

ATTACHMENT A

**THIS IS A DRAFT COPY ONLY AND IS NOT AN OFFICIAL COPY OF THE FINAL,
ADOPTED ORDINANCE**

ORDINANCE G-

AN ORDINANCE AMENDING THE STIPULATIONS APPLICABLE TO
REZONING APPLICATION Z-146-07-6 PREVIOUSLY APPROVED BY
ORDINANCE G-5141.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as
follows:

SECTION 1. The zoning stipulations applicable located approximately 480
feet east of the southeast corner of 32nd Street and Camelback Road in a portion of
Section 24, Township 2 North, Range 3 East, as described more specifically in
Attachment "A", are hereby modified to read as set forth below.

STIPULATIONS:

1. That the elevations and site plan be subject to administrative review and approval by the Planning AND DEVELOPMENT Director. At a minimum the following issues shall be addressed. Others may be necessary as determined by the Planning AND DEVELOPMENT Director:
 - a. building placement against Camelback Road
 - b. building square footage
 - c. building articulation and materials
- ~~2. That the approval shall be conditional upon development commencing within 36 months of the City Council approval of this change of zoning in accordance with Section 506.B1 of the Phoenix Zoning Ordinance. For purposes of this stipulation, development shall commence with the issuance of building permits, and erection of building walls on site.~~

32. That the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plan approved by the PLANNING AND Development Services Department. All improvements shall comply with all ADA accessibility standards.

SECTION 2. Due to the site's specific physical conditions and the use district granted pursuant to Ordinance G-5141, this portion of the rezoning is now subject to the stipulations approved pursuant to Ordinance G-5141 and as modified in Section 1 of this Ordinance. Any violation of the stipulation is a violation of the City of Phoenix Zoning Ordinance. Building permits shall not be issued for the subject site until all the stipulations have been met.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 20th day of September , 2017.

MAYOR

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

REVIEWED BY:

_____ City Manager

Attachments:

A - Legal Description (1 Page)

B - Ordinance Location Map (1 Page)

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EXHIBIT A

LEGAL DESCRIPTION FOR PHO-1-17--Z-146-07-6

Lot 10, of CHESTLEY VILLA, according to Book 61 of Maps, page 42, records of Maricopa County, Arizona; and also that portion of the abandoned alley lying East of and adjacent to Lot 10 as set forth in Resolution recorded in Document No. 88-083484.

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ORDINANCE LOCATION MAP

EXHIBIT B

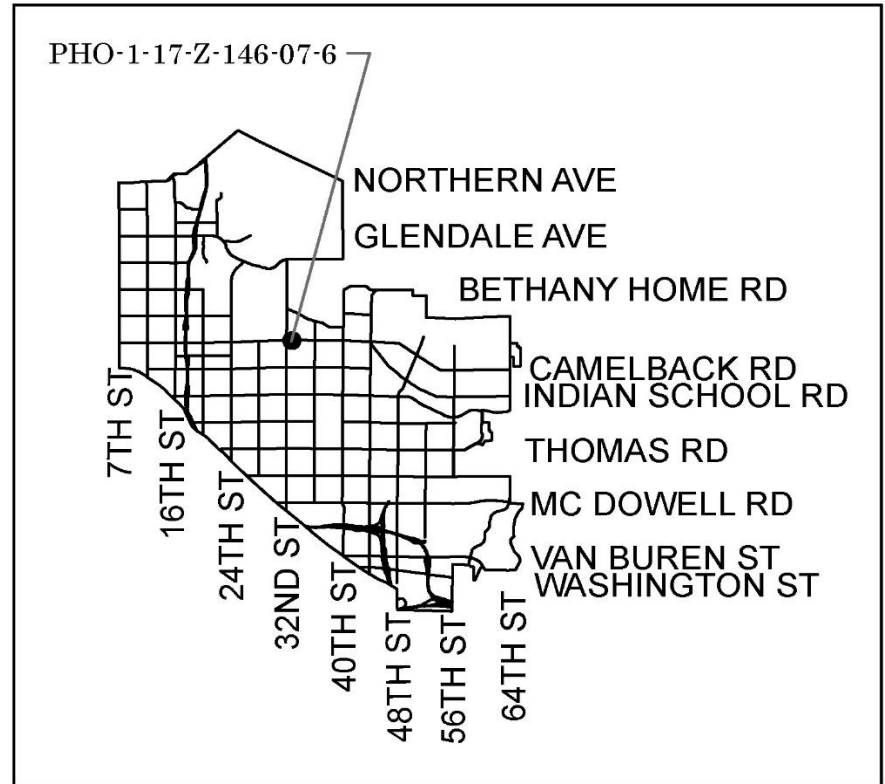
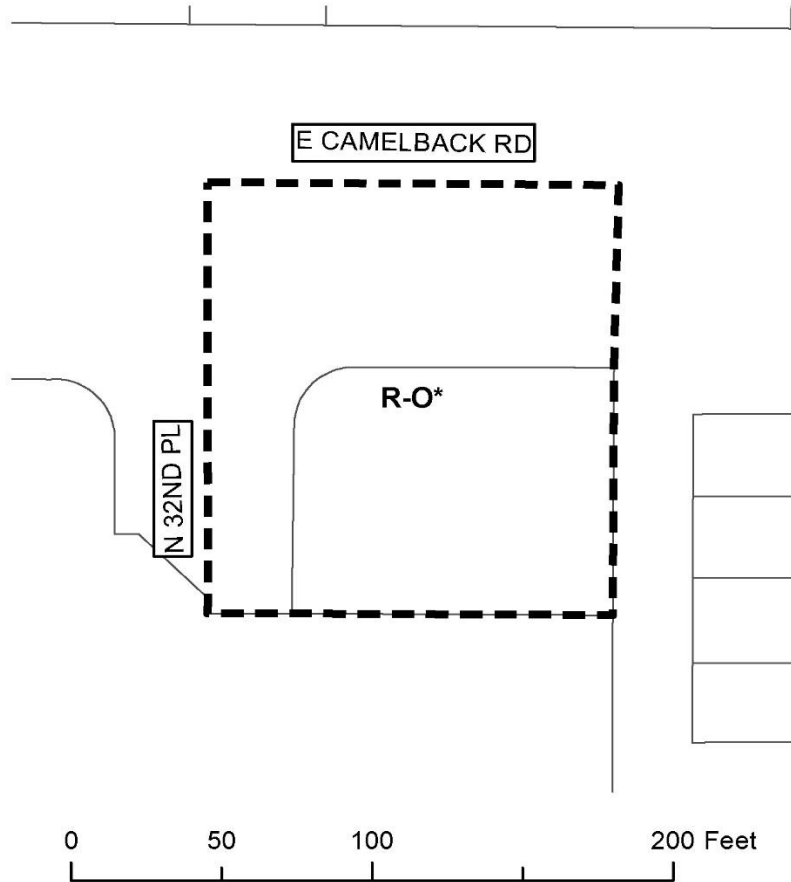
ZONING SUBJECT TO STIPULATIONS: *

SUBJECT AREA: ■ ■ ■ ■ ■

Zoning Case Number: PHO-1-17-Z-146-07-6

Zoning Overlay: N/A

Planning Village: Camelback East



NOT TO SCALE



Drawn Date: 8/23/2017