.

NOTIFICATION:

13. That the developer shall be required to notify prospective owners/occupants of the subject property of the proximity to the Phoenix Deer Valley Airport for the following reasons: 1) it is considered a busy general aviation airport; 2) forecasts predict that airport operations will increase in the future; and, 3) extended flight tracks and traffic patterns may extend several miles beyond the airport boundary.

NEW STIPULATIONS:

GENERAL CONFORMANCE:

14. That the landscape contractor facility shall be in general conformance with the site plan date stamped December 20, 2004, and the elevations date stamped November 12, 2004, as approved and/or modified by the Development Services Department.

FUTURE REVIEW:

15. That a building elevation be required, and administratively reviewed, for the building proposed in phase II of the development, by the Planning Hearing Officer. This building elevation shall be consistent with building elevations approved for phase I of this development.

March 4, 2005

Page 4

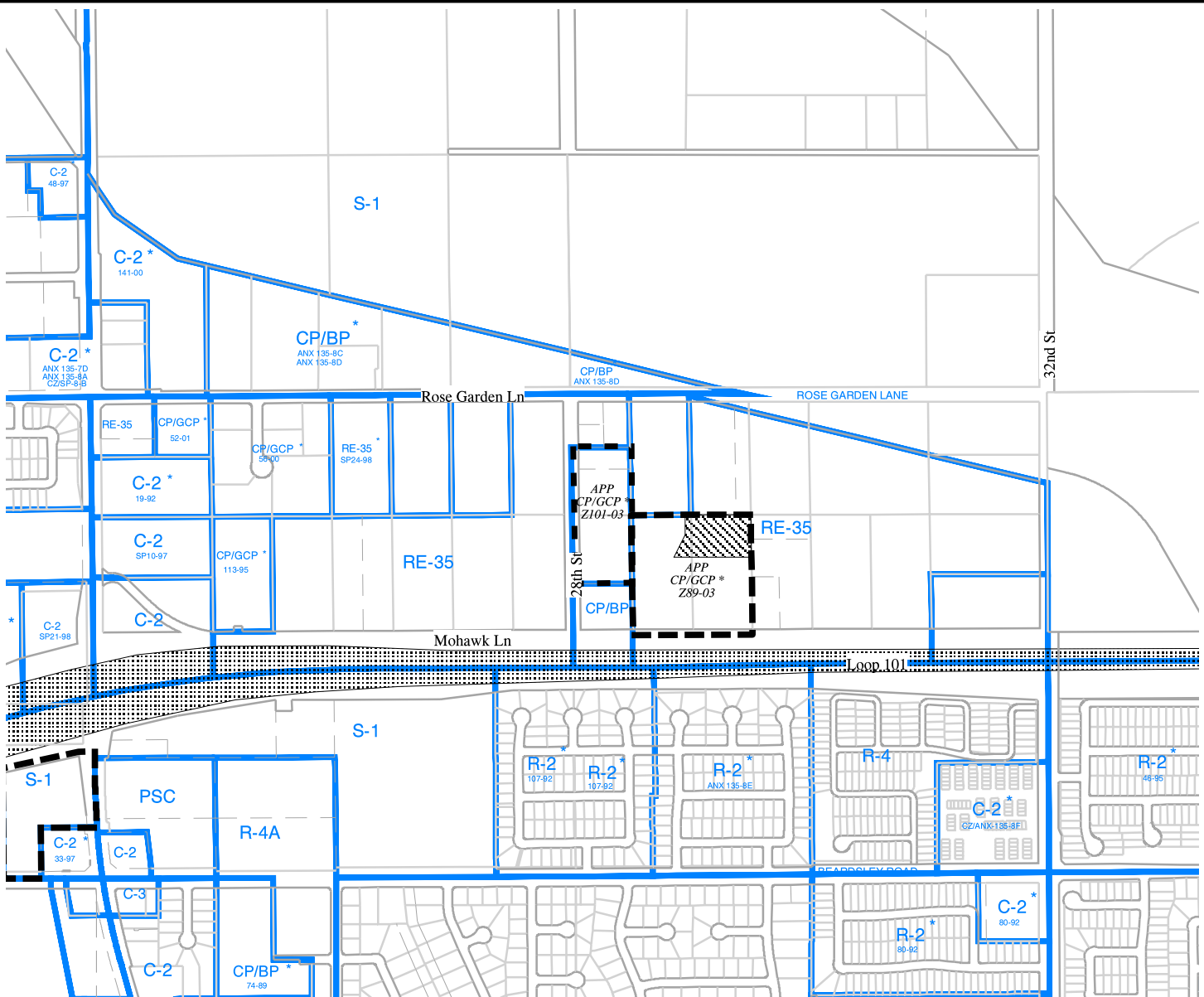
Development and use of the site is subject to compliance with all applicable codes and ordinances.

Sincerely,



Sara Uribe
Planner II

cc: Lynn West (e-mail) Jay Neville (email)
Files Book
Sara Uribe (email) Dave Barrier; DSD (email)
Ben Leonard, Public Transit (email) Victor Morrison-Vega, NSD (email)
Kelly Kvetko, Site Planning(email) Bob Luxton, Sign Enf. (email)
Kenneth Black (email) Shawn Stevens (email)
Robert Winton/Winton Architects, Inc./4222 N. 12th St.#102/Phoenix, AZ 85014



400 0 400 Feet

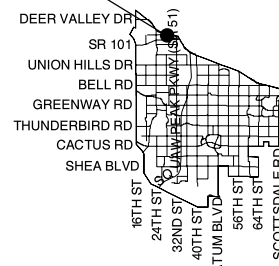


CITY OF PHOENIX PLANNING DEPARTMENT

Paradise Valley Village

CITY COUNCIL DISTRICT: 2

SP 23-04



APPLICANT'S NAME: Robert Winton		REQUESTED CHANGE:	
APPLICATION NO. SP 23-04	DATE: 12-08-2004 REVISION DATES:	FROM: RE-35 (App. CP/GCP)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 2.04 Acres	AERIAL PHOTO & QUARTER SEC. NO. Q41-34	ZONING MAP N10	TO: CP/GCP SP
MULTIPLES PERMITTED	CONVENTIONAL OPTION		* UNITS P.R.D. OPTION

* Maximum Units Allowed with P.R.D. Bonus

SDEV-0401606

DEVELOPMENT SERVICES DEPARTMENT

200 West Washington Street
Phoenix, AZ 85003
(602) 256-4240 FAX (602) 495-3637

DATE: 19-JUN-2006

TO: WINTON ARCHITECTS INC
4222 N 12TH ST SUITE 102
PHOENIX, AZ 85014
(602)230-9778 Ext.

FROM: SITE PLANNING TEAM 7

SUBJECT: SITE PLAN FINAL APPROVAL

NUMBER: 0501299 # 04-3874

LOCATION: AS, 41-34

ZONING CASE:

ATTACHED: Your file copy
Building Safety field copy
Building Safety Office copy

APPROVAL DATE: 16-JUN-2006

APPROVAL BY: ERIN ANDRES.

CC: (with attachment)
Building Safety
File
Planning Department
Inspection

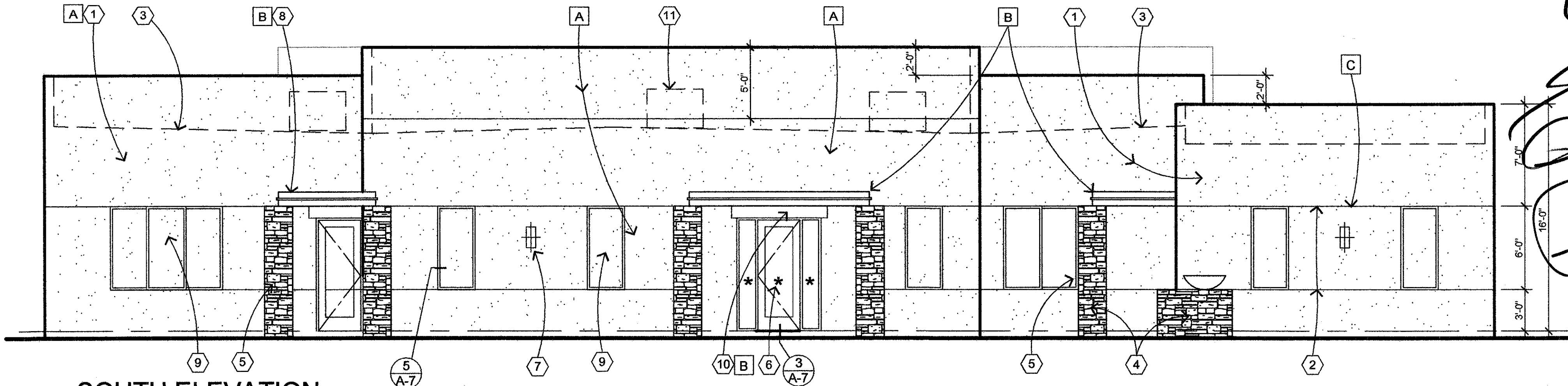
CC: (No attachment)
ARIDSCAPE CONCEPTS, INC
7360 E ACOMA DRIVE, SUITE 3
SCOTTSDALE, AZ 85260
480-609-1001

EXTERIOR ELEVATION KEYNOTES

- 1 Stucco on CMU exterior walls.
- 2 Vee joint in stucco.
- 3 Line of roof beyond parapet.
- 4 Stone veneer in desert brown tones.
- 5 Terra cotta pots by the Owner.
- 6 Storefront door and frame with white powder coated finish.
- 7 Wall pack light fixture per cut sheet.
- 8 12" deep tube steel canopy per details.
- 9 Fixed insulated solar green glass in white powder coated aluminum frames.
- 10 10" metal header per Structural.
- 11 Mechanical unit beyond parapet.

EXTERIOR PAINT COLORS
(FRAZEE PAINTS)

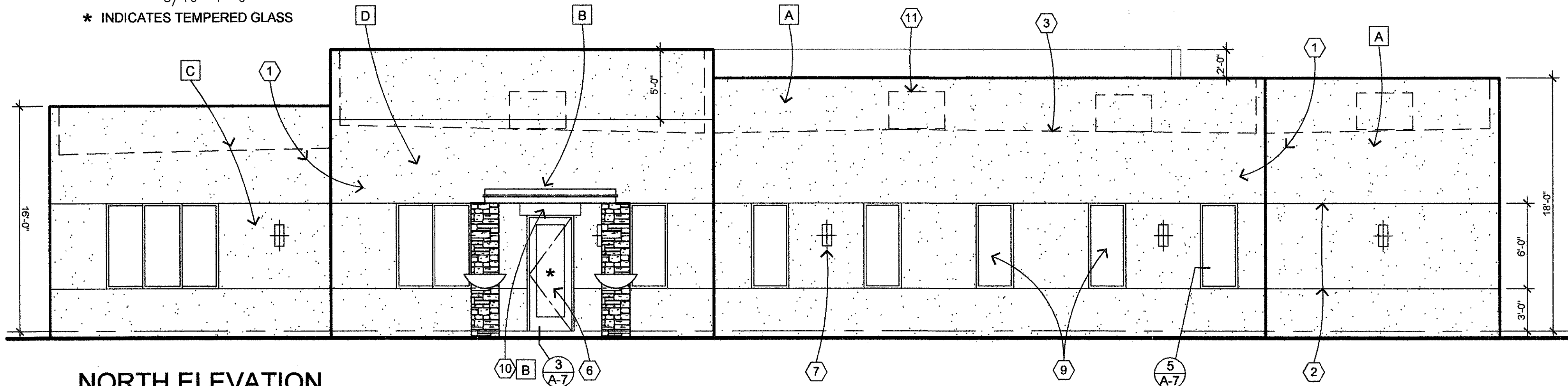
- A Walnut Wash, 8733M
- B Red Dust, 8294M
- C Copper Nail, 8295D (Accent Color)
- D Cape Barran, 8064M (Accent Color)



SOUTH ELEVATION

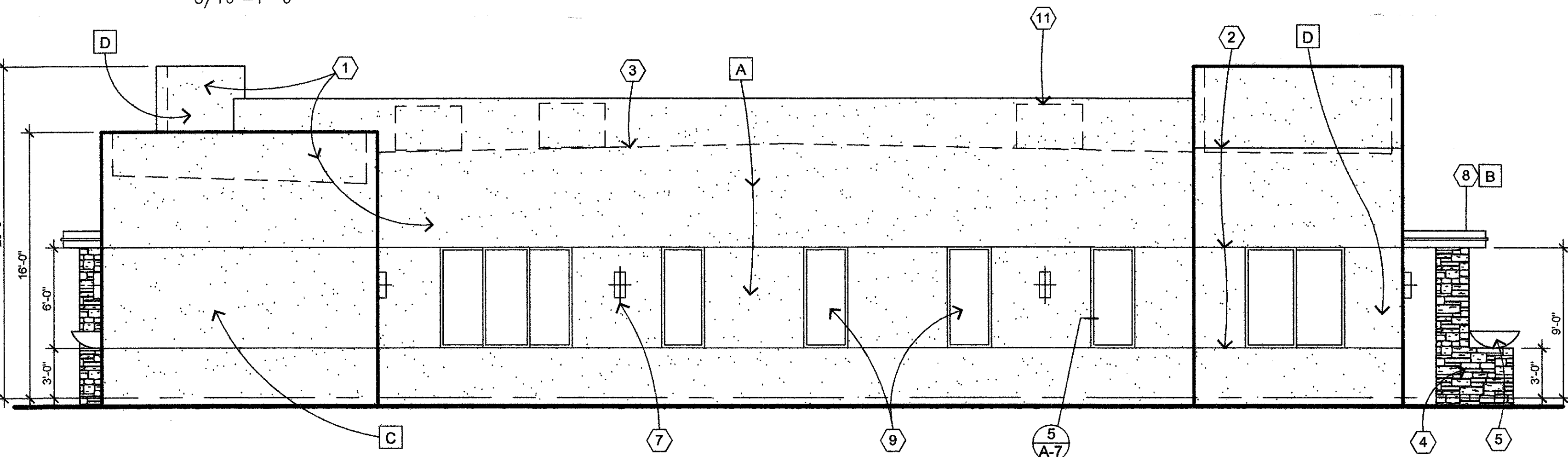
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* INDICATES TEMPERED GLASS



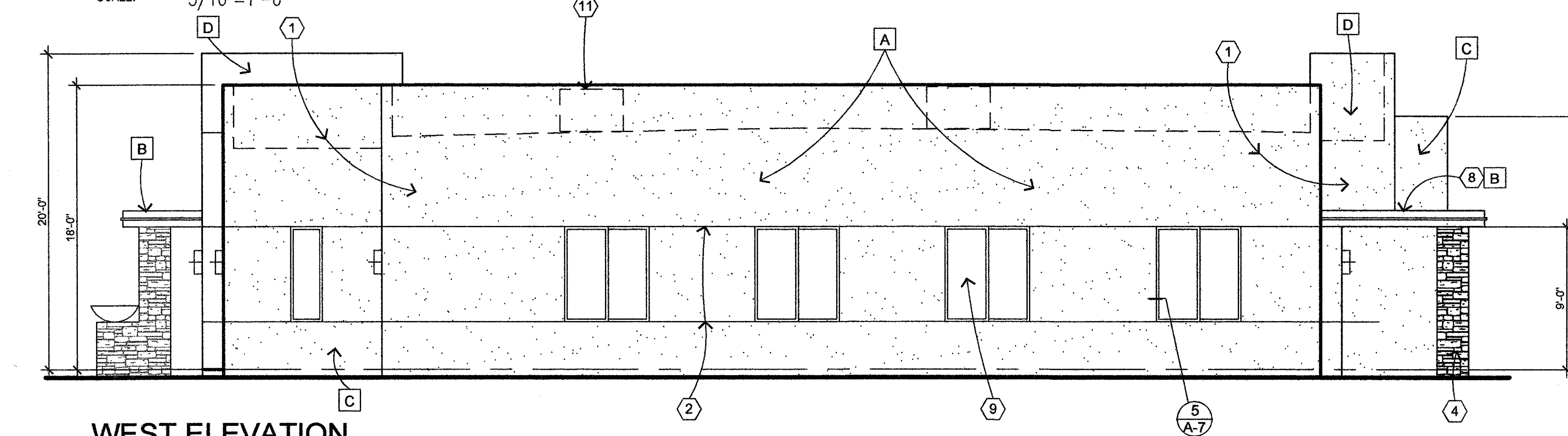
NORTH ELEVATION

SCALE: 3/16"=1'-0"



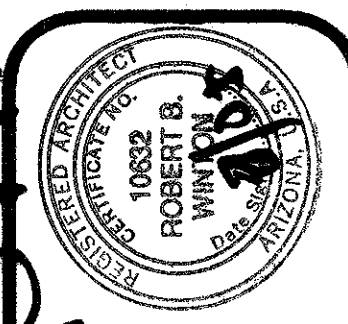
EAST ELEVATION

SCALE: 3/16"=1'-0"



WEST ELEVATION

SCALE: 3/16"=1'-0"



W winton architects, inc.
4222 N. 12th Street, Suite 102, Phoenix, Arizona 85014
(602) 230-9778 FAX (602) 265-9739

FACILITY FOR
ARIDSCAPE CONCEPTS
PHOENIX, ARIZONA
LOGOS BUILDERS, SOUTHWEST

job no. 04121
drawn RBW
approved RBW
date 7/6/05

revisions

CITY 7/2/05

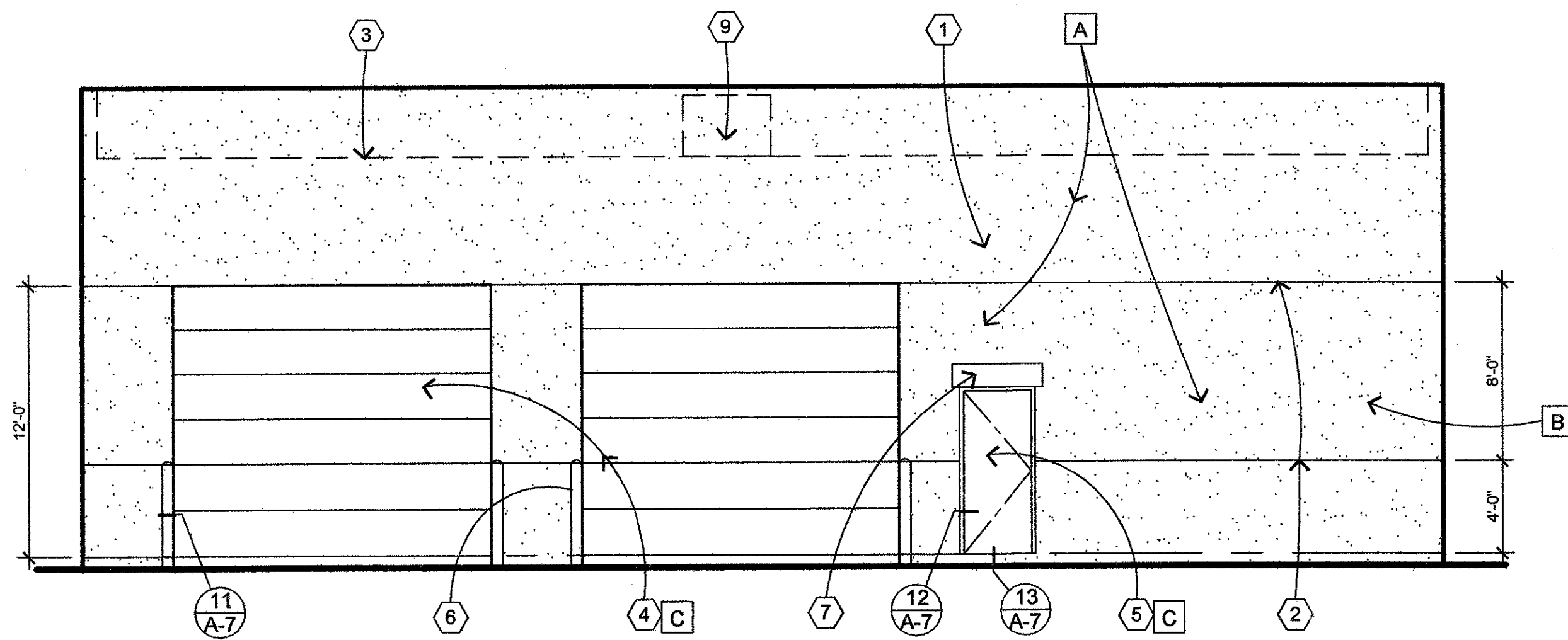
RECEIVED

SEP 22 2005

DEVELOPMENT SERVICES

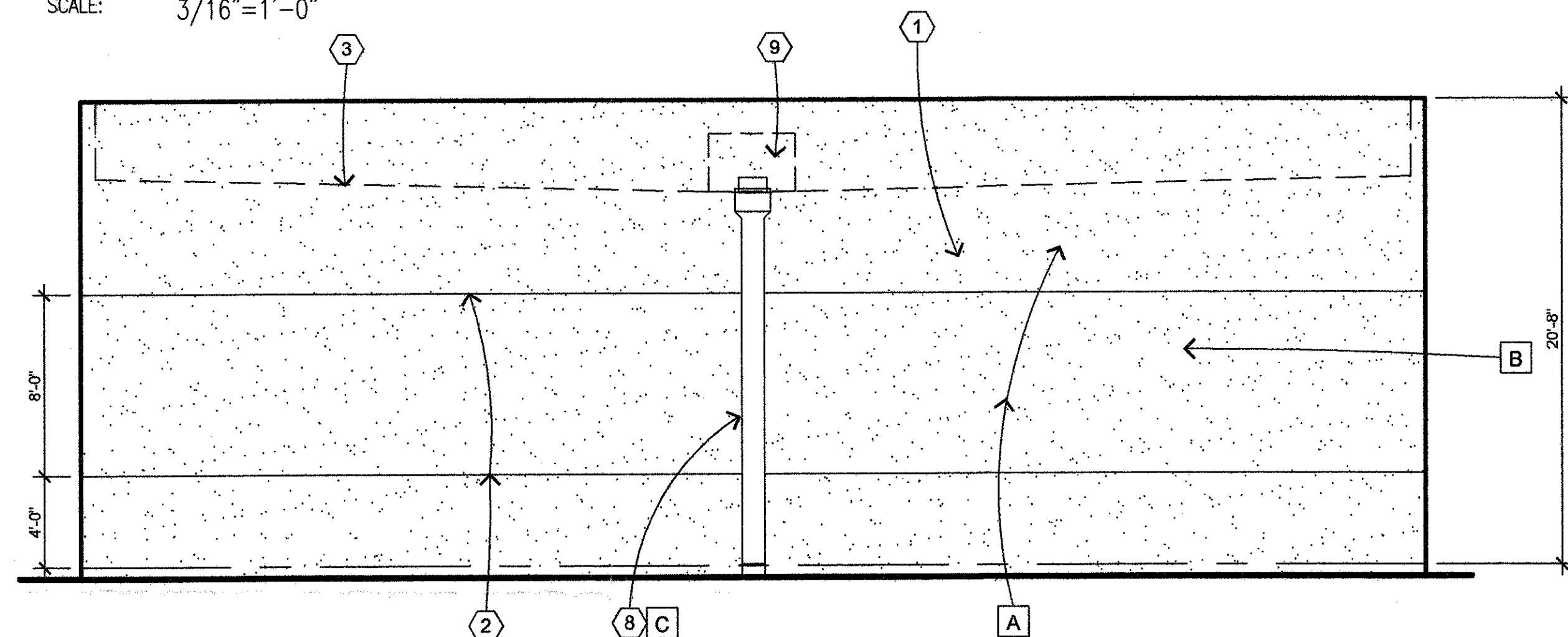
A-2

FINAL SITE PLAN APPROVED
Site Development Manager
City of Phoenix Development Services Department
THIS APPROVAL SUBJECT TO
ALL CONDITIONS OF PRELIMINARY
SITE PLAN APPROVAL. Date: 6/16/05
SCSRD501299



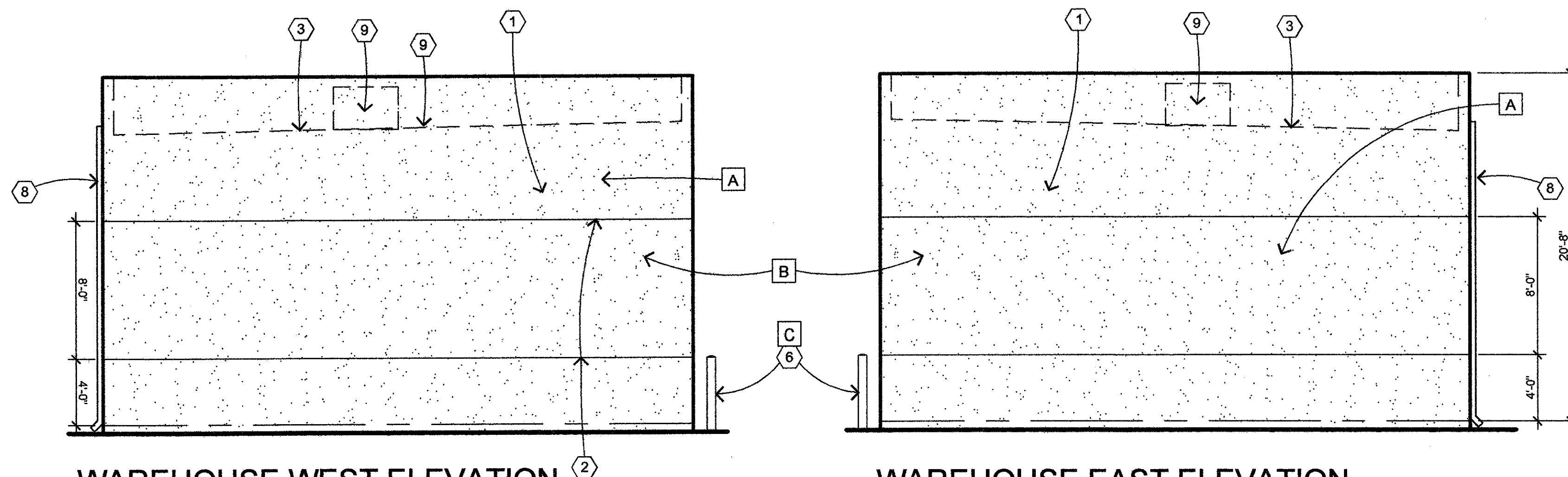
WAREHOUSE SOUTH ELEVATION

SCALE: 3/16"=1'-0"



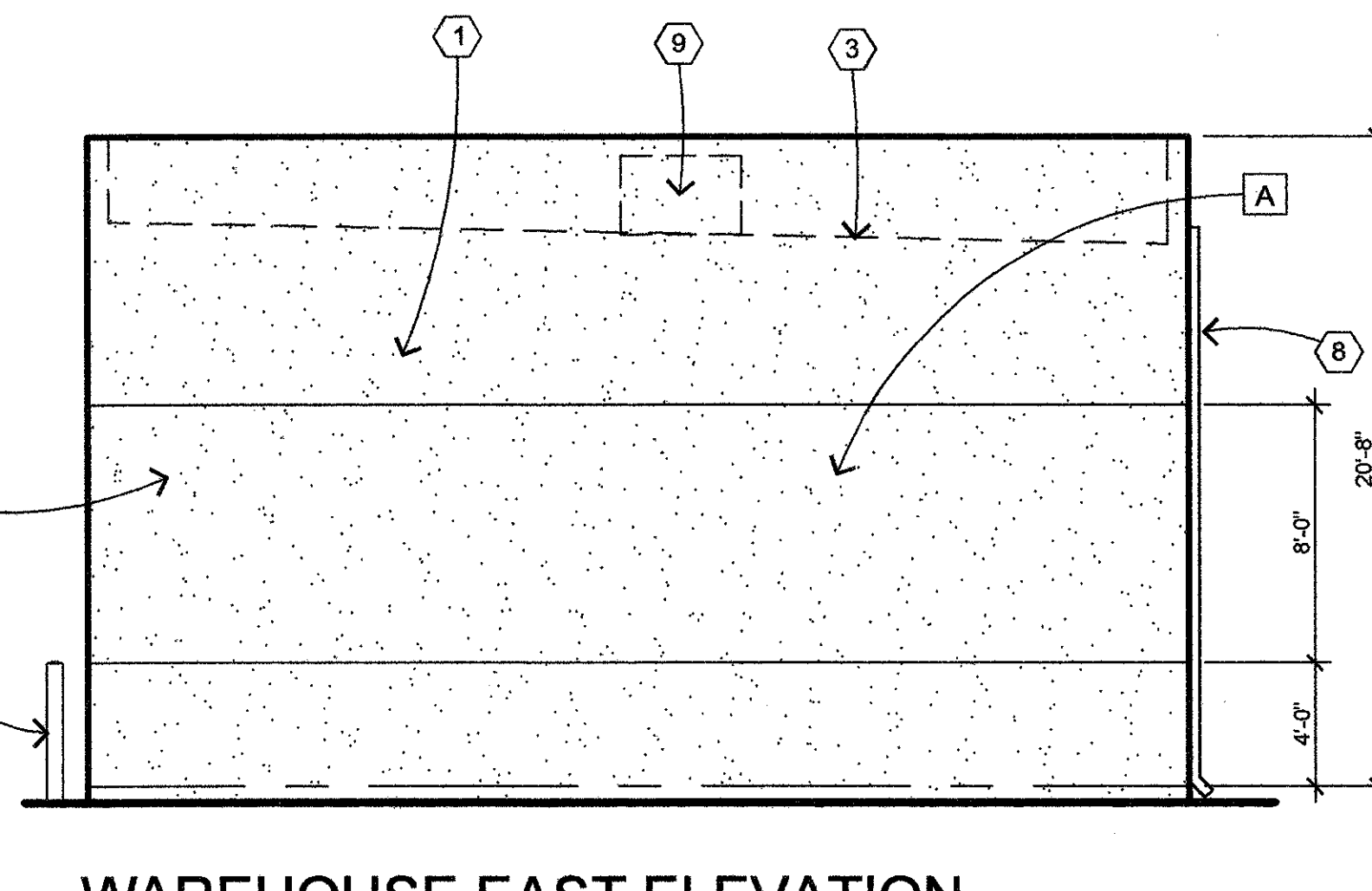
WAREHOUSE NORTH ELEVATION

SCALE: 3/16"=1'-0"



WAREHOUSE WEST ELEVATION

SCALE: 3/16"=1'-0"



WAREHOUSE EAST ELEVATION

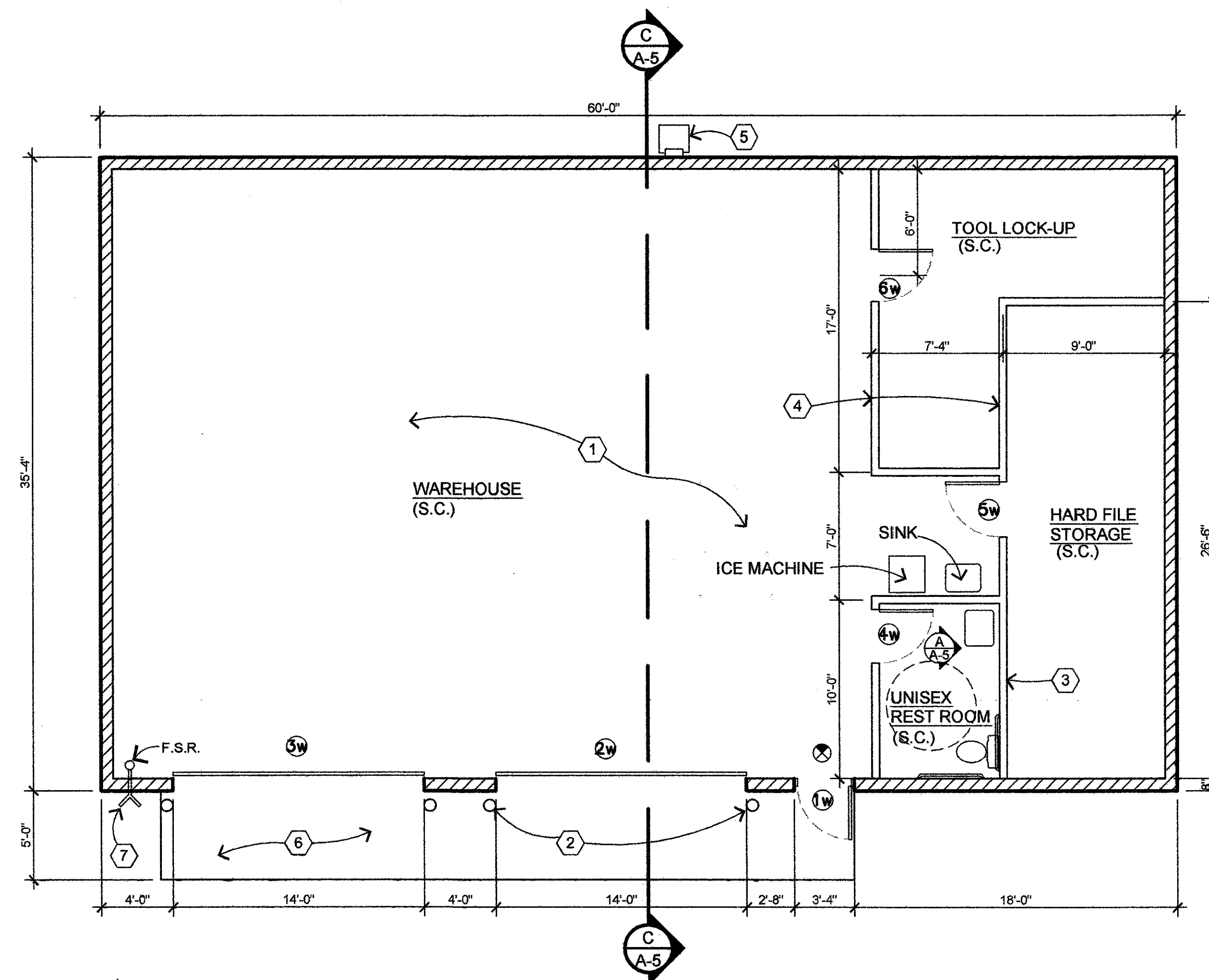
SCALE: 3/16"=1'-0"

WAREHOUSE EXTERIOR ELEVATION KEYNOTES

- ① Stucco on CMU.
- ② Vee joint in stucco.
- ③ Line of roof beyond parapet.
- ④ Section steel overhead doors.
- ⑤ Hollow metal door and frame.
- ⑥ 6" diameter steel pipe bollards.
- ⑦ 10" metal header per Structural.
- ⑧ Bonded metal downspout.
- ⑨ Mechanical unit beyond parapet.

**EXTERIOR PAINT COLORS
(FRAZEE PAINTS)**

- A. Walnut Wash, 8733M
- B. Red Dust, 8294M
- C. Copper Nail, 8295D (Accent Color)
- D. Cape Barran, 8064M (Accent Color)



WAREHOUSE FLOOR PLAN

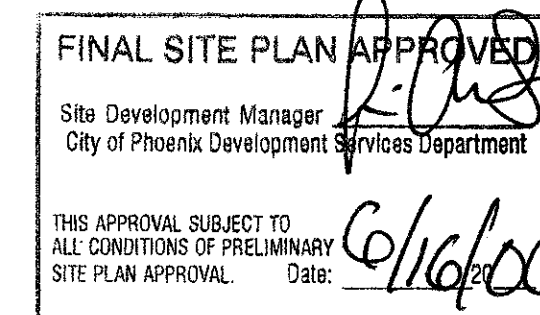
SCALE: 3/16"=1'-0"

WAREHOUSE FLOOR PLAN KEYNOTES

- ① Concrete slab per Structural.
- ② 4" diameter pipe bollards per detail.
- ③ 6" plumbing wall.
- ④ Full height stud partition: 3 5/8" x 20 ga. metal studs at 24" o.c. and 5/8" drywall, both sides.
- ⑤ Metal downspout and concrete splash block at grade.
- ⑥ 7" (3500 psi) concrete apron flush with finish floor and sloped to asphalt.
- ⑦ F.D.C.

WAREHOUSE DOOR SCHEDULE

- (1W) 3'-0" x 7'-0" x 1 3/4" hollow metal door (18 ga. min.) in hollow metal frame (16 ga. min.). Provide door closer, 6" x 12" clear tempered glass vision panel, panic hardware at interior and keylock at exterior side.
- (2W) 14'-0" x 12'-0" steel sectional overhead door with manual pull rope. Provide lock and weatherstripping.
- (3W) Same as Door #2W.
- (4W) 3'-0" x 7'-0" x 1 3/4" solid core wood door. Provide unisex and accessibility signage, door closer and privacy lock.
- (5W) 3'-0" x 7'-0" x 1 3/4" solid core wood door in 'Timely' metal frame. Provide keylock.
- (6W) Same as Door #5W.



SCSR 0501299

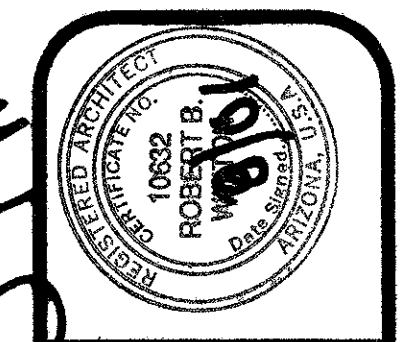
**FACILITY FOR
ARIDSCAPE CONCEPTS
PHOENIX, ARIZONA
LOGOS BUILDERS, SOUTHWEST**

Job no. 04121
drawn WDH
approved RBW
date 7/8/05

revisions
CITY 7/2/05
SEP 2 2 2005
DEVELOPMENT SERVICES

A-3

winton architects, inc.
4222 N. 12th Street, Suite 102, Phoenix, Arizona 85014
(602) 230-9778 FAX (602) 265-9739



Z-89-03-2 STIPULATIONS

GENERAL:

1. That the development shall be in general conformance to the site plan and elevations date stamped August 28, 2003, with emphasis on consistency of design throughout the development in terms of building colors, exterior materials, and lighting, except that architectural embellishment/building accents shall be added to the prototype building in the elevation, as approved or modified by the Development Services Department.

LANDSCAPE AND SCREENING:

2. That master landscape plans shall be submitted to the Development Services Department for review and approval of the entire site at the time of preliminary site plan submittal for the first development. The architectural theme of the prototype building shall be continued throughout the subdivision. The project shall provide a major entry feature/monument sign located on Mohawk Lane. The landscaping along Mohawk Lane, the entry feature, and the first parcel to be developed, shall be installed concurrent with the first phase of the development.

OUTDOOR STORAGE:

3. That any outdoor storage shall be located at least 100 feet from Mohawk Lane, and shall be fully screened so that it is not visible from the street or adjacent residential properties. Areas devoted to outdoor storage or use shall not exceed 20% of the net lot area.

INFRASTRUCTURE:

4. That the applicant shall participate in the construction of a water/sewerline, as approved by the Development Services Department and the Water Services Department.

DESIGN:

5. That bay doors shall not face Mohawk Lane or adjacent residential properties.

SIGNAGE:

6. That a comprehensive sign plan shall be approved for the entire development in accordance with Section 705F.2 of the Zoning Ordinance. Ground signs shall be of a monument style and shall not exceed 10 feet in height.

RIGHT-OF-WAY:

7. That the developer shall be responsible for full improvements within their property including curb, gutter, sidewalk, streetlights, and landscaping, as per plans approved by the Development Services Department. All improvements shall comply with all ADA accessibility standards.

SPECIAL PERMIT Z-SP-23-04-2

REQUEST: From CP/GCP to CP/GCP SP

NEW STIPULATIONS

STORAGE:

8. That approval of this Special Permit shall allow no storage of bulk materials within 40 feet of the property line.

9. That areas devoted to outdoor storage or use shall be screened from the street and adjacent properties.

CONDITIONAL APPROVAL:

10. That all site improvements shall be completed and the Certificate of Occupancy issued within 18 months of City Council approval of this request. Site plan submittals and improvement plans shall be presented to the Development Services Department within 60 days of City Council approval of this request except for the building to be developed in phase II.

SCREENING WALL:

11. That a six-foot block wall shall be constructed around the North, East and West boundaries of the property.

PARKING:

12. That any equipment and/or vehicles shall be located a minimum of 25 feet from the front property line. The paved area located in front of the office building shall be used for employee and customer parking only. There shall be no parking or storage of any landscape equipment or associated large trucks, dump trucks, or flat bed trucks in the front parking area. Customer utility trailers are permitted.

PAVING:

13. That all driveways, parking areas and areas for vehicular circulation (turn around areas) shall be paved with asphalt, concrete or decorative pavers.

NOTIFICATION:

14. That the developer shall be required to notify prospective owners/occupants of the subject property of the proximity to the Phoenix Deer Valley Airport for the following reasons: 1) it is considered a busy general aviation airport; 2) forecasts predict that airport operations will increase in the future; and, 3) extended flight tracks and traffic patterns may extend several miles beyond the airport boundary.

NEW STIPULATIONS:

GENERAL CONFORMANCE:

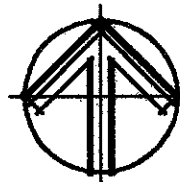
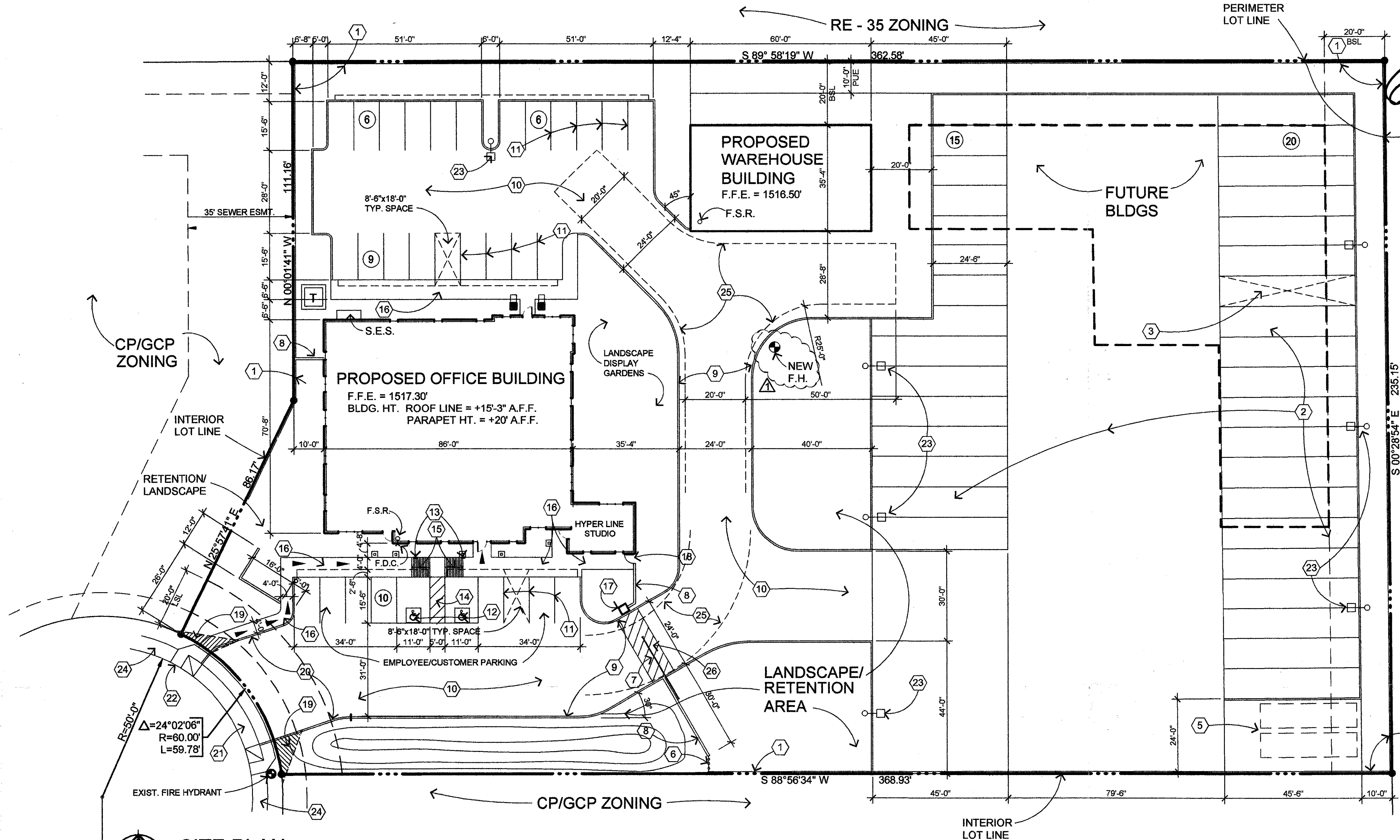
That the landscape contractor facility shall be in general conformance with the site plan date stamped 12/20/04, and the elevations date stamped November 12, 2004, as approved and/or modified by the Development Services Department.

FUTURE REVIEW:

That a building elevation be required, and administratively reviewed, for the building proposed in phase II of the development, by the Planning Hearing Officer. This building elevation shall be consistent with building elevations approved for phase I of this development.

CITY SITE NOTES

- Development and use of this site will conform with all applicable codes and ordinances.
- All new or relocated utilities will be placed underground.
- Signage requires separate approvals and permits.
- Structures and landscaping within a triangle measured back 10' from the property line and 20' along the property line on each side of the driveways entrances will be maintained at a maximum height of 3'.
- Any lighting will be placed so as to direct light away from adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor, or vibration will be emitted at any level exceeding the general level of noise, odor, or vibration emitted by uses in the area outside of the site.
- Owners of property adjacent to public rights-of-way will have the responsibility for maintaining all landscaping located within the rights-of-way, in accordance with approved plans.
- After final approval the project will be inspected for zoning compliance during construction and prior to occupancy. The applicant is to notify DSD prior to occupancy to arrange for inspections. Call (602) 262-6981 and request a Design Review Inspection.
- All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
- All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical or electrical equipment from eye level adjacent to all public streets.
- Barbed, razor, or concertina wire (or similar) shall not be used on this site where visible from public streets or adjacent residential areas.



SITE PLAN

SCALE: 1"=20'-0"

SITE PLAN KEYNOTES

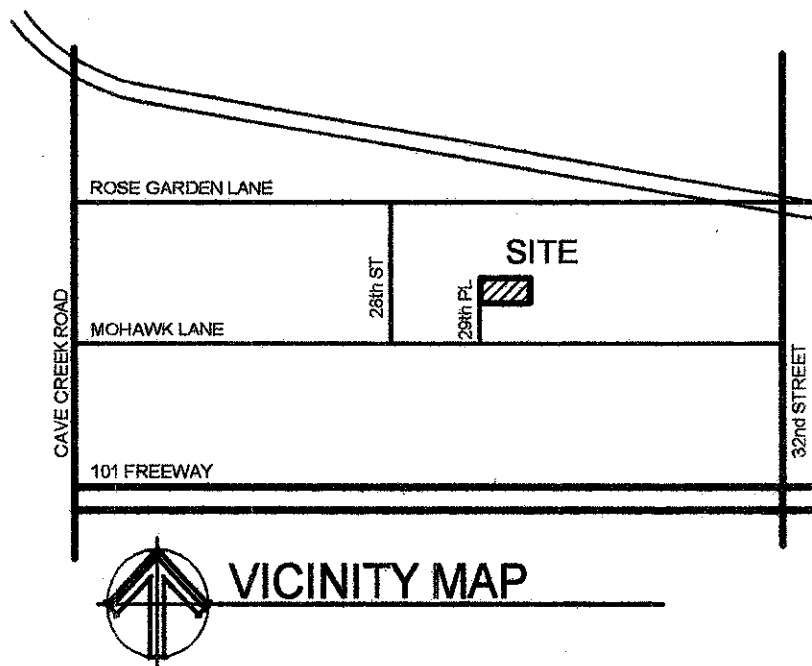
- 6'-0" high Dooley block wall.
- Special pavers approved by stips in special permit. These meet dustproofing requirement.
- 10' x 45' tip trailer space, typical.
- 3' high, 8" CMU wall w/ stucco to match building.
- 6" concrete pad (3500 psi) with 2 dumpsters.
- 6' high wrought iron fencing.
- 24'-0" x 6'-0" tube steel sliding gate with metal deck infill. See Sheet SP-2. Provide F.D. Knox box for access.
- 6'-0" high, 8" Architectural CMU wall. See Sheet SP-2.
- 6" extruded concrete curbing.
- Asphalt concrete per Civil drawings.
- 4" wide white painted parking stripes.
- Accessible symbol painted on the pavement per detail. See Sheet SP-2.
- Accessible signage per detail. See Sheet SP-2.
- 4" wide yellow diagonal painted striping at 24" o.c. and at perimeter.
- Ramp up 1:12 max. slope. Provide truncated domes per detail Sheet SP-2.
- 4" concrete sidewalk with finish by Owner.
- 2'-8" x 2'-8" x 7' solid grouted CMU column.
- 3'-0" x 6'-0" wrought iron gate. Provide lock.
- 10' x 20' vision triangle.
- 6" cast-in-place concrete curbing.
- 30'-0" concrete driveway per City of Phoenix Standard P1255-1.
- Existing vertical curb and gutter.
- Light pole standard per Electrical at 15' max. height within 150' of residential district.
- Existing concrete sidewalk.
- F.D. hammerhead turnaround.
- 6" wide red painted diagonal striping.

All ramps must meet ADA Accessibility Guidelines (ADAAG) Standards; 2% max. cross slopes and 12:1 max. longitudinal slopes. Truncated domes as detectable warnings are required on all on-site ramps per ADAAG Section 4.7.7. Truncated domes as detectable warnings are also required on all on-site walks that cross or adjoin a vehicular way per ADAAG section 4.29.5.

NOTE:

1. All mechanical equipment on roof to be screened to the height of the tallest equipment. Building parapet to provide that screening.

2. Indicates accessible route of travel.



PROJECT DATA

ADDRESS:	
ZONING:	CP/GCP
LOT SIZE:	87,675 S.F. (2.01 Acres) Net 89,468 S.F. (2.05 Acres) Gross
BUILDING AREAS:	Office Building = 6,131 S.F. Warehouse = 2,120 S.F. Total = 8,251 S.F.
LOT COVERAGE:	8%
OCCUPANCY:	Office Building B Warehouse S1
PARKING REQUIRED:	Offices 6131/300 = 21 Spaces Warehouse 1/1.5 employees = 4 Spaces Total = 25 Spaces
PARKING PROVIDED:	31 Spaces
ACCESSIBLE PARKING REQUIRED:	2 Spaces
ACCESSIBLE PARKING PROVIDED:	2 Spaces
LEGAL DESCRIPTION:	Lot 4, Mohawk Rose Commerce Park
LANDSCAPE REQUIRED:	31 x 450 S.F. x 5% = 698 S.F.
LANDSCAPE PROVIDED:	1190 S.F.

DATE: 8/1/05

I consent to the reproduction of this site plan for the purpose of future amendments provided that if modifications are made, the architect who made such changes assume full responsibility and liability for the plan.

Signature of Copyright Owner
Robert B. Winton
Printed Name of Copyright Owner

Project narrative

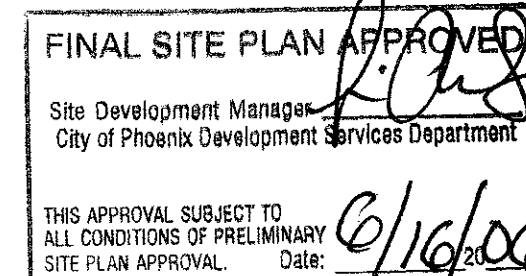
The intent of our client for this site is to provide a facility for the Administrative offices for their business as well as parking trucks or trailers overnight. No specific materials are on site other than a small amount of plants for jobs the next day and a small amount of masonry.

The site sits at the end of a cul-de-sac on 29th Place. All of site, except the front of office building and parking, is secured by 6' high cmu walls.

The site will be heavily landscaped.

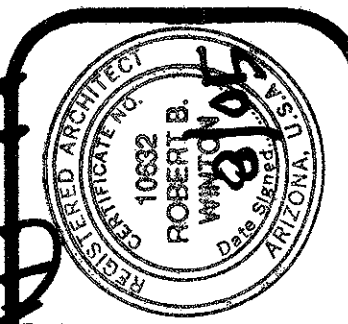
The buildings will be low scaled, stucco finished with accent colors on the different building masses. At each entry will be masonry columns with stone veneer and metal canopy.

KIVA NO. 04-3874
Q.S. 41-34



THIS APPROVAL SUBJECT TO ALL CONDITIONS OF PRELIMINARY SITE PLAN APPROVAL. Date: 6/16/05

SCSRD501299



W winton architects, inc.
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FAX (602) 265-9739

FACILITY FOR
ARIDSCAPE CONCEPTS
PHOENIX, ARIZONA
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job no. 04121
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revisions
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DEVELOPMENT SERVICES

SP-1